

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

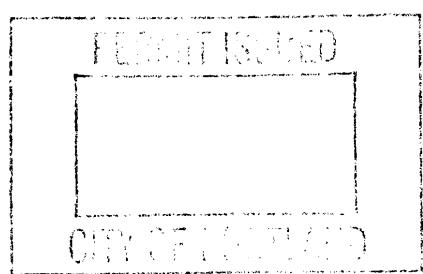
Permit No: 08-1125	Issue Date: 9/17/08	CBL: 039 A027001
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Location of Construction: 116 HIGH ST	Owner Name: CUMBERLAND CLUB	Owner Address: 116 HIGH ST	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: 2077973381
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-3

Past Use: "Cumberland Club"	Proposed Use: "Cumberland Club" - installing new bar & renovations to bathrooms	Permit Fee: \$770.00	Cost of Work: \$75,000.00	CEO District: 2
Proposed Project Description: installing new bar & renovations to bathrooms		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: A2 Type: SB IBC-2007	
		Signature: <i>Cora Cass</i> Signature: <i>9/17/08 U</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 09/05/2008	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>9/10/08</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p><i>Any exterior work requires a separate review & approval</i></p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1125	Date Applied For: 09/05/2008	CBL: 039 A027001
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Location of Construction: 116 HIGH ST	Owner Name: CUMBERLAND CLUB	Owner Address: 116 HIGH ST	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: (207) 797-3381
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: "Cumberland Club" - installing new bar & renovations to bathrooms	Proposed Project Description: installing new bar & renovations to bathrooms
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/08/2008

Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) Separate permits shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 09/17/2008

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) ANY exterior work requires separate review and approval thru Historic Preservation

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 09/12/2008

Note: **Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) All means of egress to remain accessible at all times
- 3) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) Application requires State Fire Marshal approval.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116 HIGH STREET</u>		
Total Square Footage of Proposed Structure/Area <u>SEE DRAWINGS</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>39</u> Block# <u>A</u> Lot# <u>27</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>CUMBERLAND CLUB</u> Address <u>116 HIGH STREET</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>773-6402</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75,000.⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>CLUB BY MEMBERSHIP</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INSTALLING NEW BAR/RENOVATING PATHWAYS</u>		
Contractor's name: <u>PAPI & ROMANO BUILDERS, INC.</u> Address: <u>P.O. BOX 1079</u> City, State & Zip <u>PORTLAND ME 04104</u> Telephone: <u>797-3381</u> Who should we contact when the permit is ready: <u>RIK ROMANO</u> Telephone: <u>797-3381</u> Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

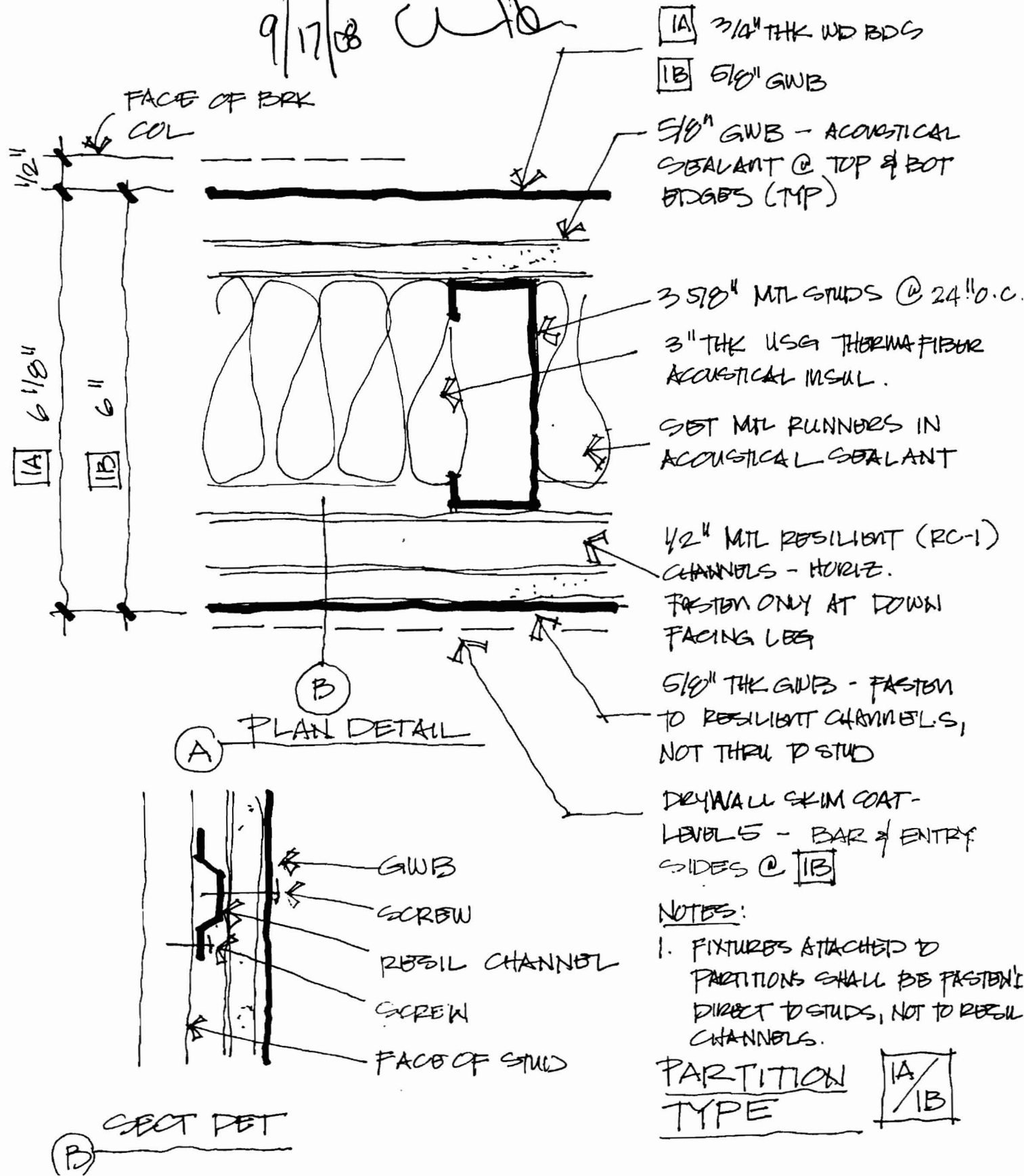
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Rik Romano Date: 9/5/08

This is not a permit; you may not commence ANY work until the permit is issued

9/17/08 *WLB*



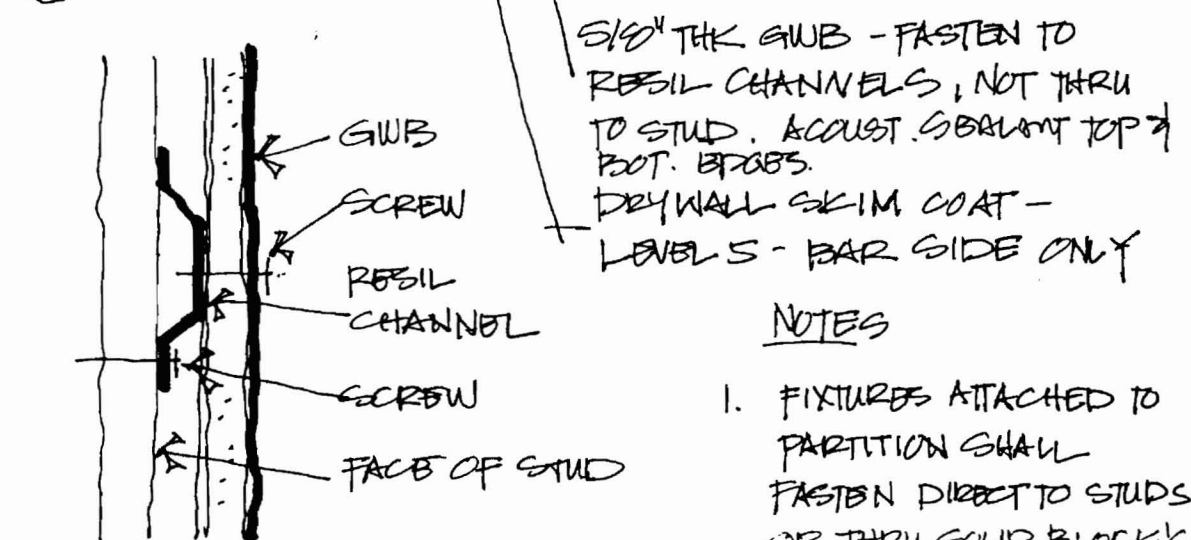
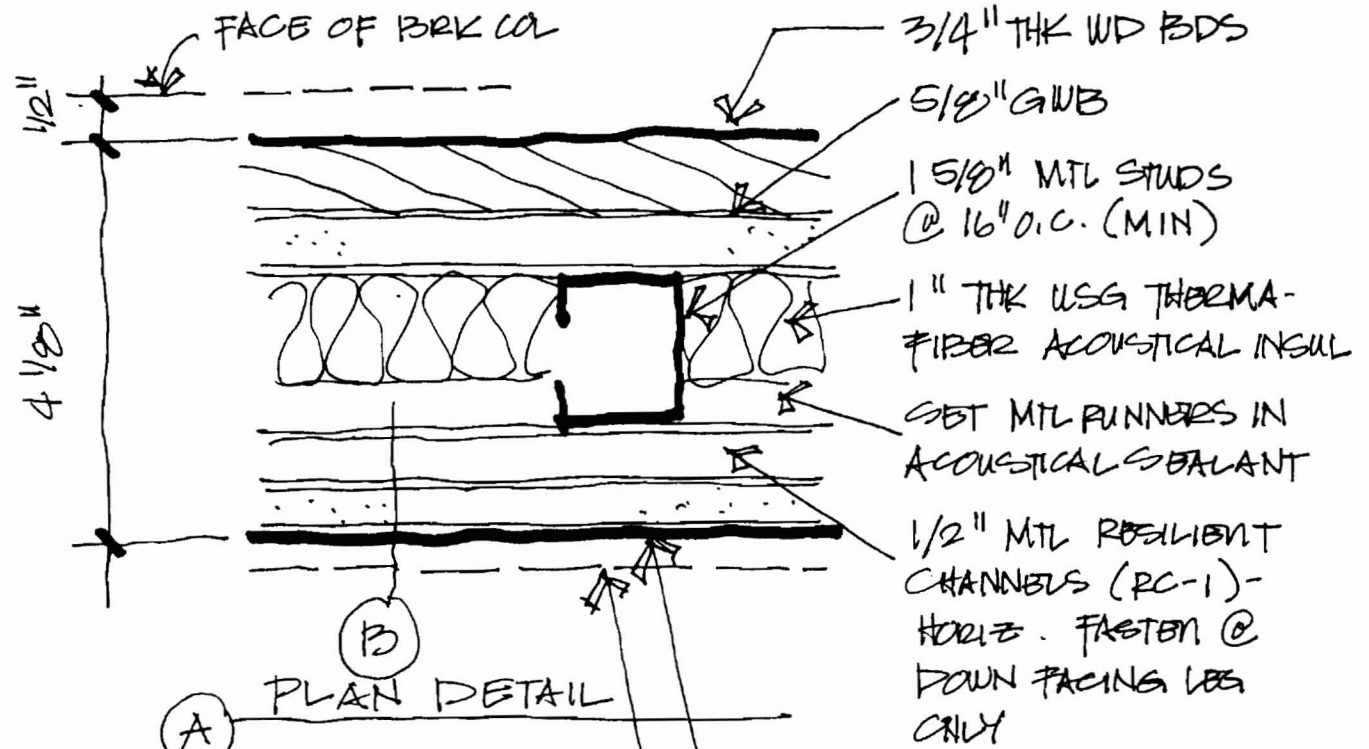
- [1A] 3/4" THK WD BDCS
- [1B] 5/8" GWB
- 5/8" GWB - ACOUSTICAL SEALANT @ TOP & BOT EDGES (TOP)
- 3 5/8" MTL STUDS @ 24" O.C.
- 3" THK USA THERMAFIBER ACOUSTICAL INSUL.
- SET MTL RUNNERS IN ACOUSTICAL SEALANT
- 1/2" MTL RESILIENT (RC-1) CHANNELS - HORIZ.
- FASTEN ONLY AT DOWN FACING LEG
- 5/8" THK GWB - FASTEN TO RESILIENT CHANNELS, NOT THRU TO STUD
- DRYWALL SKIM COAT - LEVELS - BAR @ ENTRY SIDES @ [1B]

NOTES:
 1. FIXTURES ATTACHED TO PARTITIONS SHALL BE FASTENED DIRECT TO STUDS, NOT TO RESIL CHANNELS.

PARTITION TYPE 1A / 1B



PARTITION TYPE DETAIL



NOTES

1. FIXTURES ATTACHED TO PARTITION SHALL FASTEN DIRECT TO STUDS, OR THRU SOLID BLOCKS TO STUDS.

(B) SECTION DETAIL

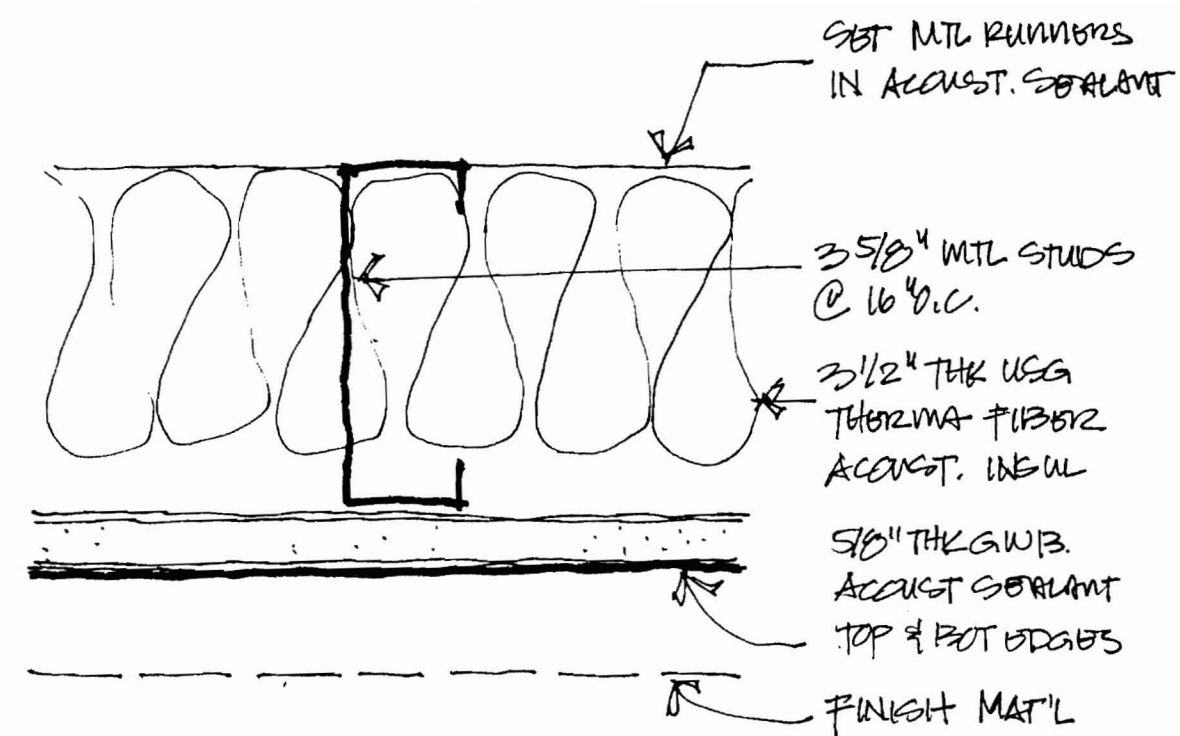
PARTITION TYPE 2

BARBÄ+WHELOCK

PARTITION TYPE DETAIL

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



○ PLAN DETAIL

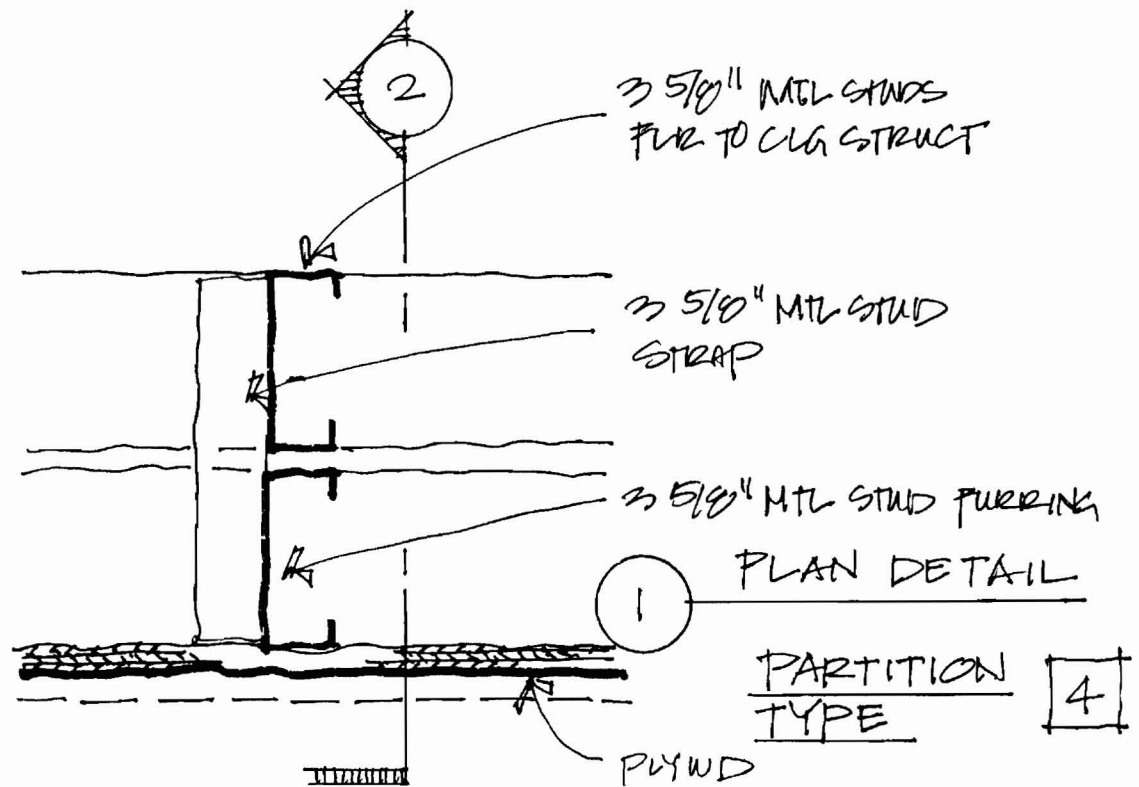
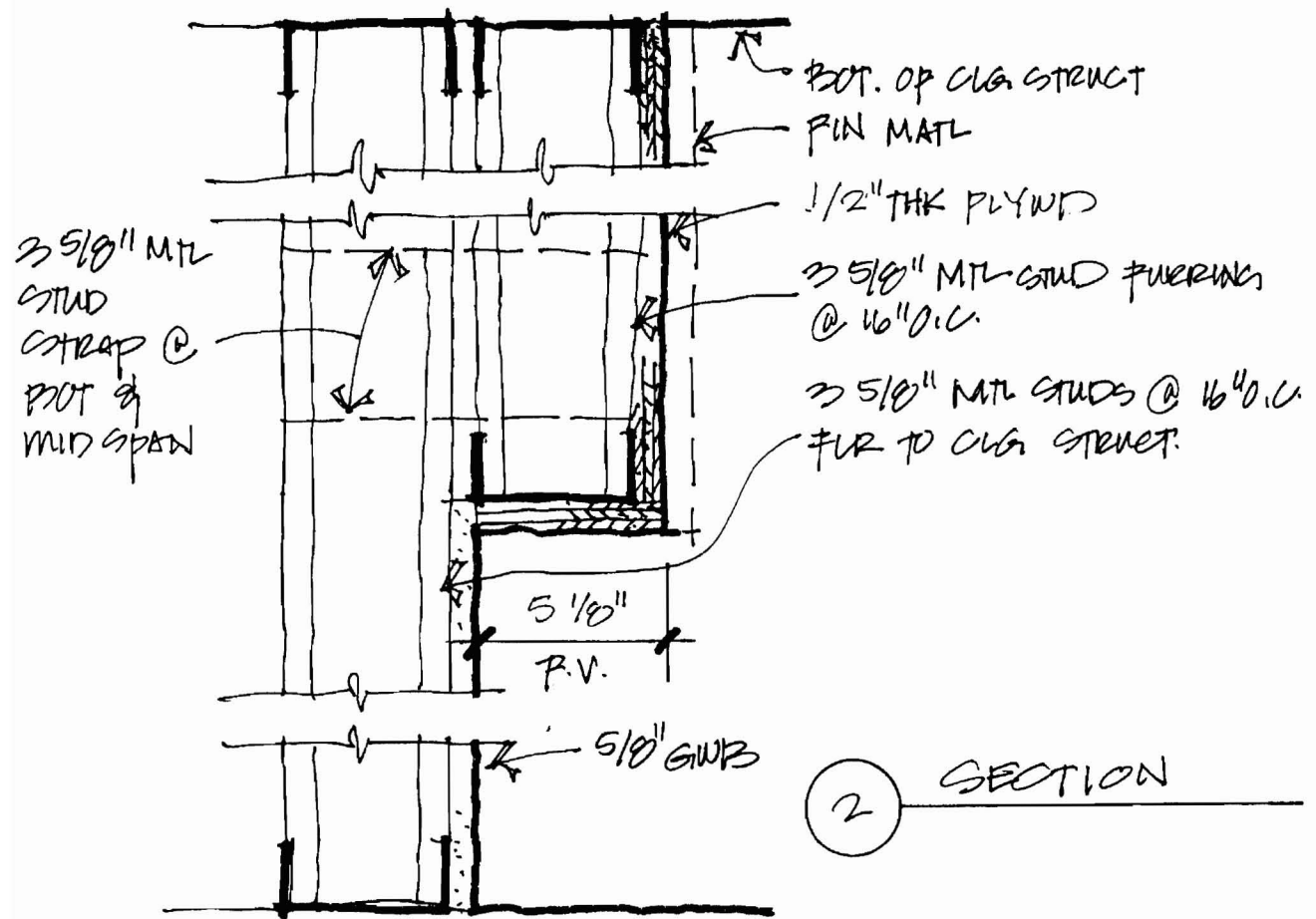
PARTITION
TYPE 3



PARTITION TYPE DETAIL

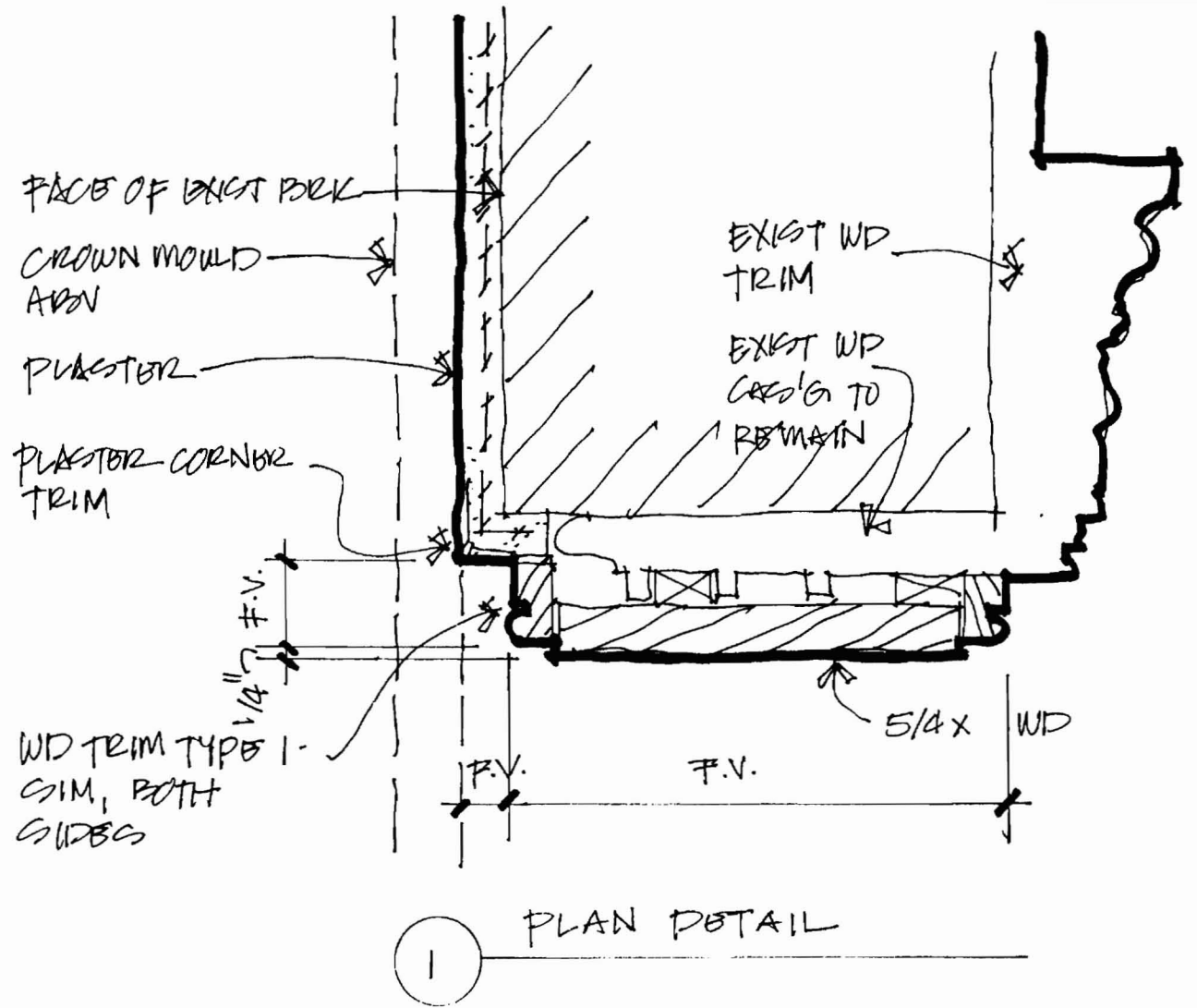
CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



BARBÄ+WHEELLOCK

PARTITION TYPE DETAIL

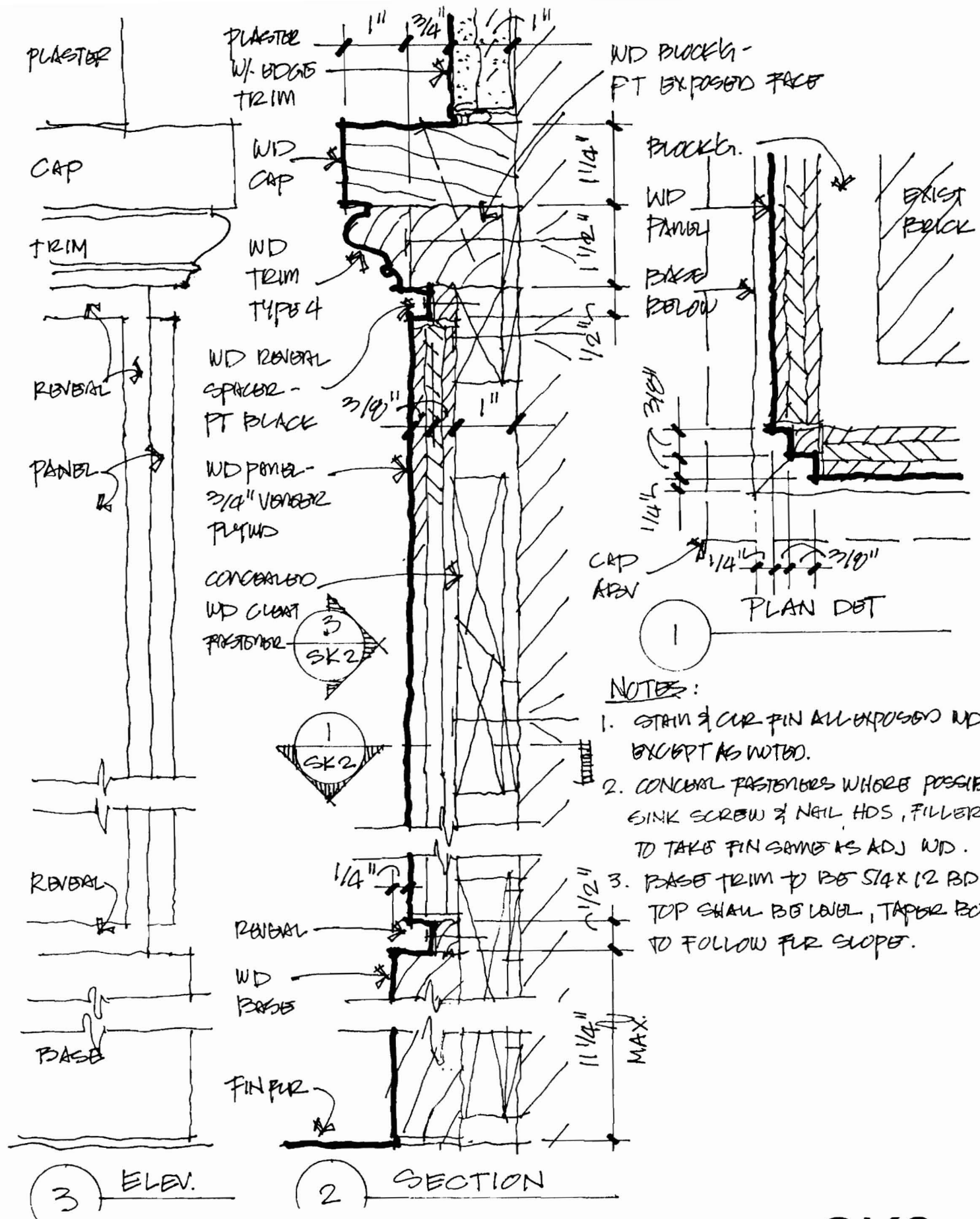


USS MAINE RM OPNG
JAMB DET

SK1

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



NOTES:

1. STAIN & CUR FIN ALL EXPOSED WD EXCEPT AS NOTED.
2. CONCEAL FASTENERS WHERE POSSIBLE SINK SCREW & NAIL HDS, FILLER TO TAKE FIN SAME AS ADJ WD.
3. BASE TRIM TO BE 5/4 X 12 BD - TOP SHALL BE LEVEL, TAPER BOT TO FOLLOW FUR SLOPE.

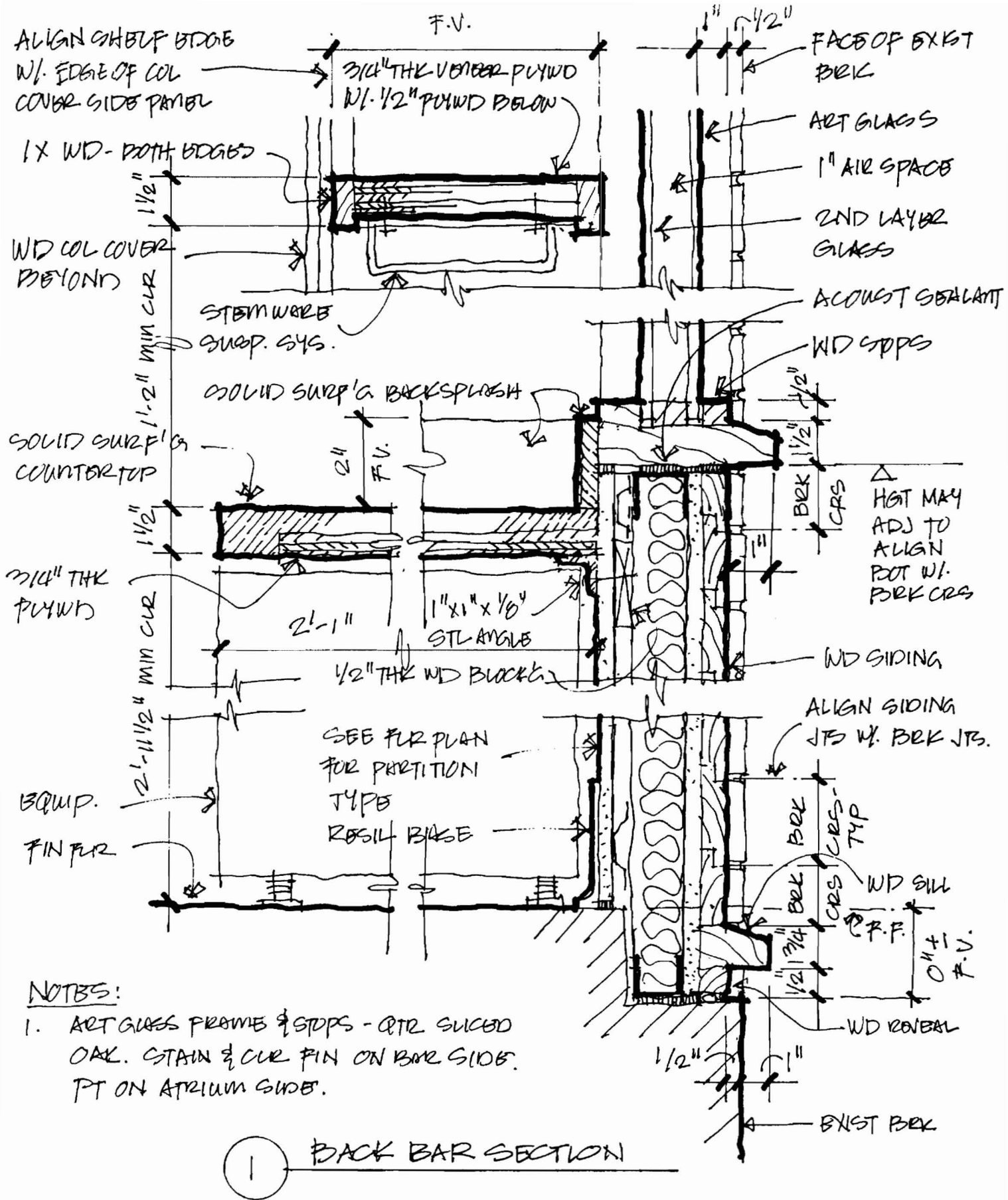


WD COL COVER DETS

SK2

CUMBERLAND CLUB PHASE 1

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8/27/08



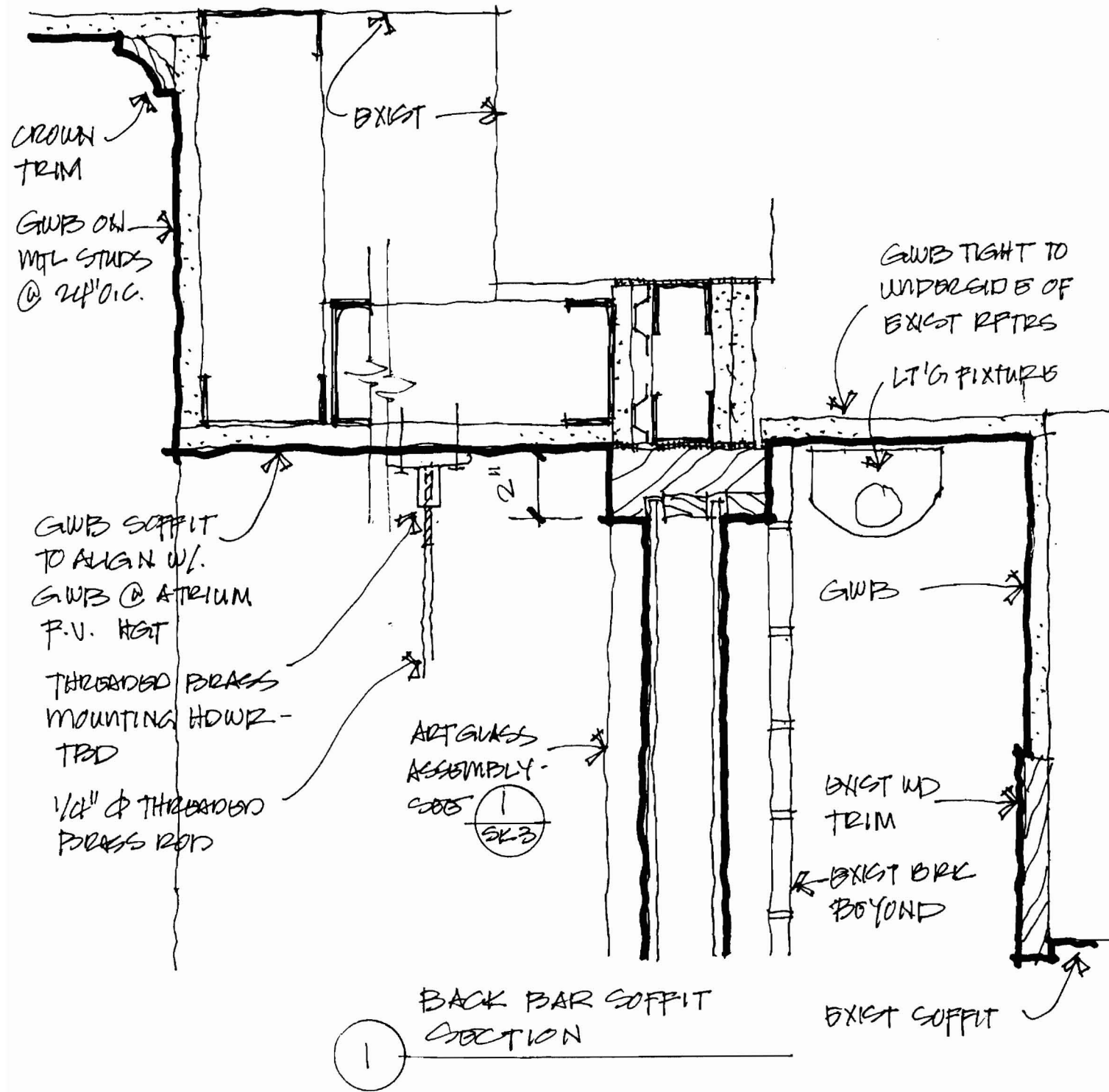
BARBÄ+WHELOCK

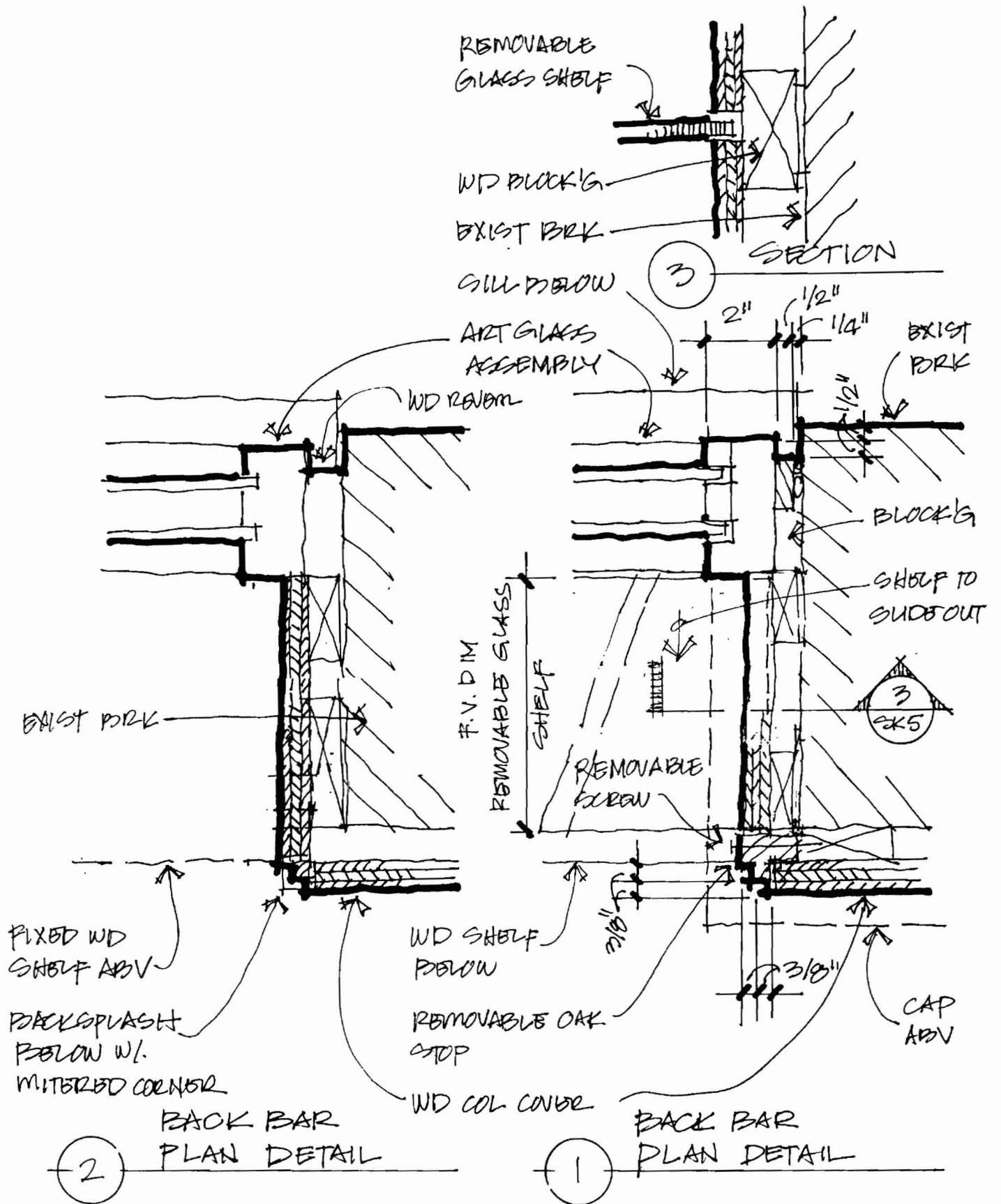
BACK BAR DETAIL

SK3

CUMBERLAND CLUB PHASE 1

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8/27/08





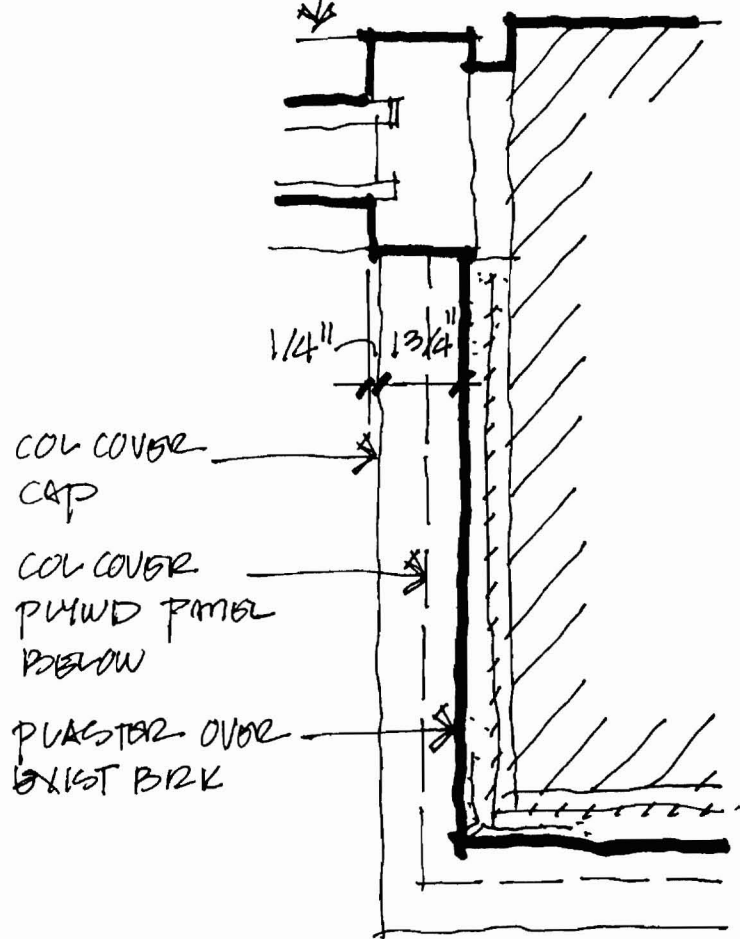
CUMBERLAND CLUB PHASE 1

BACK BAR DETS

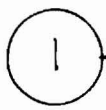
SK5

ISSUED FOR PERMIT & PRICING
8/27/08

ART GUNES
ASSEMBLY



BACK BAR
PLAN DETAIL

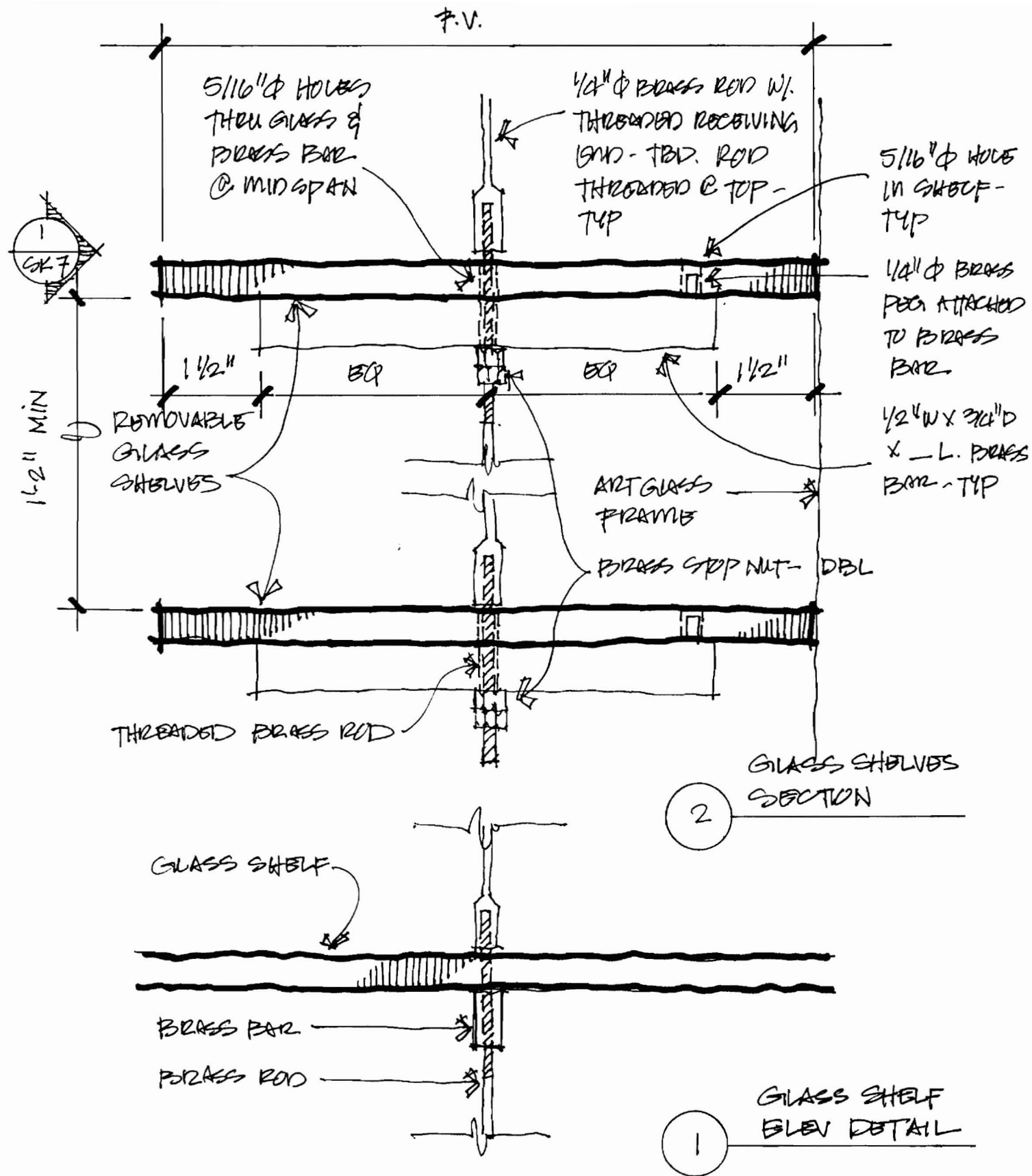


BACK BAR DET

SK6

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



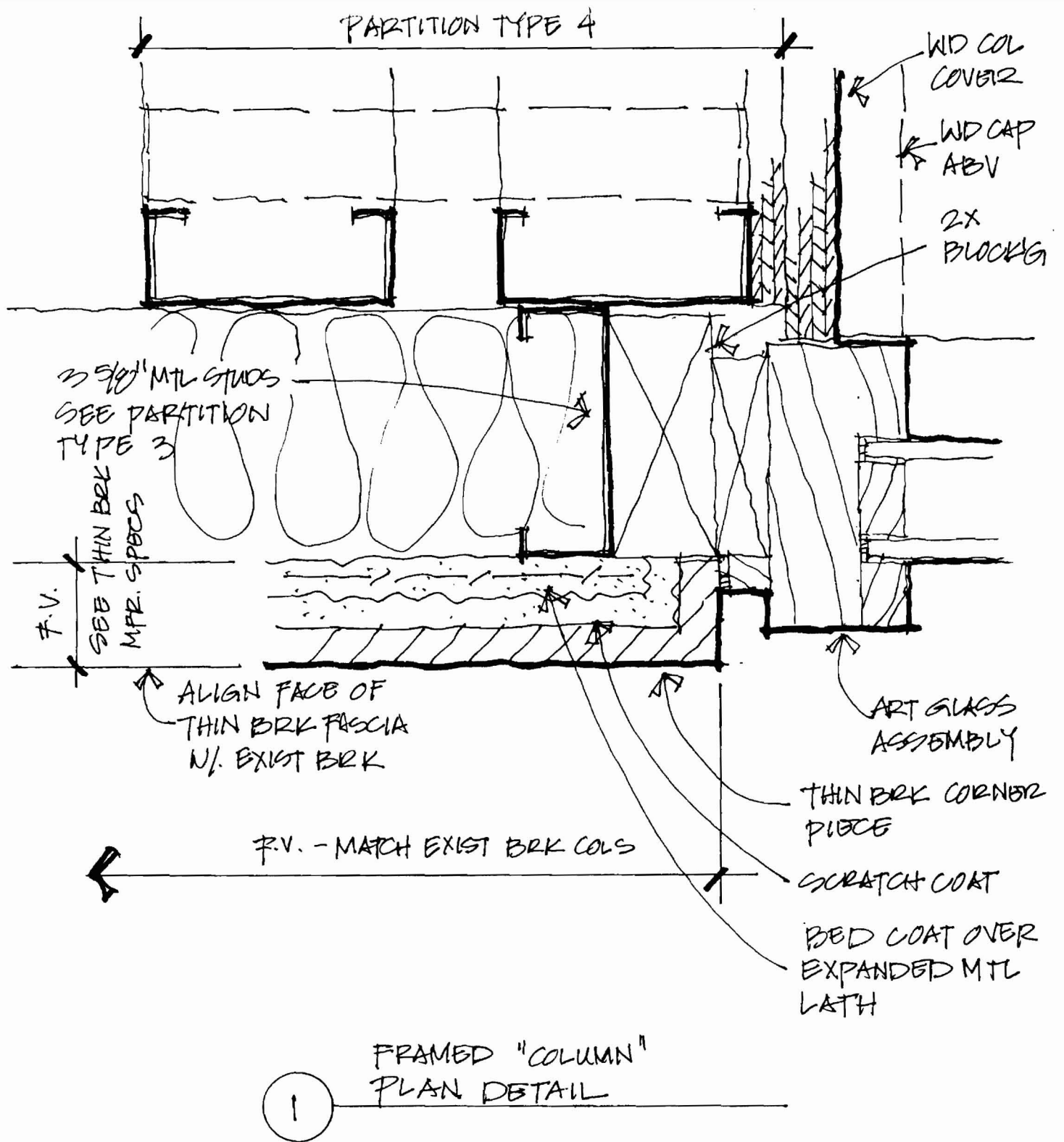
BARBÄ+WHEELOCK

GLASS SHELF DETS

SK7

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



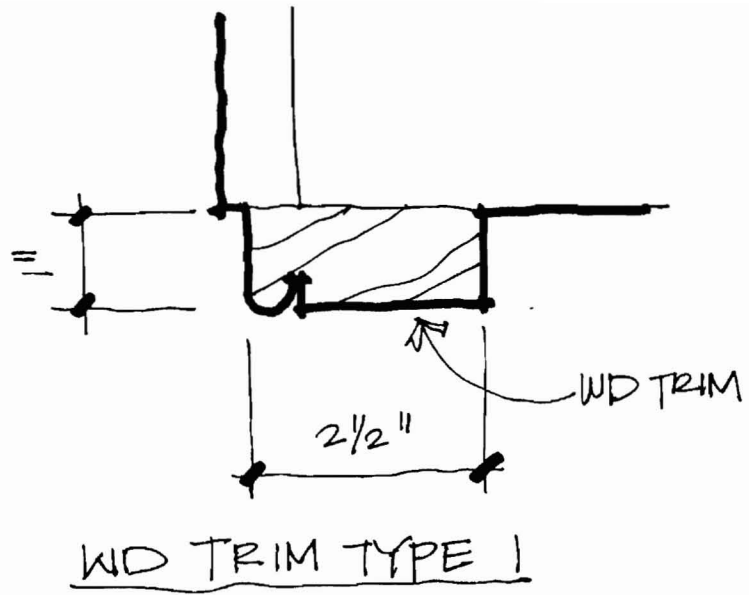
BARBÄ+WHEELOCK

"BRICK COLUMN" DET

SK8

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08

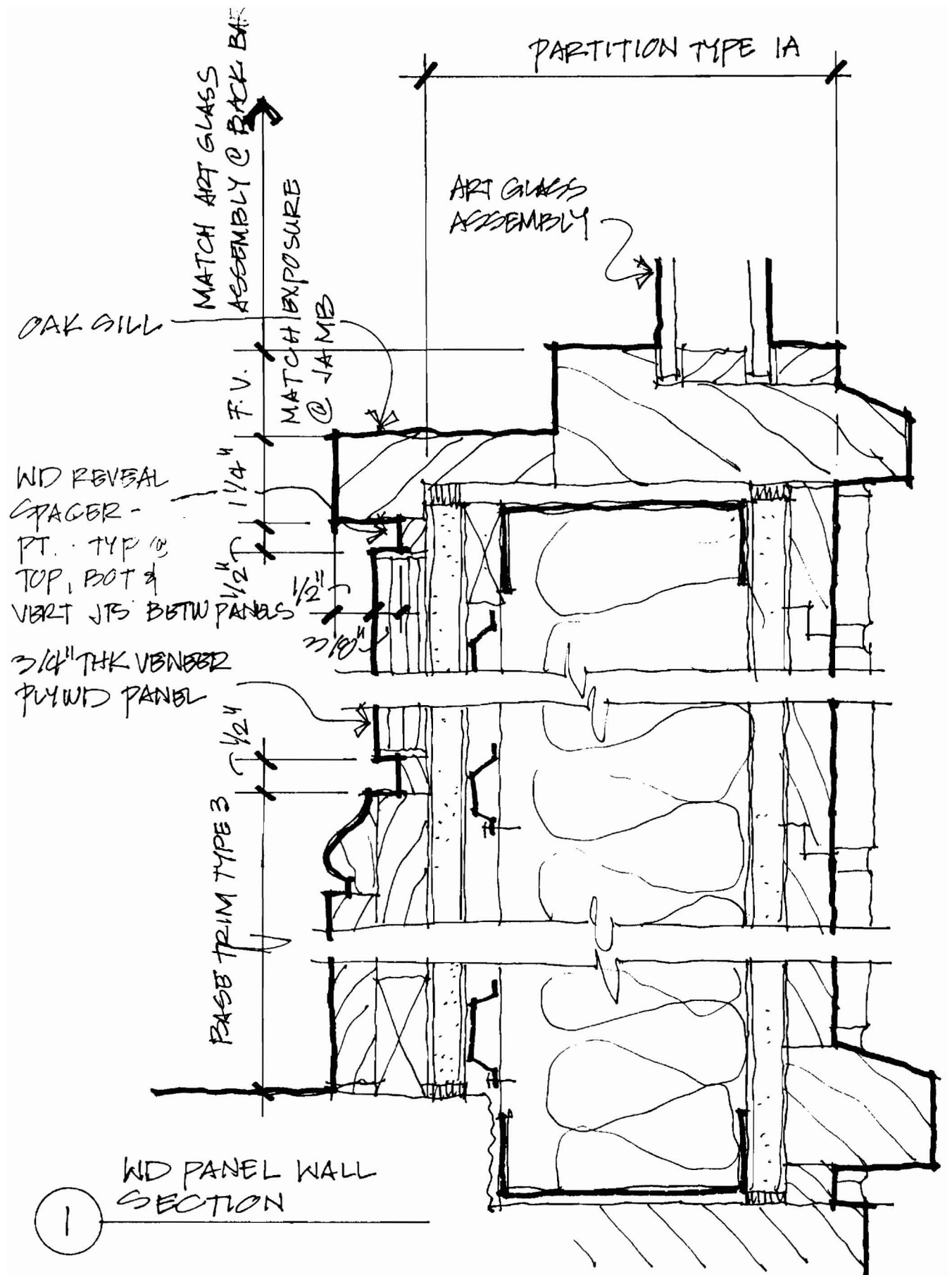


CUMBERLAND CLUB PHASE 1

TRIM DETS

SK9

ISSUED FOR PERMIT & PRICING
8/27/08



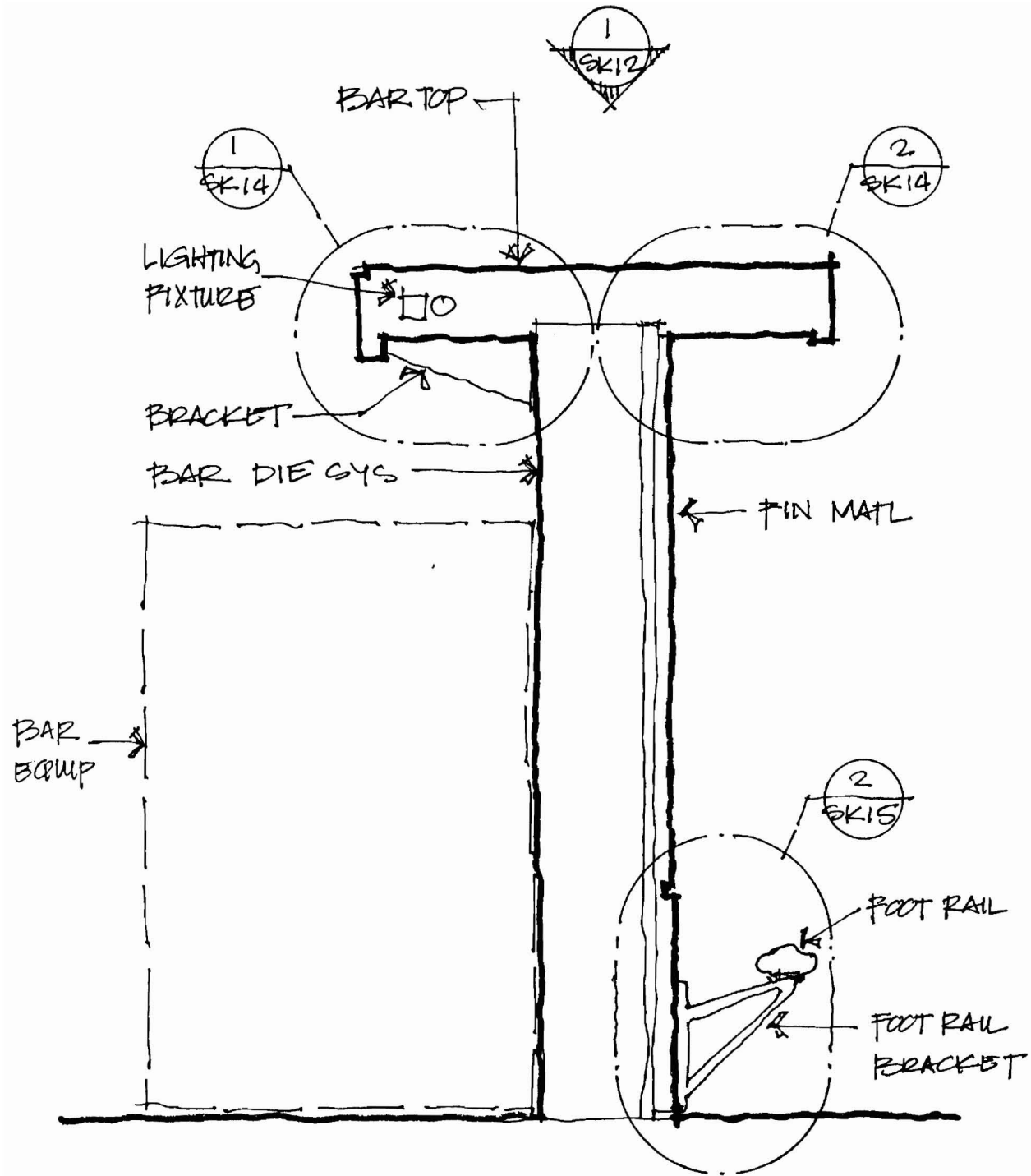
BARBĀ+WHEELOCK

WD PANEL DETAIL

SK11

ISSUED FOR PERMIT & PRICING
8/27/08

CUMBERLAND CLUB PHASE 1



1 SK13 BAR SECTION DIAGRAM

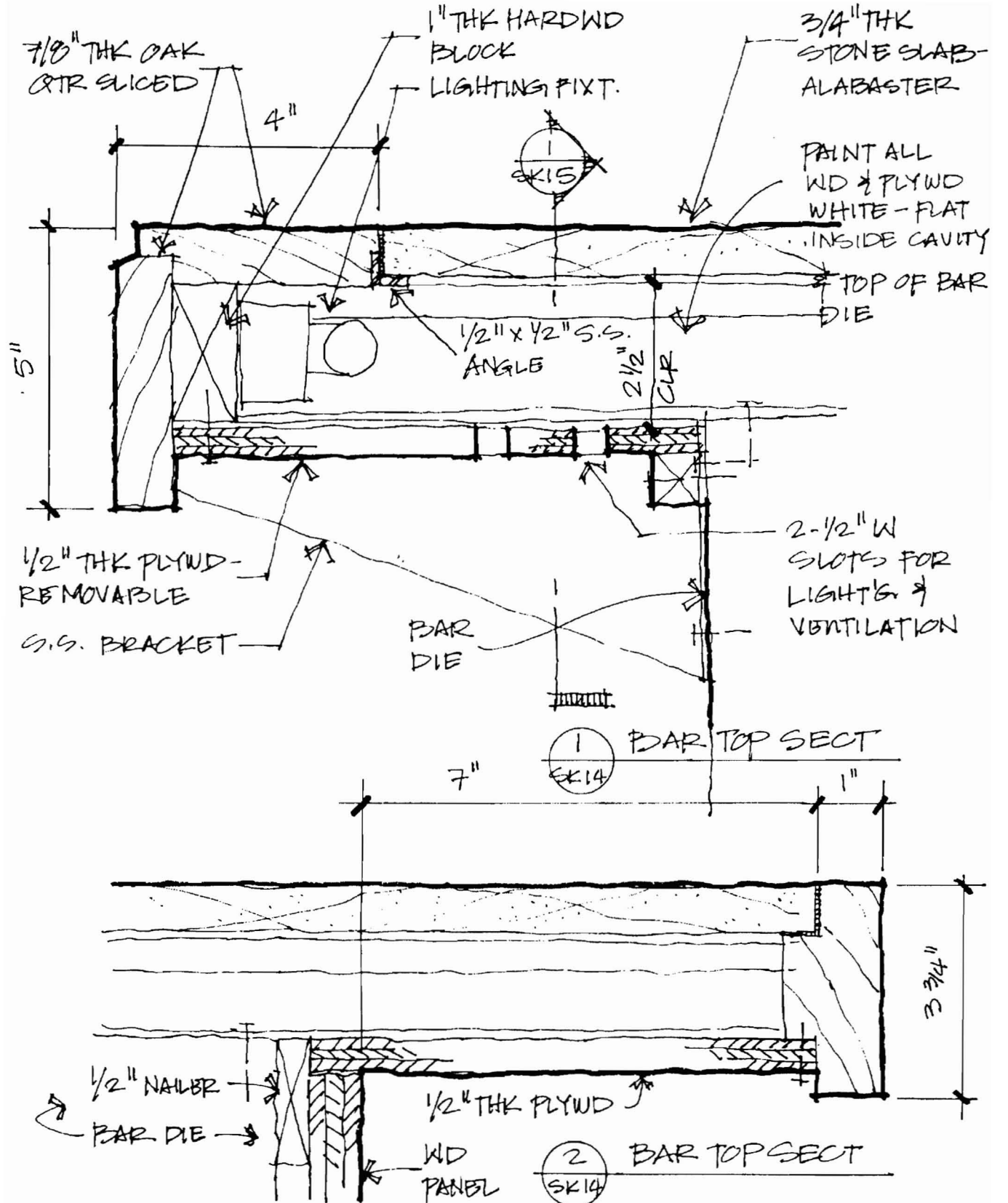


BAR DETAILS

SK13

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



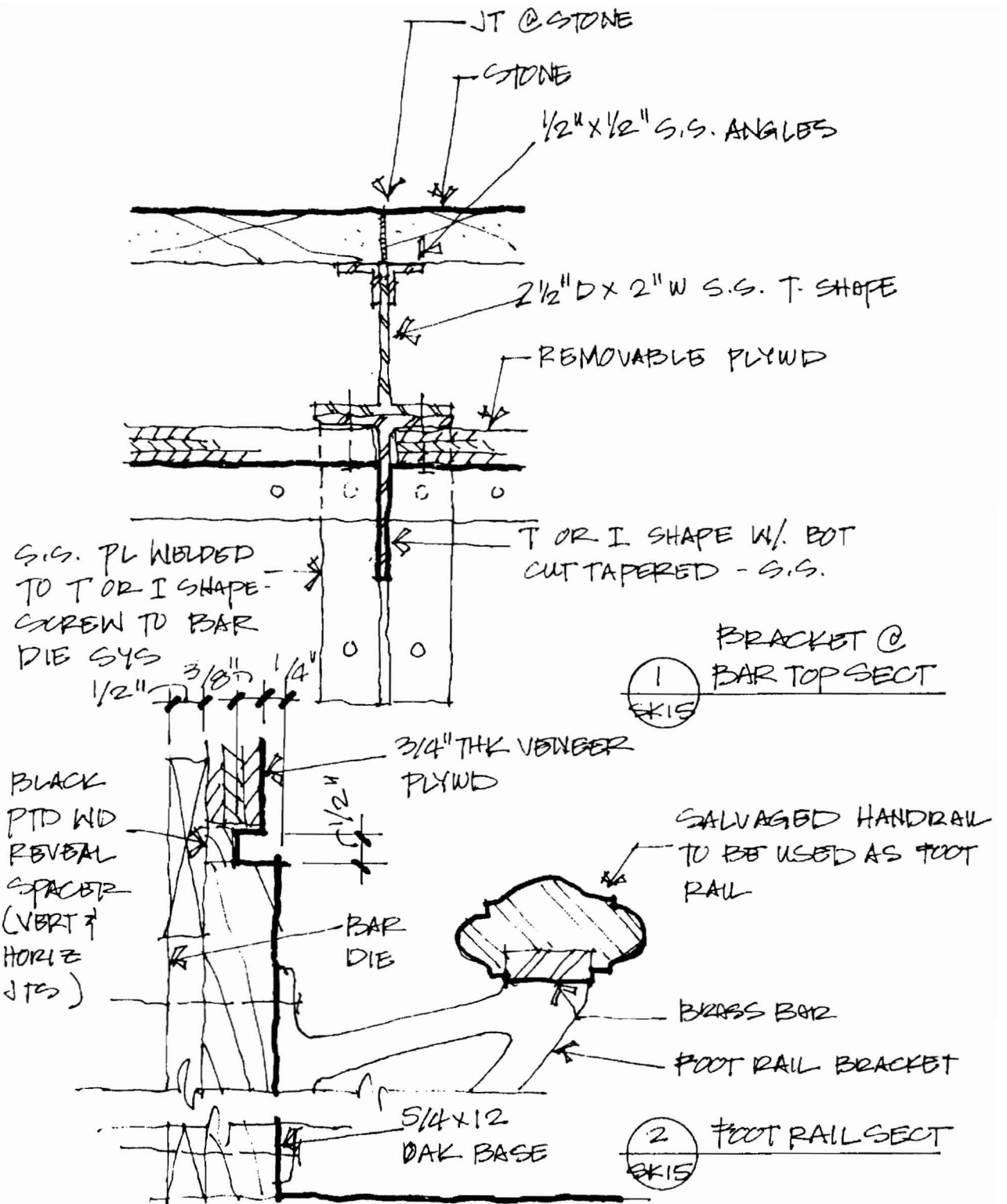
BARBÄ+WHEELOCK

BAR DETAILS

SK14

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
 8/27/08



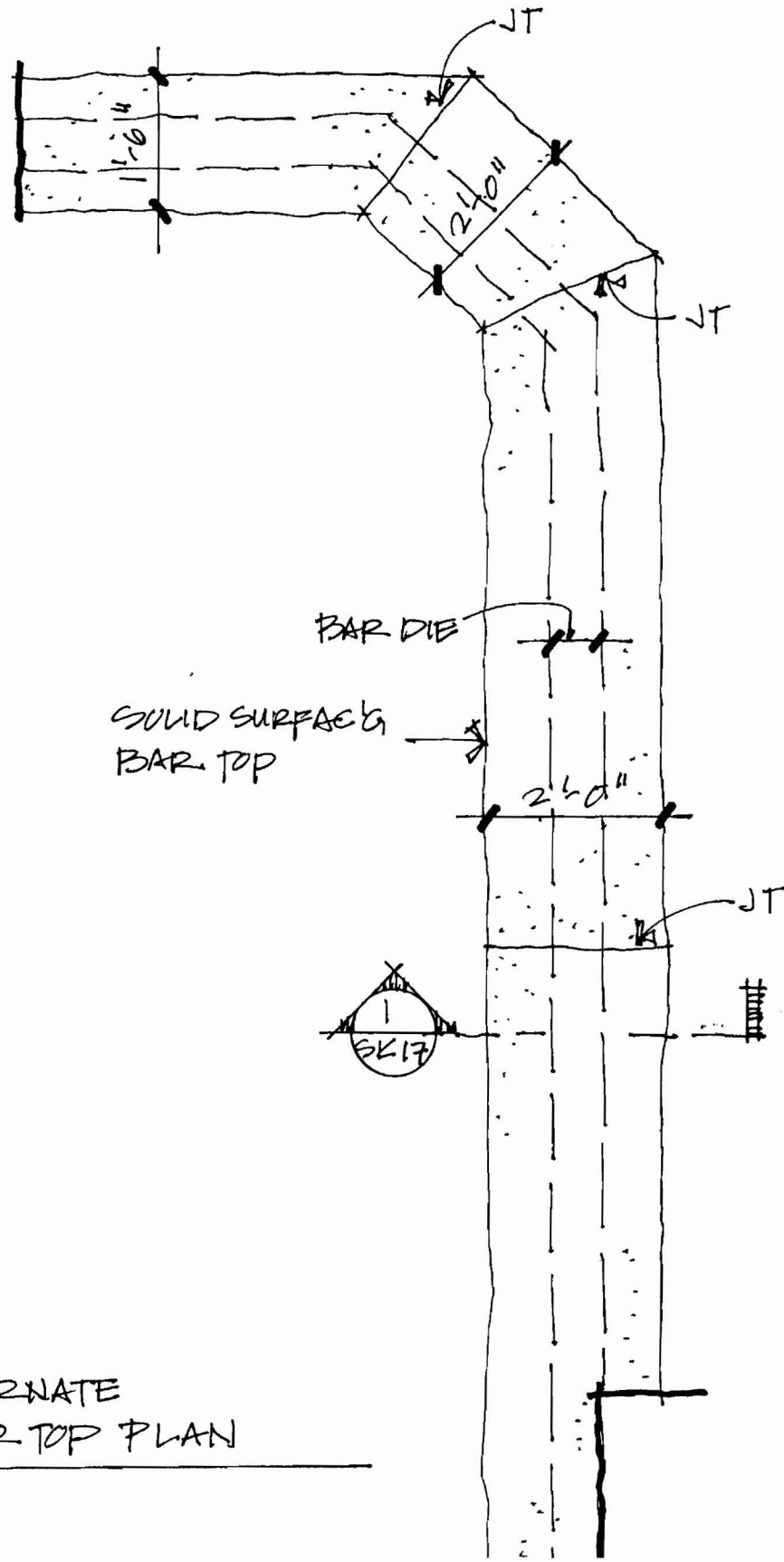
BARBÄ+WHEELOCK

BAR DETAILS

SK15

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



ALTERNATE
BAR TOP PLAN

①
SK16

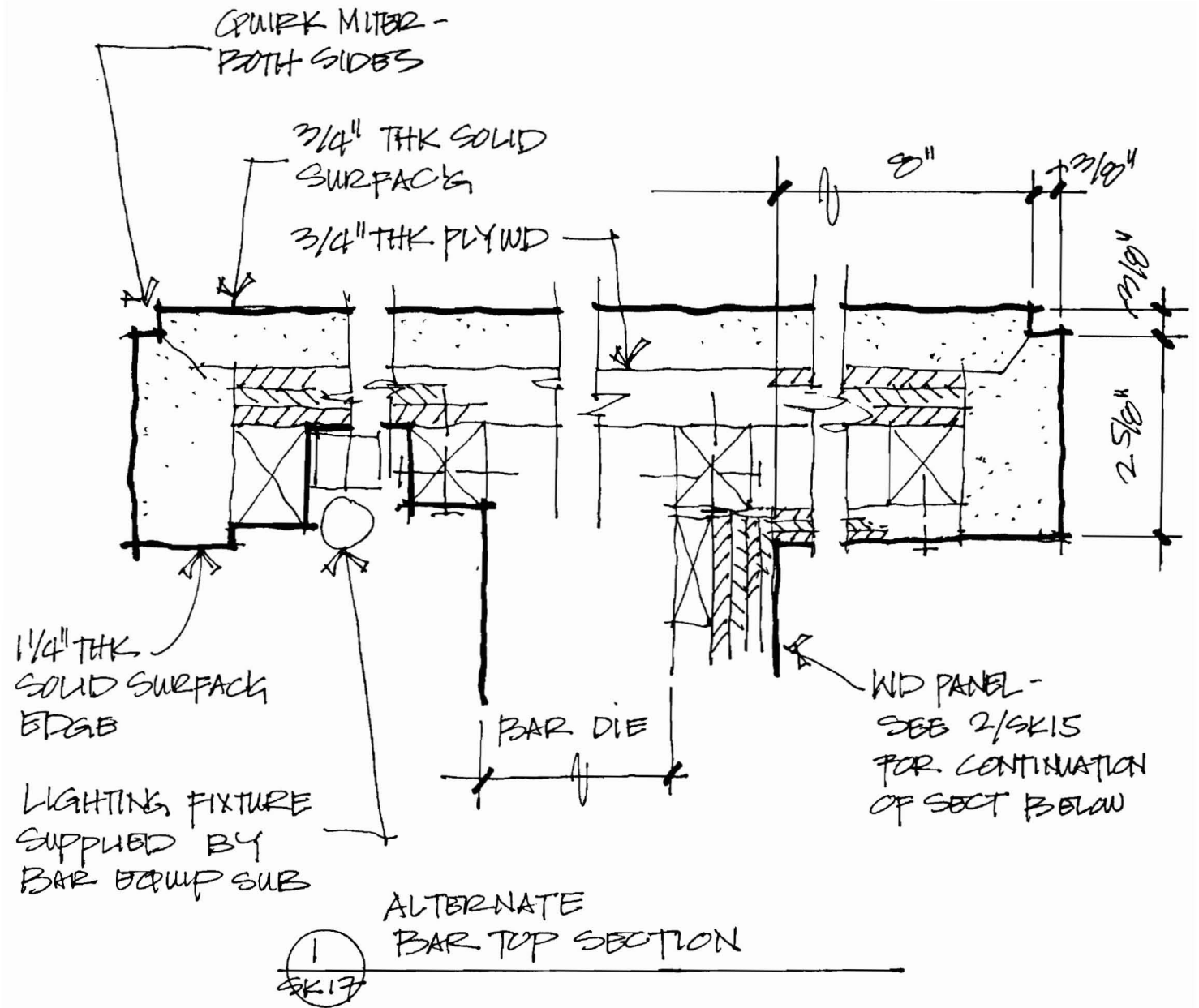
BARBĀ+WHEELOCK

ALTERNATE BAR TOP

SK16

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



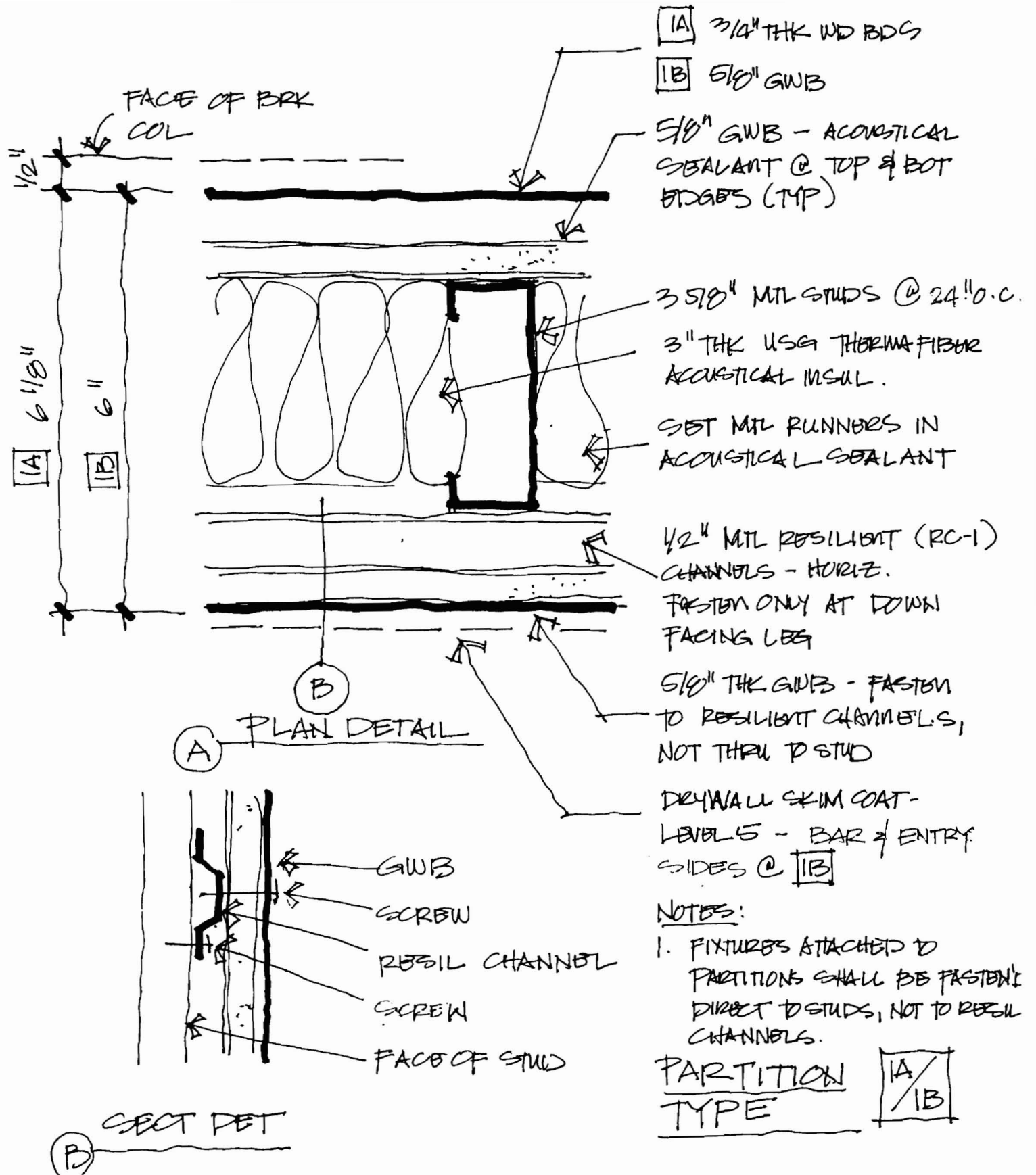
BARBÄ+WHEELOCK

ALTERNATE BAR TOP

SK17

CUMBERLAND CLUB PHASE 1

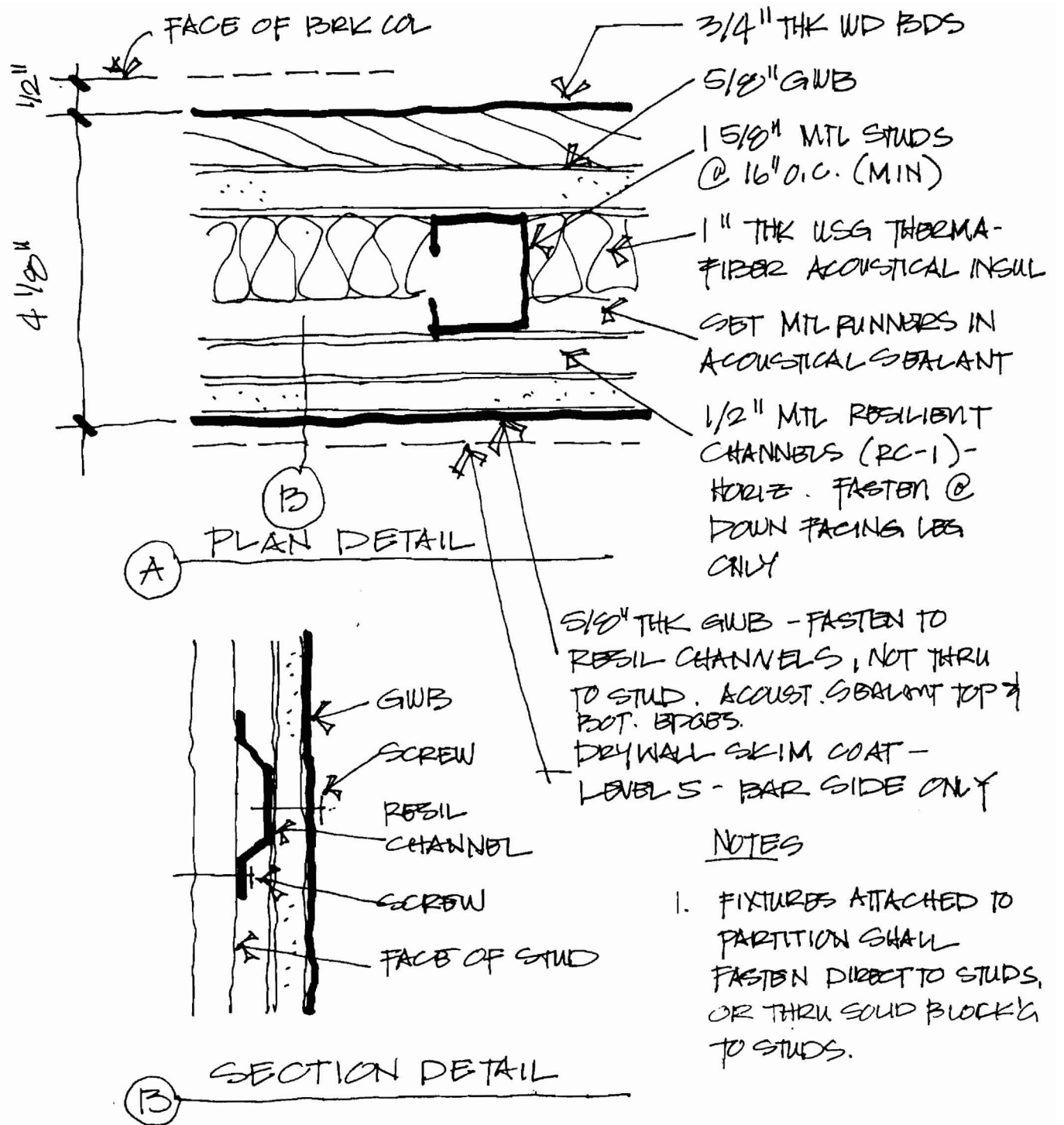
ISSUED FOR PERMIT & PRICING
8/27/08



PARTITION TYPE DETAIL

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



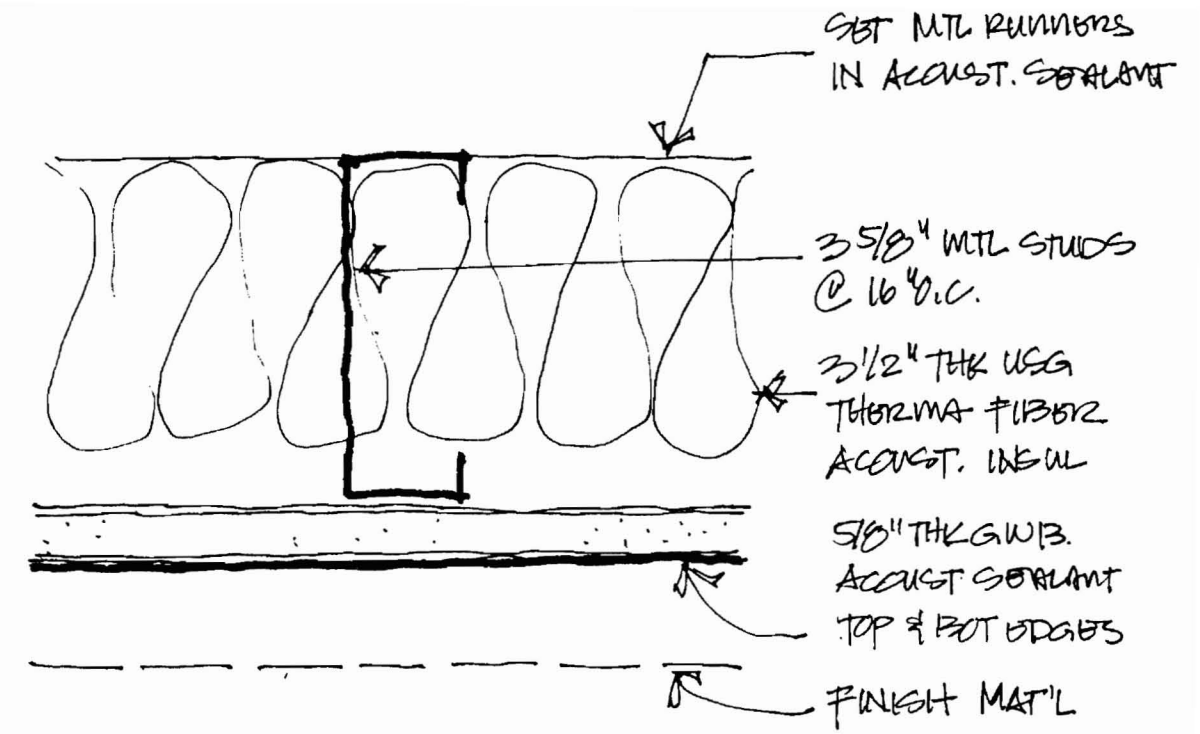
PARTITION TYPE 2

BARBÀ+WHELOCK

PARTITION TYPE DETAIL

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



○ PLAN DETAIL

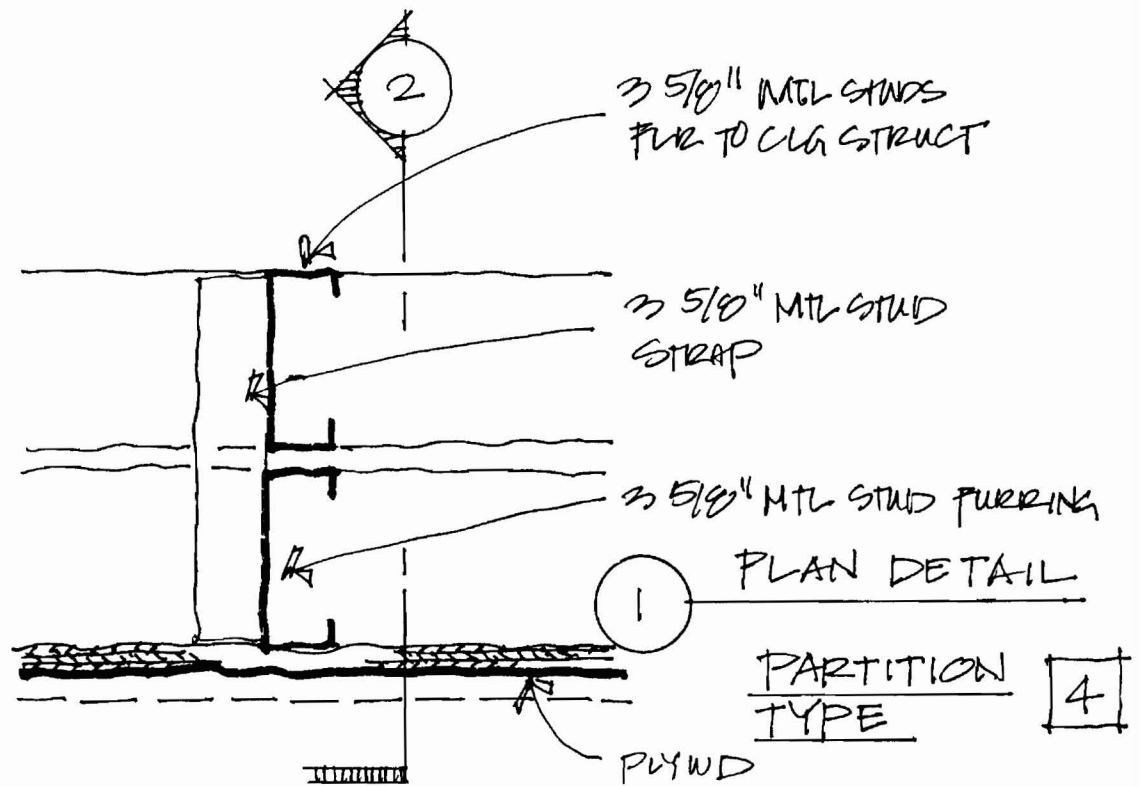
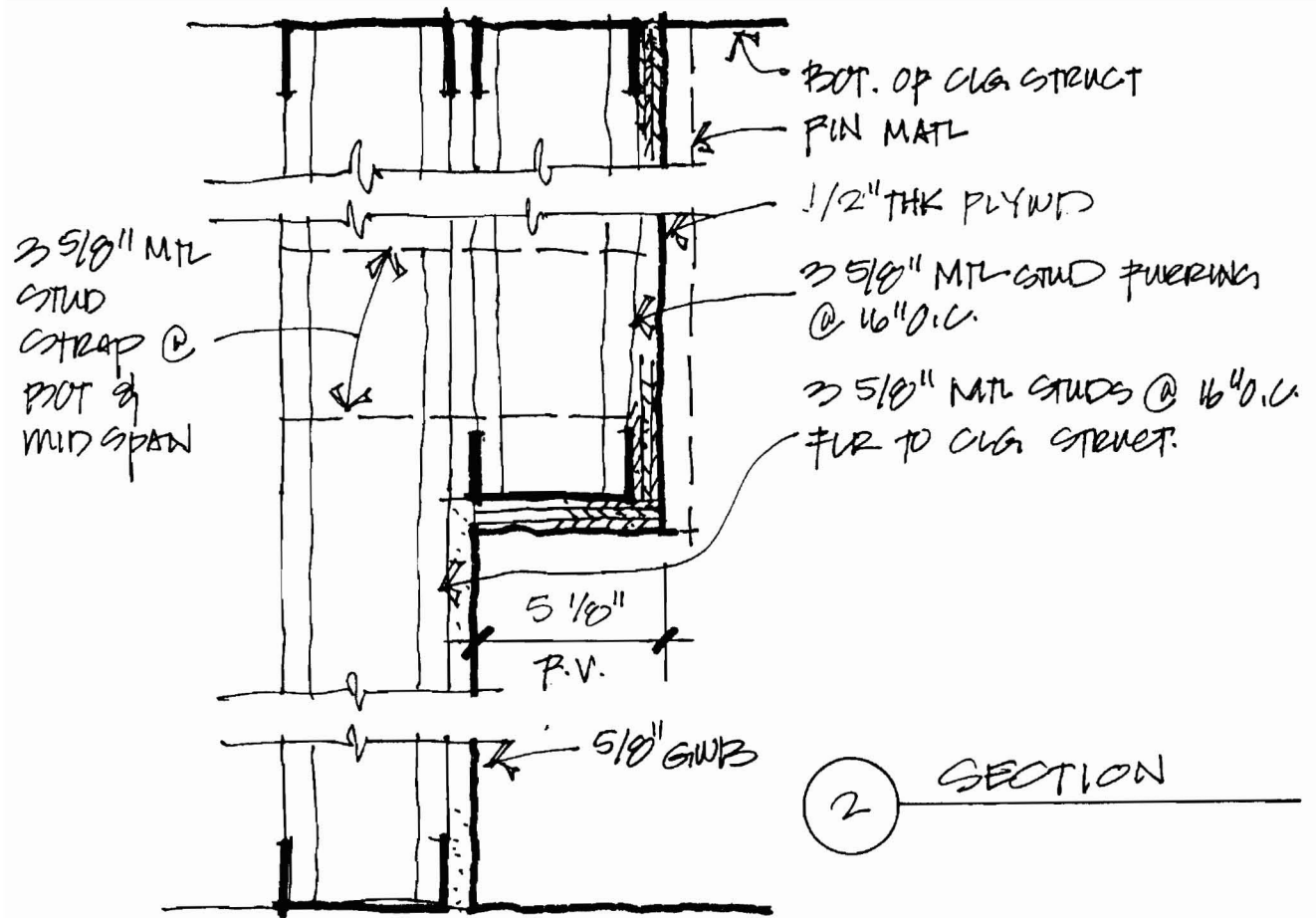
PARTITION
TYPE 3

BARBÄ+WHEELOCK

PARTITION TYPE DETAIL

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08

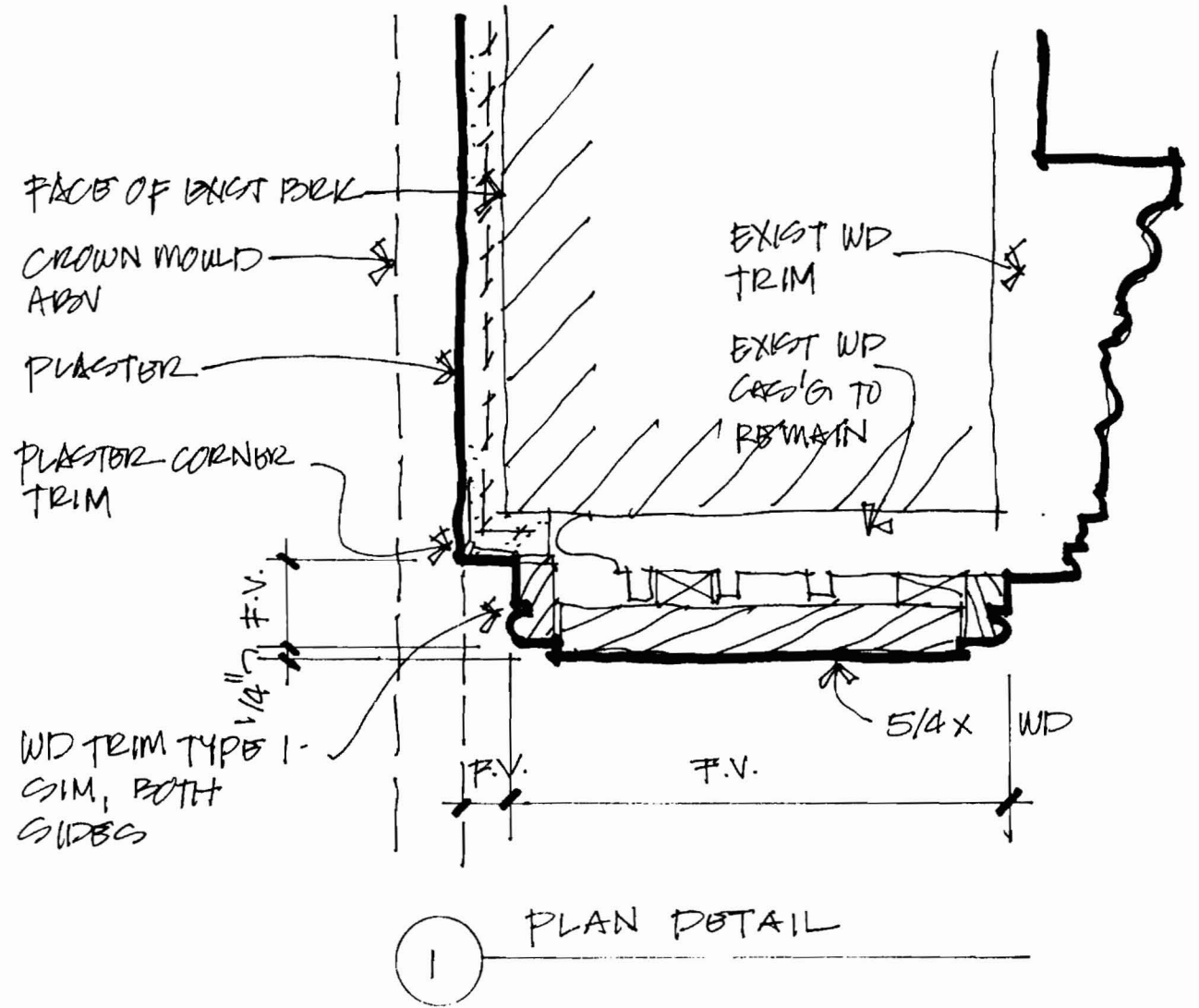


BARBÁ+WHEELOCK

PARTITION TYPE DETAIL

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08

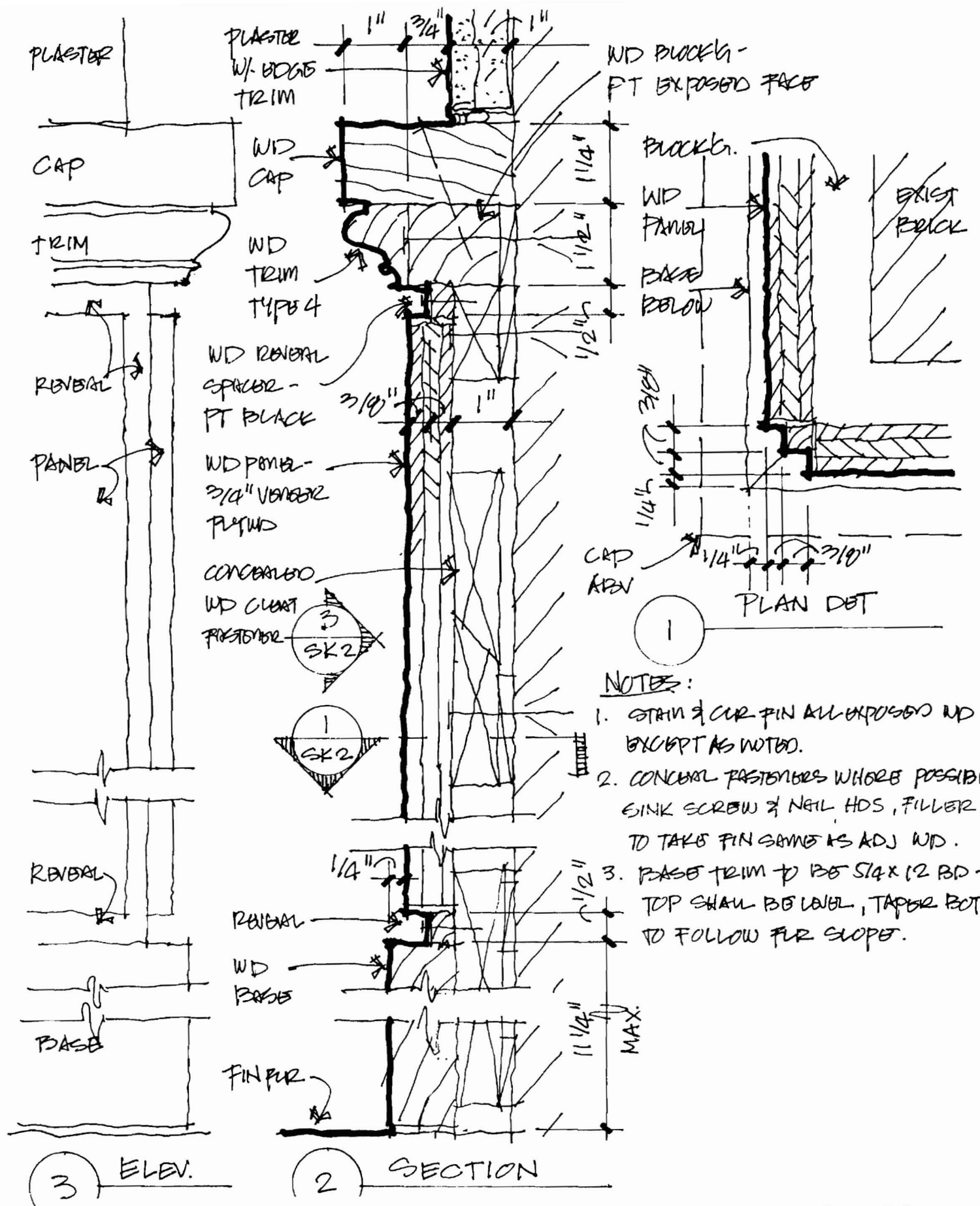


USS MAINE RM OPNG
JAMB DET

SK1

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



NOTES:

1. STAIN & CUR FIN ALL EXPOSED WD EXCEPT AS NOTED.
2. CONCEAL FASTENERS WHERE POSSIBLE SINK SCREW & NAIL HDS, FILLER TO TAKE FIN SAME AS ADJ WD.
3. BASE TRIM TO BE 5/4 X 12 BD - TOP SHALL BE LEVEL, TAPER BOT TO FOLLOW FLR SLOPE.

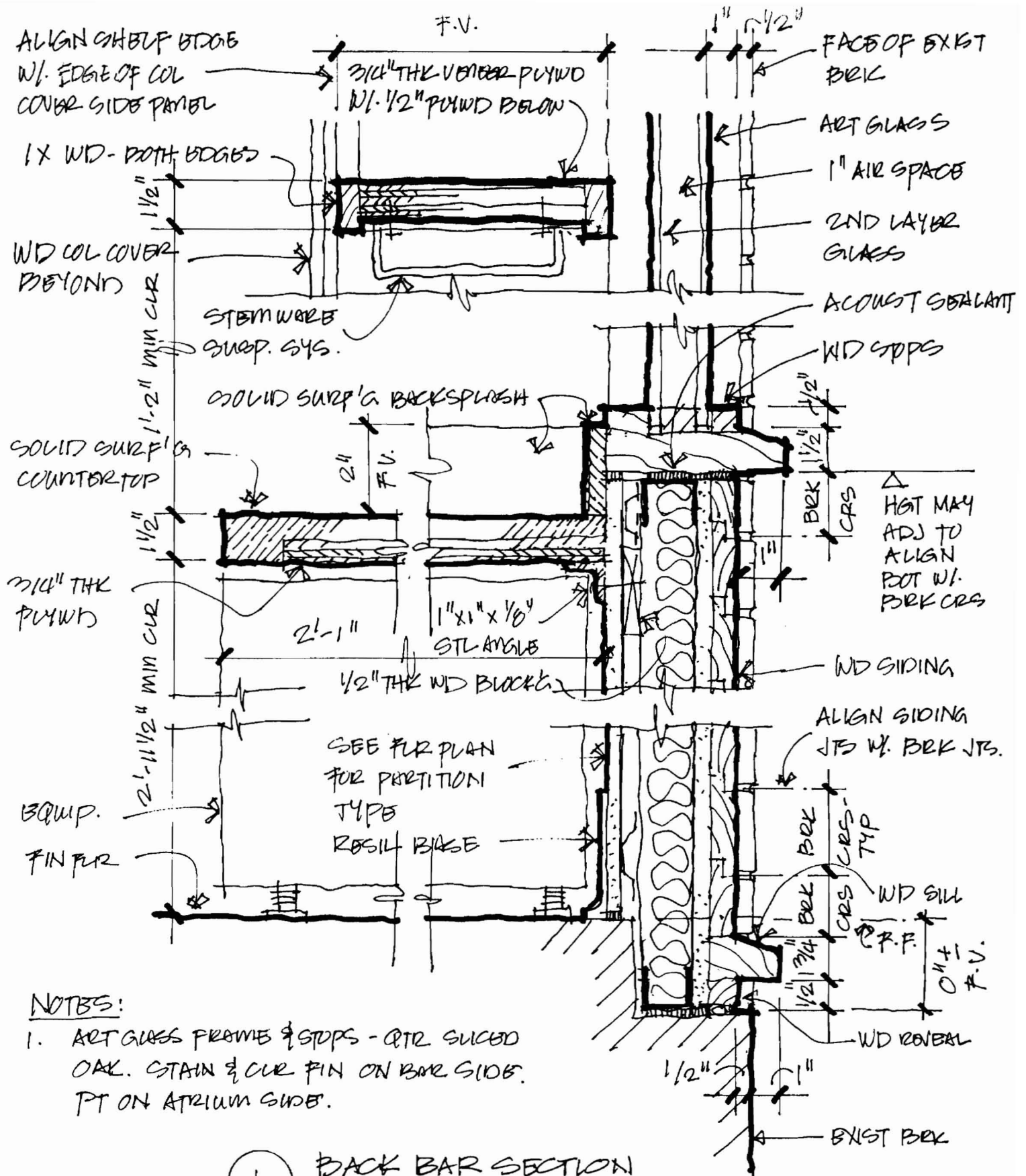


WD COL COVER DETS

SK2

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



NOTES:

1. ART GLASS FRAME & STOPS - QTR SUCED OAK. STAIN & CUR FIN ON BRK SIDE. PT ON ATRIUM SIDE.

1 BACK BAR SECTION

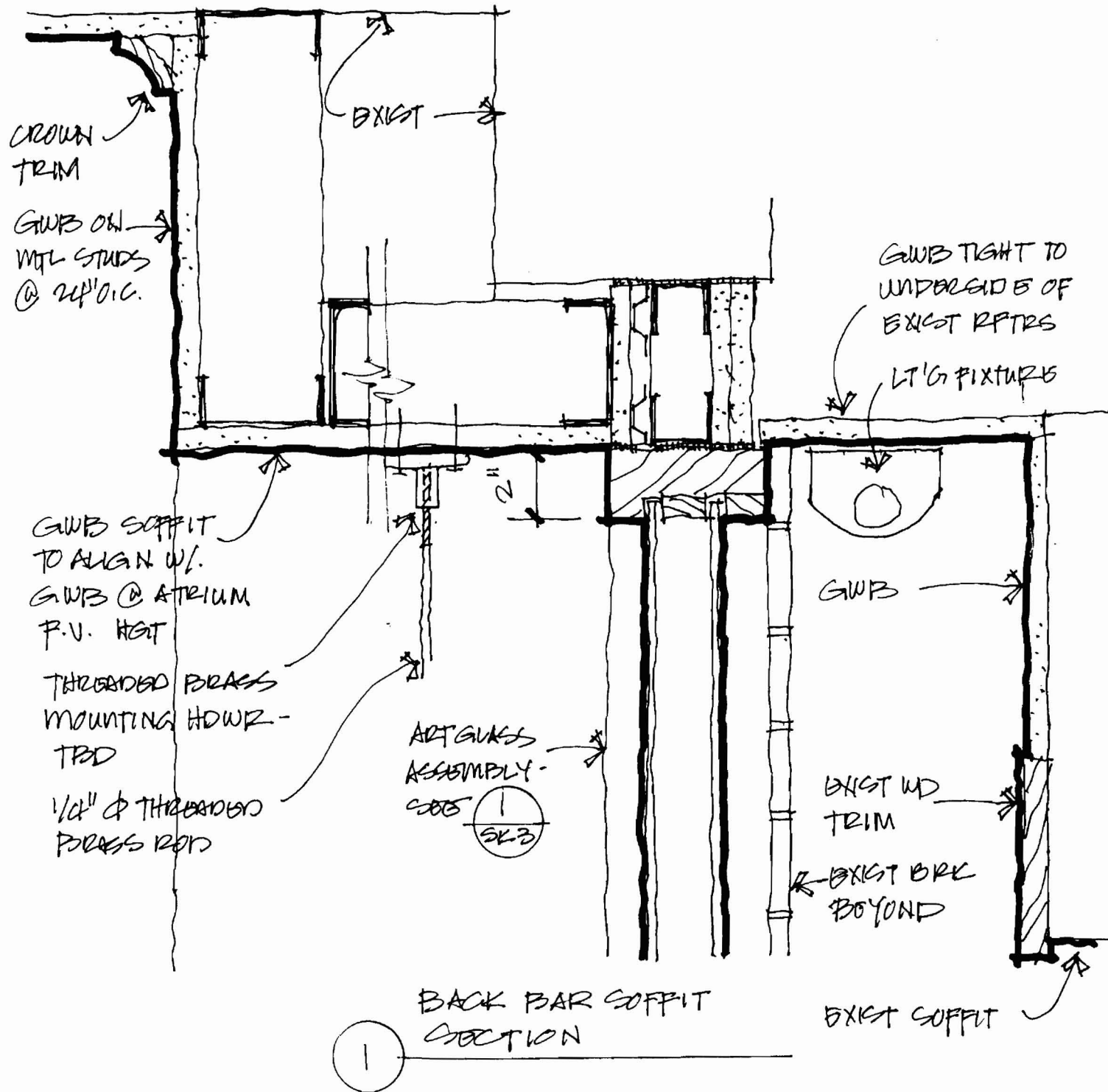


BACK BAR DETAIL

SK3

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



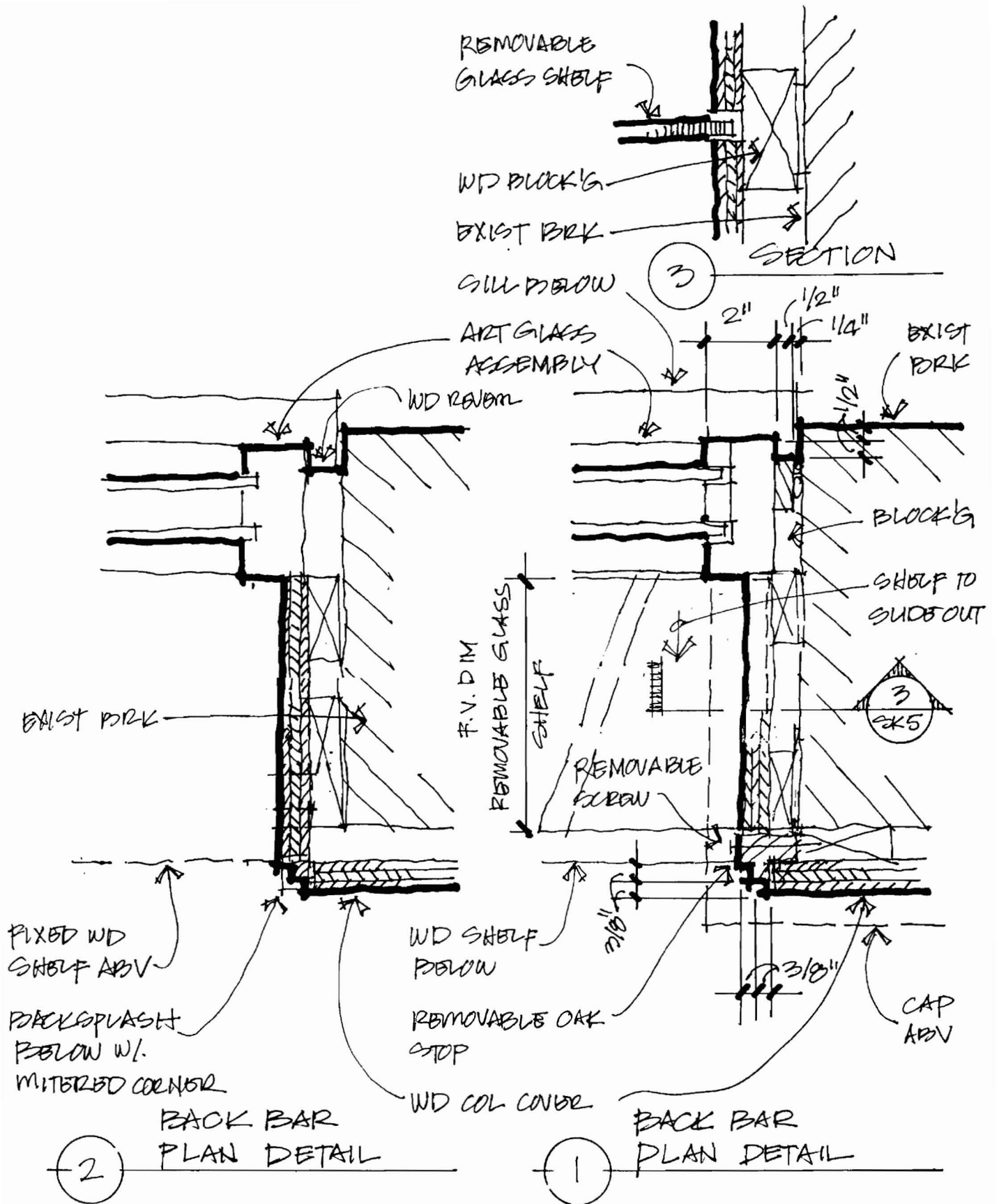
BARBÄ+WHEELOCK

BACK BAR SOFFIT DET

SK4

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



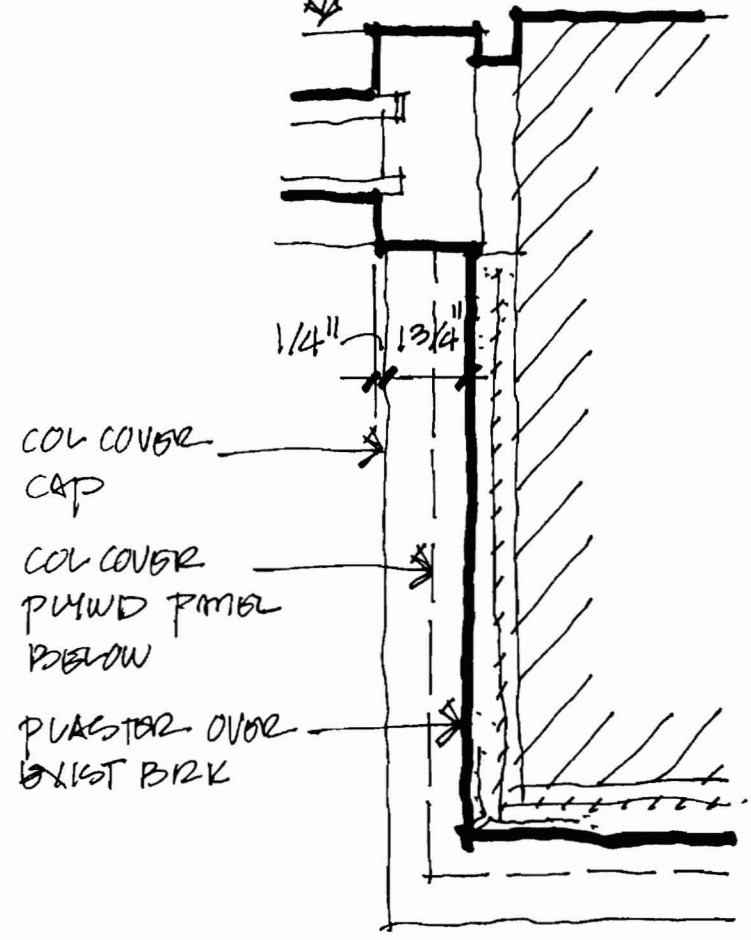
BACK BAR DETS

SK5

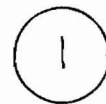
CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08

ART GLASS
ASSEMBLY



BACK BAR
PLAN DETAIL

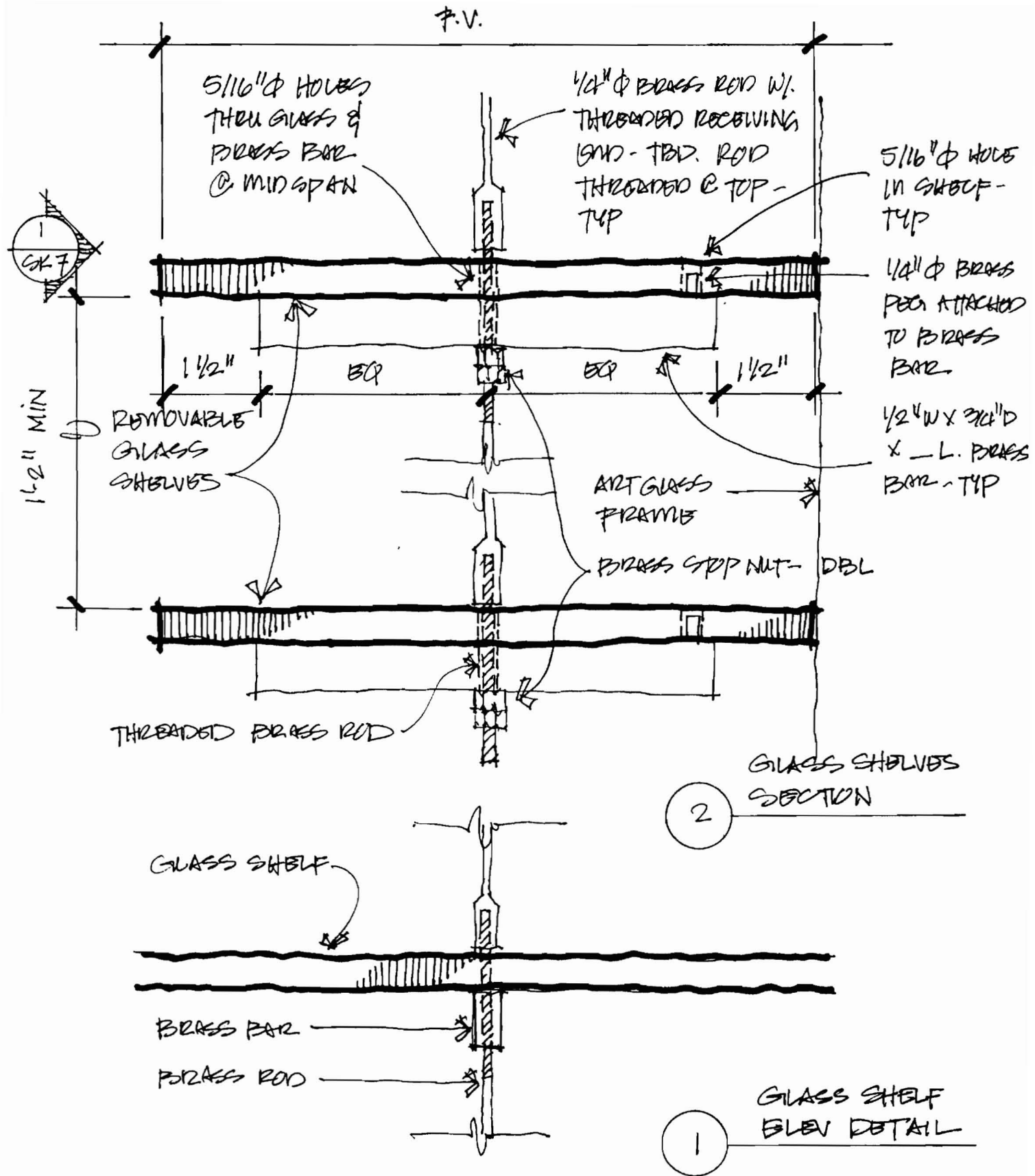


BACK BAR DET

SK6

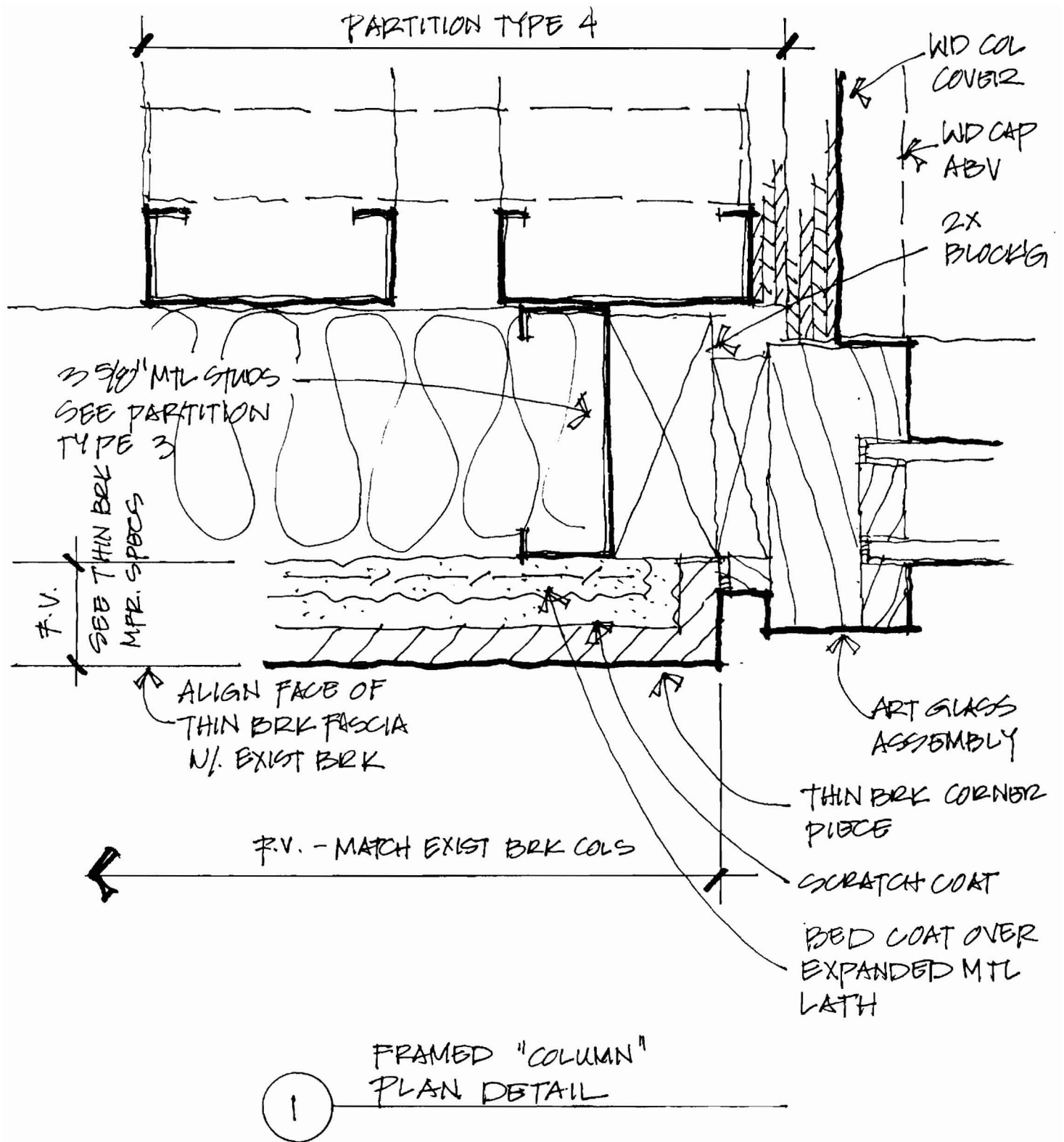
CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



GLASS SHELF DETS

SK7

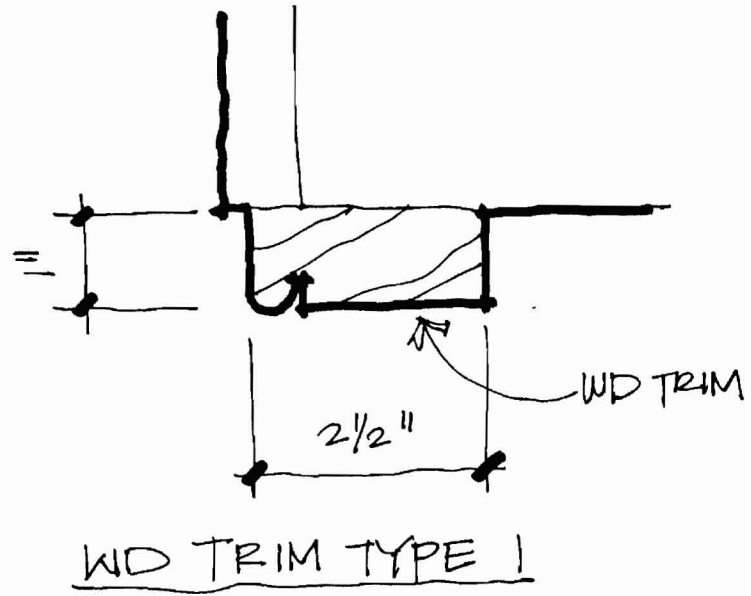


"BRICK COLUMN" DET

SK8

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



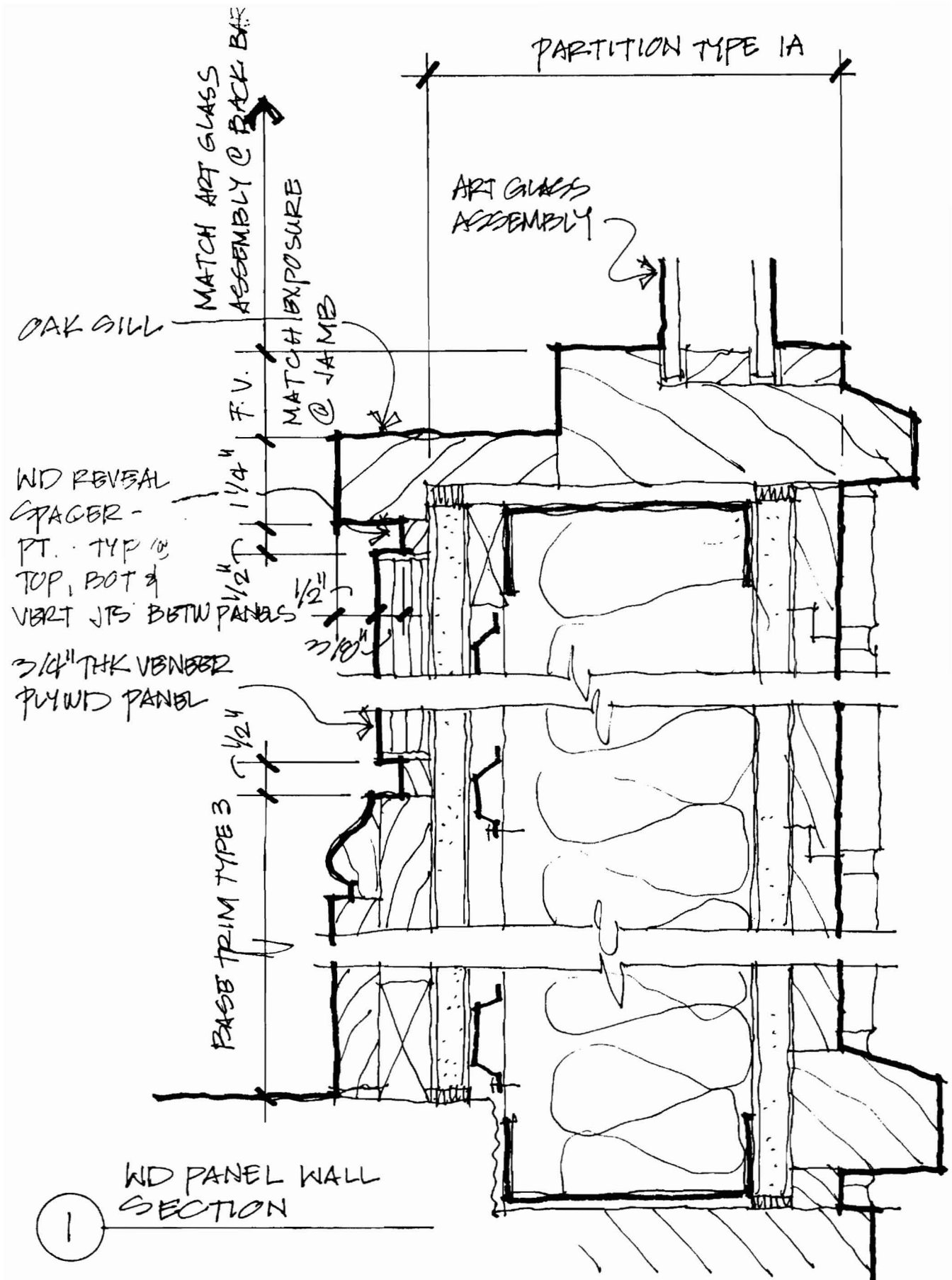
BARBÄ+WHEELOCK

TRIM DETS

CUMBERLAND CLUB PHASE 1

SK9

ISSUED FOR PERMIT & PRICING
8/27/08



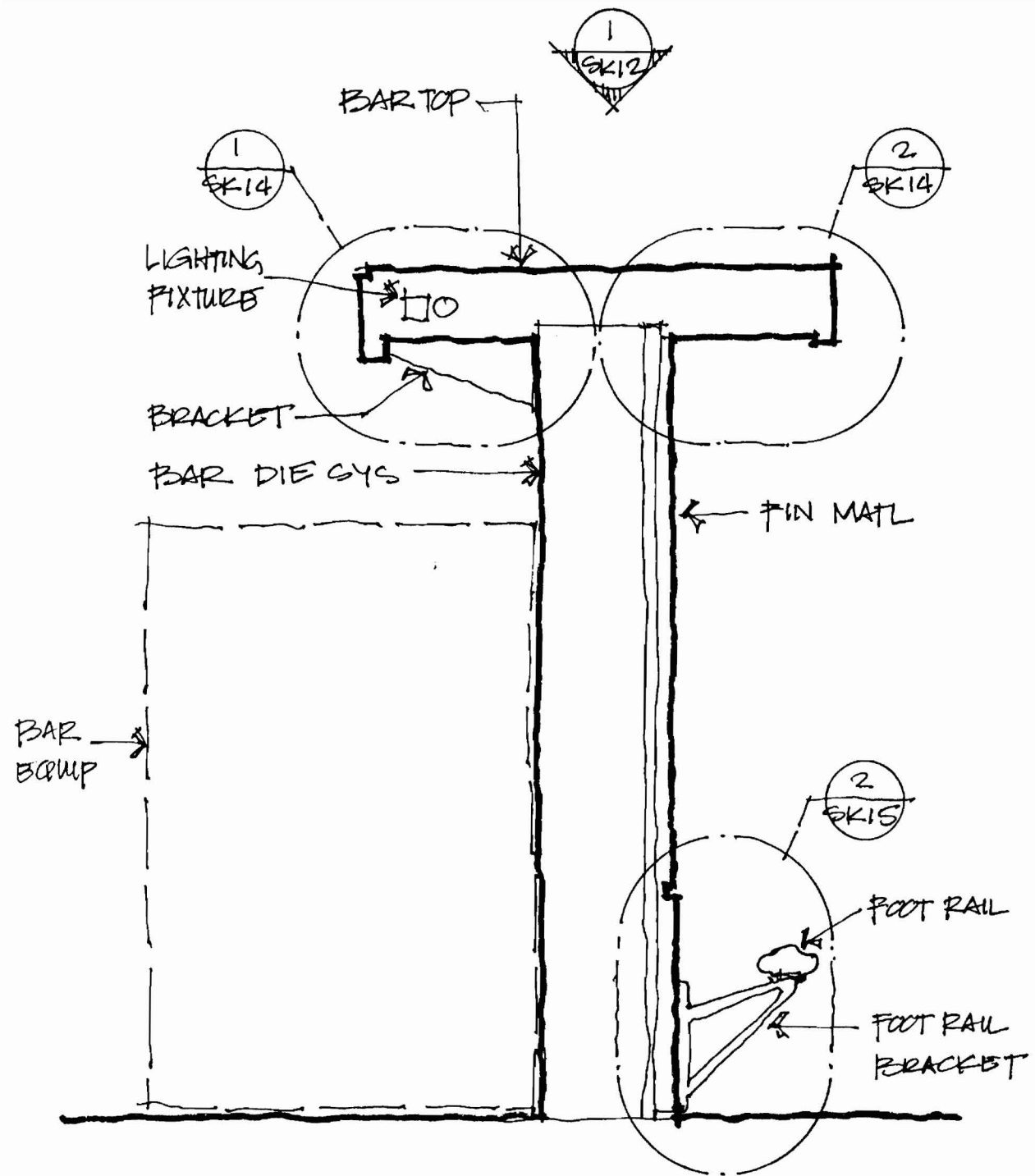
BARBÄ+WHEELLOCK

WD PANEL DETAIL

SK11

ISSUED FOR PERMIT & PRICING
8/27/08

CUMBERLAND CLUB PHASE 1



1 SK13 BAR SECTION DIAGRAM

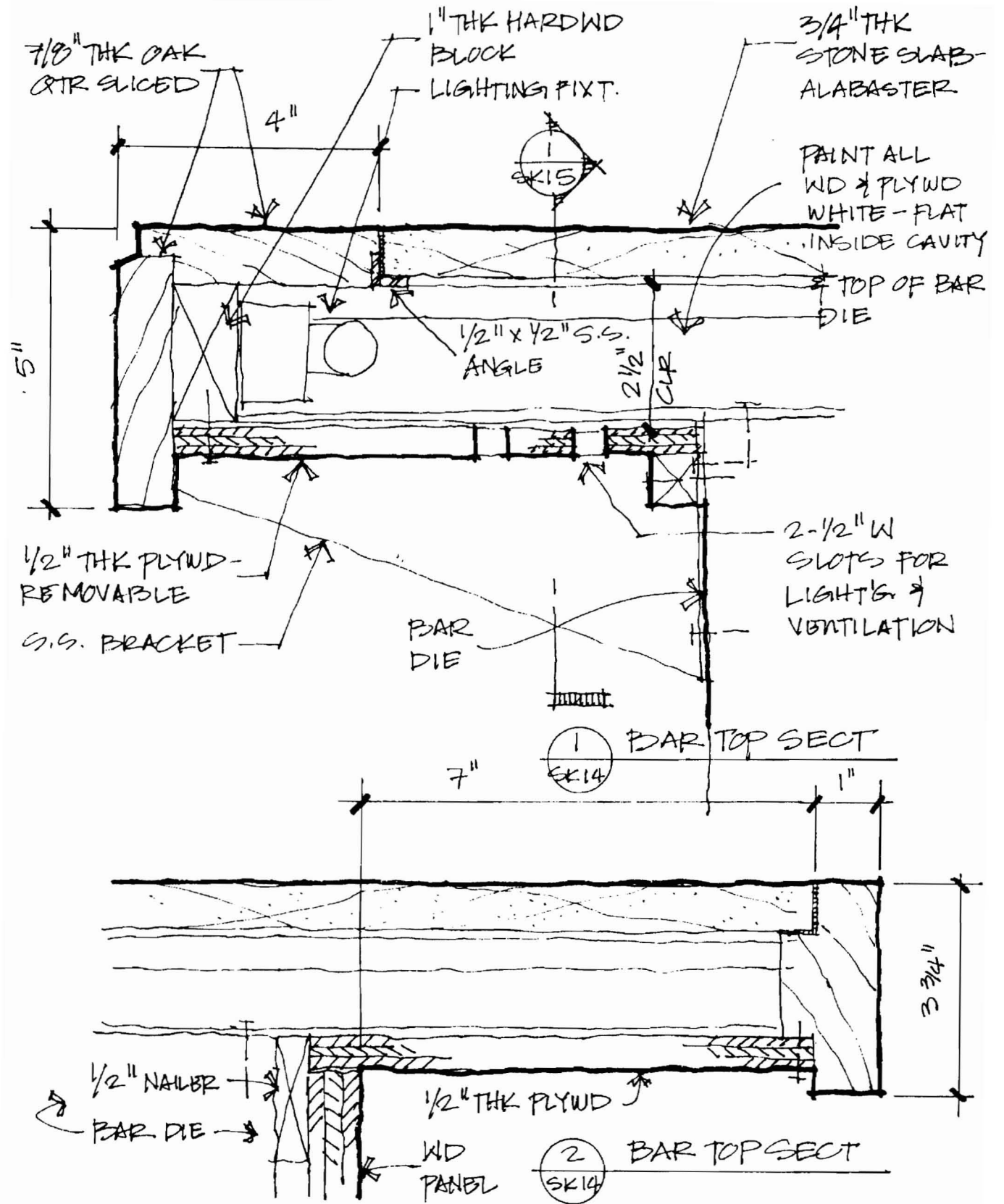


BAR DETAILS

SK13

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



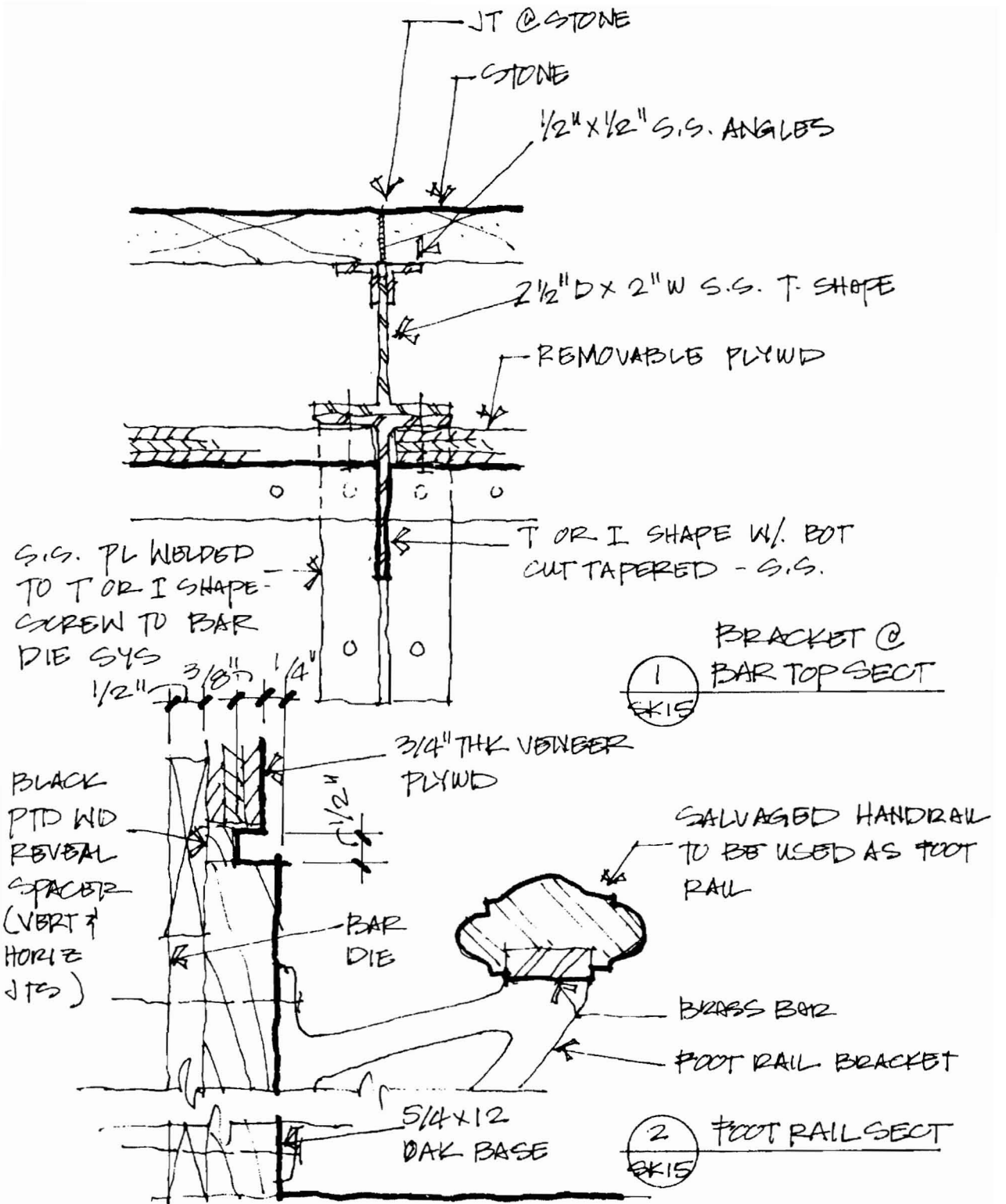
BARBÄ+WHEELOCK

BAR DETAILS

SK14

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08



BARBÄ+WHEELLOCK

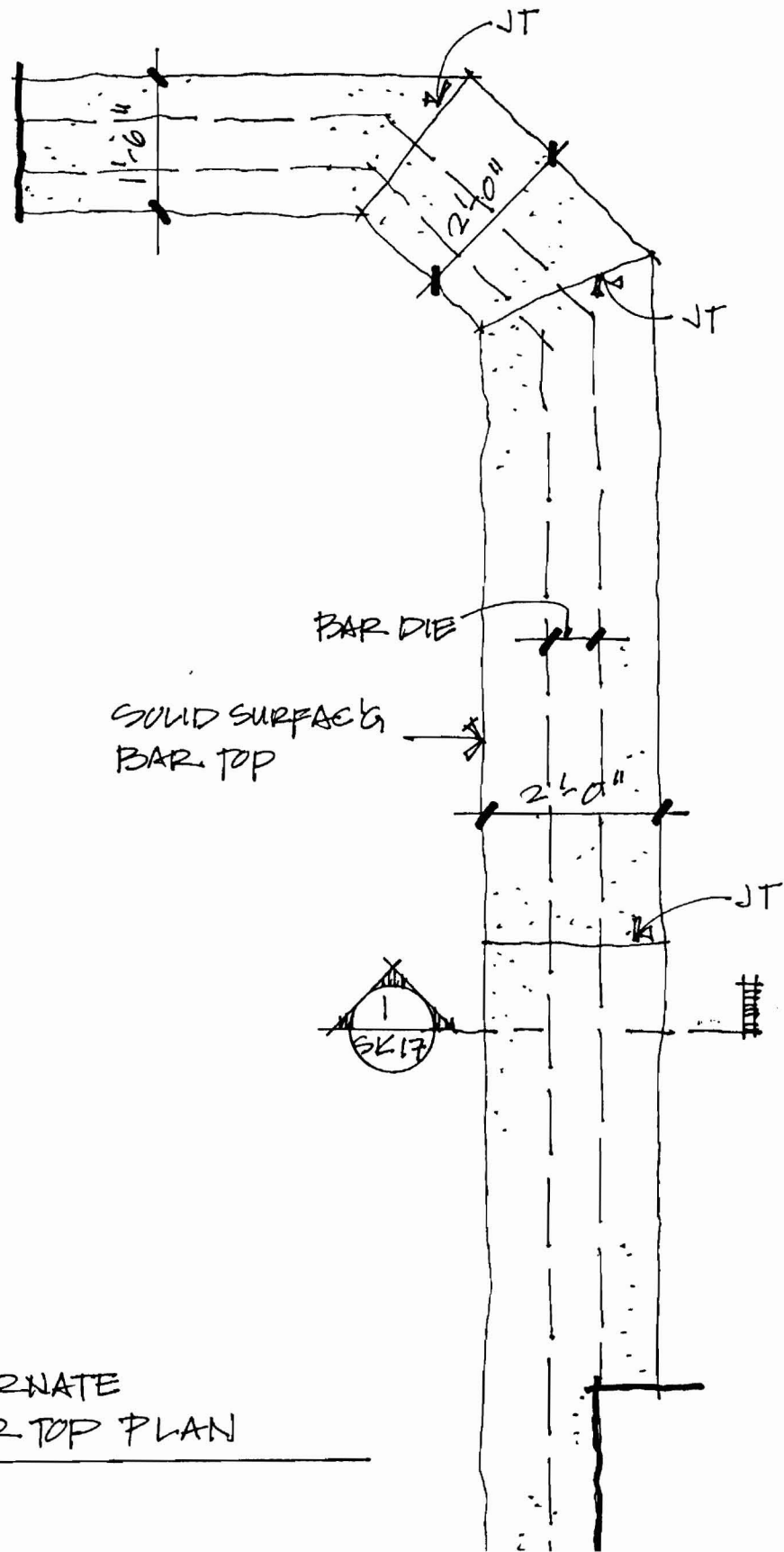
BAR DETAILS

SK15

ISSUED FOR PERMIT & PRICING

8/27/08

CUMBERLAND CLUB PHASE 1



1
SK16

ALTERNATE
BAR TOP PLAN

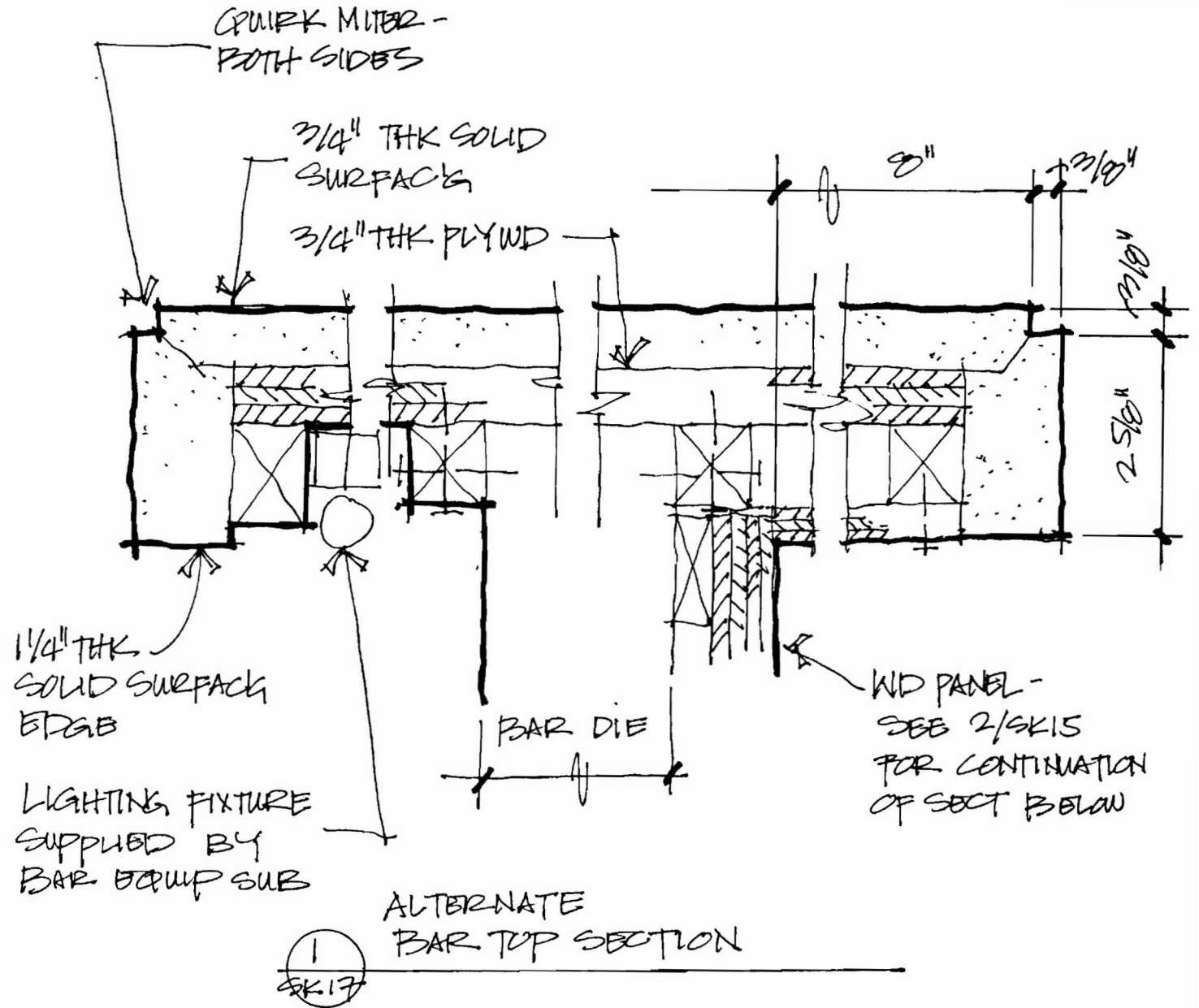
BARBĀ+WHEELOCK

ALTERNATE BAR TOP

SK16

ISSUED FOR PERMIT & PRICING
8/27/08

CUMBERLAND CLUB PHASE 1



BARBÄ+WHEELOCK

ALTERNATE BAR TOP

SK17

CUMBERLAND CLUB PHASE 1

ISSUED FOR PERMIT & PRICING
8/27/08

PHASE 1 CUMBERLAND CLUB

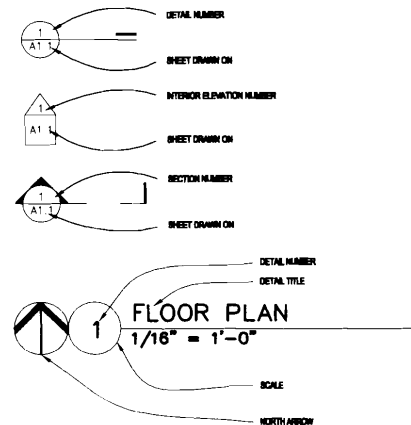
116 HIGH STREET
PORTLAND, MAINE 04101

AUGUST 25, 2008

MATERIAL DESIGNATION

CONCRETE		WOOD BLOCKING INTERRUPTED OR BRMS	
SHAD FILL		ROOF INSULATION	
METALS		BLANKET OR BATT INSULATION	
FRASH WOOD		SEALANT	
WOOD BLOCKING, NAILER, ETC.			
PLYWOOD			

GRAPHIC SYMBOLS



DRAWING LIST

GENERAL		
<input type="radio"/>	G1.1	TITLE SHEET
<input type="radio"/>	G1.2	GENERAL NOTES
<input type="radio"/>	G1.3	PRODUCTS & MATERIALS LIST
ARCHITECTURAL		
<input type="radio"/>	AD1.0	DEMOLITION PLAN, SECTION, & NOTES
<input type="radio"/>	A1.1	FLR PLANS, FLR PATTERN PLAN, & FLR FRAM'G PLAN
<input type="radio"/>	A6.1	INTERIOR ELEVATIONS & SECTIONS
<input type="radio"/>	A7.1	RCP & ELECTRICAL PLAN
<input type="radio"/>	SK1-9, 11-17	SKETCH DETAILS (ATTACHED 8-1/2x11)
<input type="radio"/>	PARTITION TYPES 1-4	PARTITION TYPES (ATTACHED 8-1/2x11)
<input type="radio"/>	L-1	LIGHTING & CONTROLS PLAN, LIGHTING & FIXTURE SCHEDULE
<input type="radio"/>	FS-1	BAR EQUIPMENT PLAN & BAR EQUIPMENT SCHEDULE
<input type="radio"/>	FS-2	BAR EQUIPMENT & MECHANICAL SCHEDULE
<input type="radio"/>	FS-3.4	BAR EQUIPMENT & PLUMBING ROUGH-IN PLAN

GENERAL MANAGER

DAN PELLISH
(207) 773-6402 (PHONE)

ARCHITECT

BARBA + WHELOCK
ARCHITECTURE, PRESERVATION
+ DESIGN, P.C.
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(207) 772-3667 (FAX)

GENERAL CONTRACTOR

PAPI & ROMANO BUILDERS
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PORTLAND MAINE 04104
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STRUCTURAL ENGINEER

STRUCTURAL INTEGRITY
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LIGHTING & INTERIOR DESIGNER

3 | DESIGN
LISA BARTER
P.O. BOX 6868
PORTLAND, MAINE 04103
(207) 797-0991 (PHONE)
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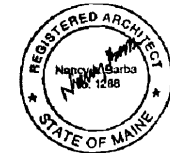
BAR CONSULTANT

TJM CONSULTING
TOM McARDLE
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CUMBERLAND CLUB PHASE 1
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title:

TITLE SHEET

Project No: 200726

Date: SEPTEMBER 5, 2008

Revisions:

Issued For: PERMIT

Drawing No:

G1.1

REMOVAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK. ALL EXISTING SURFACES AND EQUIPMENT SCHEDULED TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. SHOULD DAMAGE OCCUR THE CONTRACTOR SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED FROM DAMAGE.
6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVALS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. DO NOT REMOVE ANY SPRINKLER SYSTEM COMPONENTS. COORDINATE WITH SPRINKLER CONTRACTOR FOR WORK EFFECTING SPRINKLER SYSTEM.
7. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER, GUARDS, AND ALL TEMPORARY SHORING MEETING STRUCTURAL REQUIREMENTS OF THE IBC 2003.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

TENANT SAFETY PLAN:

1. THIS IS AN OCCUPIED BUILDING. AS SUCH, IT IS NECESSARY TO MAINTAIN ACCESS AND EGRESS TO THE PUBLIC AT ALL TIMES THROUGHOUT CONSTRUCTION.
2. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
3. FIRE SAFETY:
 - A. ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR THE GENERAL CONTRACTOR.
 - B. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - C. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - D. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - E. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - F. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
 - G. CONTRACTOR, AT ALL TIMES, TO ENSURE THAT THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDING, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
4. DUST CONTROL:
 - A. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - B. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVYWEIGHT DROP CLOTHS.
 - C. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
5. NOISE AFTER HOURS:
 - A. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS.
 - B. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES, TO WORK OTHER THAN REGULAR HOURS.
6. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS WITHOUT WRITTEN PERMISSION FROM AFFECTED PARTIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE, BUILDING, AND ITS CONTENTS ARE SECURE FROM THEFT, FIRE, VANDALISM, AND OTHER POTENTIAL DAMAGE.

WORK AFFECTING ADJACENT PROPERTY:

1. CONTRACTOR SHALL REFER TO PROPERTY SURVEY PROVIDED BY THE OWNER TO ENSURE THAT ALL WORK IS PERFORMED WITHIN THE PROJECT'S PROPERTY LIMITS.
2. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ANY WORK OR ACCESS REQUIREMENTS WHICH MAY AFFECT ADJACENT PROPERTY.
3. NO WORK AFFECTING ADJACENT PROPERTY SHALL PROCEED UNTIL WRITTEN APPROVAL FROM THE OWNER IS OBTAINED.

EXISTING FIRE ALARM AND AUTOMATIC SPRINKLER SYSTEM

EXISTING SYSTEM SHALL REMAIN

1. ANY MODIFICATIONS REQUIRED BY THIS SCOPE OF WORK SHALL BE ENGINEERED, PERMITTED, AND INSTALLED BY A LICENCED CONTRACTOR. COORDINATE THIS SCOPE OF WORK WITH ARCHITECT & OWNER PRIOR TO EXECUTION.
2. THE OWNER SHALL HAVE 24 HOURS ADVANCE NOTIFICATION OF ANY TEMPORARY SYSTEM SHUTDOWNS REQUIRED DURING THE PERFORMANCE OF THE SCOPE OF WORK.

EXISTING BUILDING DATA:

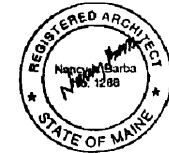
116 HIGH STREET
DEED AND PLANS: CUMBERLAND COUNTY, BOOK 39, PAGE A-27
ZONE: B3, DEOZ
EXISTING USE GROUP: MULTIPLE USE: ASSEMBLY
PROPOSED USE GROUP: NO CHANGE
EXISTING CONSTRUCTION TYPE: TYPE III, 2-1-1 (III-A)
PROPOSED CONSTRUCTION TYPE: NO CHANGE

AUTOMATIC SPRINKLER SYSTEM: MODIFICATION OF EXISTING SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF "NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS".

BARBA + WHEELock

ARCHITECTURE
PRESERVATION
DESIGN

500 CONGRESS STREET
PORTLAND, MAINE 04101
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CUMBERLAND CLUB PHASE I
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title:

GENERAL NOTES

Project No: 200726

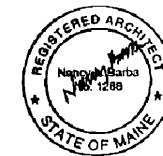
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Revisions:

Issued For: PERMIT

Drawing No:

G1.2



CUMBERLAND CLUB PHASE 1
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title:

**PRODUCTS &
MATERIALS LIST**

Project No. 200726

Date: SEPTEMBER 5, 2008

Revisions:

Issued For: PERMIT

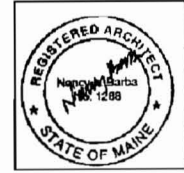
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PRODUCTS & MATERIALS LIST

CATEGORY	ITEM	DESCRIPTION	MANUFACTURER	MODEL	FINISH/COLOR	SIZE	MFR CONTACT	REMARKS
TILE	TYPE 1	QUARRY TILE	AMERICAN OLEAN	QUARRY TILE	SMOKED GRAY Q64	6"X8"X1/4"		1/4" JTS
	MATCH EXIST							PROVIDE SAMPLES FOR ARCHITECT APPROVAL
WOOD STRIP FLOORING	UNSTAINED WD	2 1/2" W T&G MAPLE			GLOSS CLR FIN TO MATCH EXIST			
	DARK STAINED WD	2 1/2" W T&G WD TO MATCH EXIST *			DARK STAIN & GLOSS CLR FIN TO MATCH EXIST			* GC TO PROPOSE SPECIES & SLUCE TO MATCH EXIST ECONOMICALLY
RESILIENT BASE	RESIL BASE	VINYL	TBD		TBD	4" H		PROVIDE SAMPLES FOR ARCHITECT SELECTION
PAINT	OPAQUE PAINT	LATEX 1-PRIMER COAT 2-TOP COAT OR AS REQD FOR FULL COVERAGE			COLOR TO MATCH EXIST WALLS & CLGS - EGGSHELL FINISH TRIM - SEMI GLOSS			
TOILET PARTITIONS		SOLID PLASTIC HOPE	ACCURATE BASIS OF DESIGN		TBD			GC TO PROVIDE SUBMITTAL & COLOR SAMPLES FOR ARCHITECT APPROVAL
WOOD VENTS		HARDWD TO MATCH WD FLRG			CLR FINISH TO MATCH WD FLRG			VENTS SHALL BE CAPABLE OF SUPPORTING MINIMUM LIVE & DEAD FLOOR LOADS DEFINED BY BUILDING CODE
METAL GRILL			TBD		PAINT TO MATCH ADJ WALLS/SOFTT			
TOILET ACCESSORIES		REUSE EXISTING						
FOOD SERVICE EQUIPMENT	BAR EQUIPMENT	SEE FOOD SERVICE EQUIPMENT SPEC						
	UNDER BAR TOP LIGHTING (SERVER SIDE)	BAR TOP (BASE BID) - DO NOT PROVIDE UNDER BAR TOP LIGHTING BAR TOP (ALTERNATE) - PROVIDE UNDER BAR TOP LIGHTING	BY BAR DE SYS MFR					
	SOUND/ VIBRATION ISOLATION PADS	PROVIDE UNDER COMPRESSORS & ALL NEW HVAC EQUIP						
ART GLASS		CUSTOM LEADED UNITS MACHINE MADE TEXTURED CLEAR GLASS - TBD	ART GLASS UNITS TO BE BID TO CHRIS DENNISON & ONE OTHER					OWNER TO SUPPLY, GC INSTALL GC TO COORD W ARCHITECT TO ENSURE TIMELY ORDER & DELIVERY. SET GLASS UNIT IN ACOUSTICAL SEALANT SEE ABV FOR 2ND LAYER GLASS
BAR HARDWARE	STEMWARE SUPPORT SYS	TBD			POLISHED BRASS			GC TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
	BAR FOOT RAIL & BRACKET	REUSE EXIST BRASS HANDRAILS PROVIDE WALL MOUNT BRASS BRACKET *			POLISHED BRASS			* G.C. TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
	BAR RAIL	TBD			POLISHED BRASS			GC TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
CASEWORK	WOOD PANELS							SEE WOOD SECTION ABOVE
	BACK BAR CABINETS	3/4" (MIN) RAILS & STILES, FLUSH PANEL QTR SLICED OAK VENEER PLYWD PANEL PULLS TBD			DARK STAIN TO MATCH EXIST CLR FINISH SATIN			GC TO PROVIDE SAMPLE W/ FINISH FOR ARCHITECT APPROVAL
	BACK BAR COOLER DR PANELS	MATCH BACK BAR CABT DRB PULLS BY COOLER MFR			DARK STAIN TO MATCH EXIST CLR FINISH SATIN			
	ATRILUM WAIT STATION CABTS	PLYWD CABT BOXES RAIL & STILE DR W RECESSED FLAT PANEL PULLS TBD			PAINT COLOR TBD			GC TO PROVIDE SAMPLE W/ FINISH FOR ARCHITECT APPROVAL
	ATRILUM WOOD PANELS	MATCH ATRILUM CABT DRB			PAINT COLOR TBD			
	MATCH EXIST	MENYS RM WAINSCOT PLYWD & WD			MATCH EXIST			GC TO SALVAGE EXIST FOR REUSE & PROVIDE NEW TO MATCH AS NEEDED
FURNISHINGS	ROLLER SHADE	CASSETTE CLUTCH ROLLER (STD) CONTROL LEFT HAND MOUNTING- INSIDE MT (FIELD VERIFY)	LAFAYETTE INTERIOR FASHIONS	GENESIS SERIES FABRIC: VELA	BONE 120	FIELD VERIFY		SUPPLIED BY OWNER, GC TO INSTALL
	FURNITURE	BAR STOOLS, LOUNGE CHAIRS, TABLE						PURCHASED & INSTALLED BY 3 DESIGN NIC - GC
FIRE SUPPRESSION SPRINKLERS		EXISTING TO REMAIN						
HVAC		PROVIDE 1-HVAC SYS TO SERVE MAINE RM, BAR, STORAGE & ATRILUM. ALSO PROVIDE MEANS OF ACCOMODATING FUTURE ADDITION TO ATRILUM.						DESIGN BUILD GC TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
	SOUND/ VIBRATION ISOLATION PADS	PROVIDE UNDER ALL EQUIPMENT						
PLUMBING	MENYS RM WC	EXIST REUSED						DESIGN BUILD
	MENYS RM LAV	EXIST REUSED						
	MENYS RM URINAL	WALL HUNG, ADA PROVIDE CARRIER	KOHLER	K-4880	WHITE			
	WOMENYS RM LAV	EXIST REUSED						
	WOMENYS RM WC	PRESSURE ASSIST FLUSH, ADA, FLOOR MOUNT, TANK TYPE	KOHLER	K-3597-4F	WHITE			
ELECTRICAL	LIGHTING FIXTURES							SUPPLIED BY OWNER, GC TO INSTALL OWNERS ALLOWANCE FOR DECORATIVE FIXTURES TBD - \$4000
	EMERGENCY LIGHTING							GC TO PROVIDE & INSTALL

SIZE	MFR CONTACT	REMARKS
FACE DIMS TO MATCH EXIST BRICK THK		
		UNDERLIT SEAL PER MARBLE INSTITUTE OF AMERICA RECOMMENDATIONS
		GC TO PROVIDE SHOP DWGS FOR ARCHITECT APPROVAL
		GC TO PROVIDE SHOP DWGS FOR ARCHITECT APPROVAL
		GC TO PROVIDE SAMPLE W/ FINISH FOR ARCHITECT APPROVAL
		* WIDTH TO MATCH BRICK COURSEING GC TO PROVIDE SAMPLE FOR ARCHITECT APPROVAL.
		G.C. TO PROVIDE SAMPLES OF WD SPECIES W/ FINISHES FOR ARCHITECT APPROVAL
		GC TO PROVIDE SHOP DWGS & MOCK UP SAMPLE FOR ARCHITECT APPROVAL
		* SEE STONE SECTION ABV FOR BASE BID.
PAIR, 2'-10" X 8'-0" X 2" THK		GC TO PROVIDE SHOP DRAWINGS & MATERIAL & FINISH SAMPLES FOR ARCHITECT APPROVAL
3'-0" X 8'-4" (F.V.) X 1 3/4" THK		GC TO PROVIDE SHOP DRAWINGS & MATERIAL & FINISH SAMPLES FOR ARCHITECT APPROVAL
2'-2" X 8'-4" X 1 3/4" THK		GC TO PROVIDE SHOP DRAWINGS & MATERIAL & FINISH SAMPLES FOR ARCHITECT APPROVAL
		GC TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
		GC TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
		GC TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL
		PROVIDE SAMPLES FOR ARCHITECT SELECTION
		PROVIDE ALLOWANCE
		GC TO CONFIRM THAT 1/2" THK IS SUFFICIENT TO SUPPORT 2 ROWS OF FULL BOTTLES
		SET GLASS IN ACOUSTICAL SEALANT



CUMBERLAND CLUB PHASE 1
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title

DEMO PLANS
& SECTION

Project No: 200726

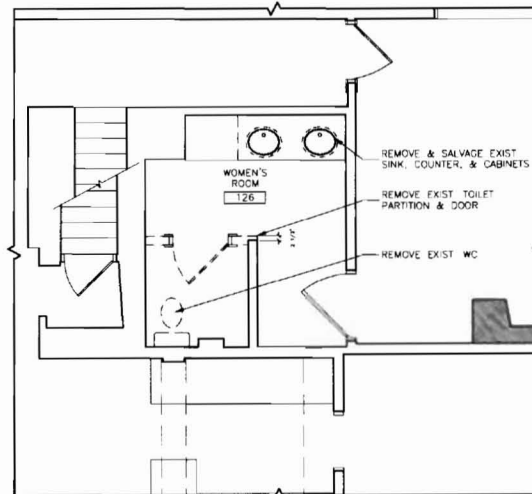
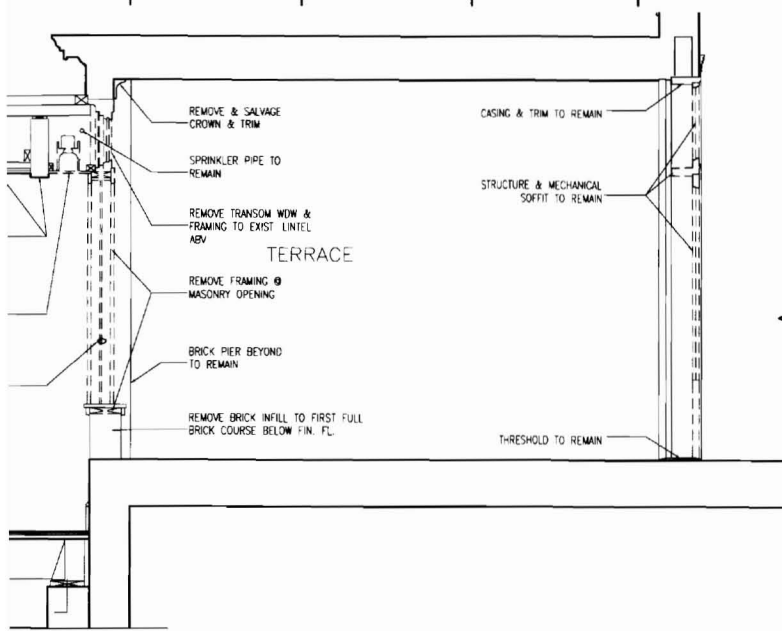
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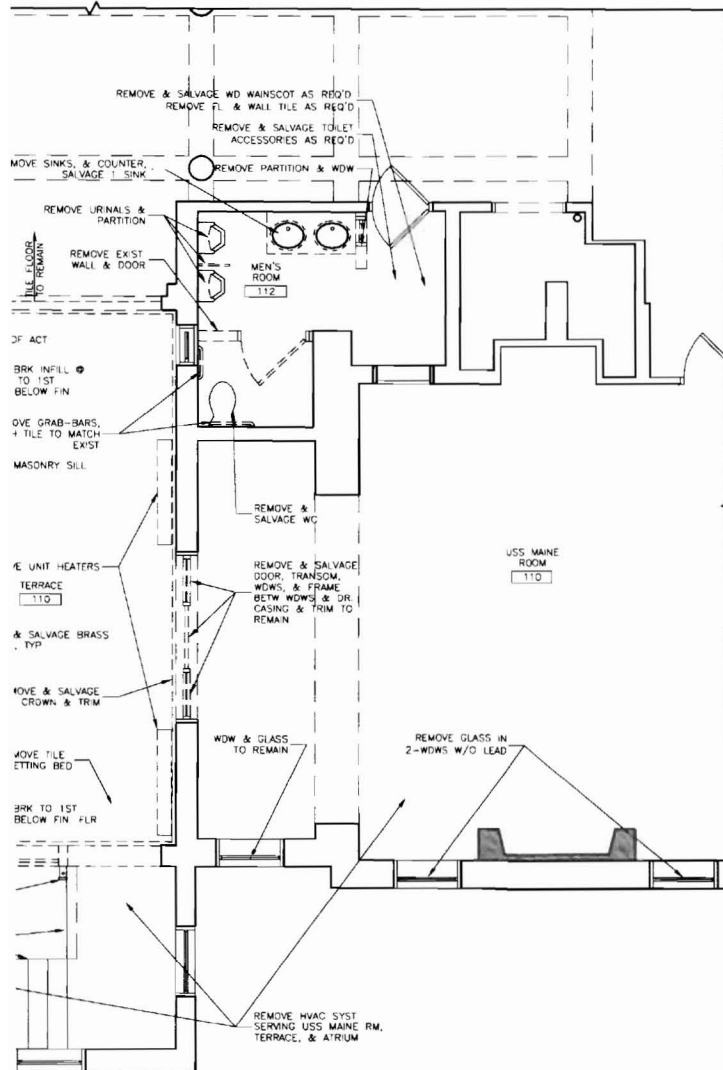
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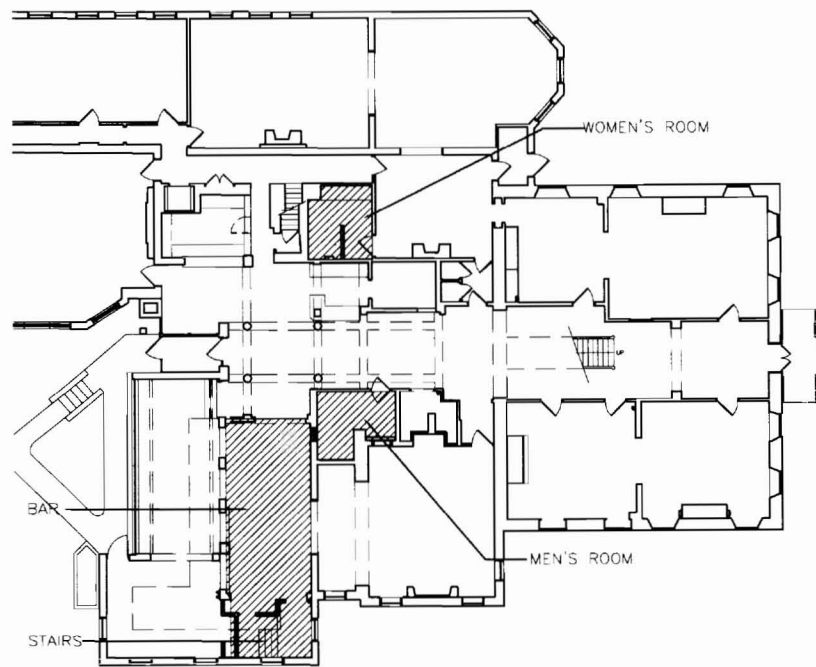


1 FIRST FLOOR PRTL DEMOLITION PLAN
1/4" = 1'-0"

9/17/08
A.H.



DEMOLITION NOTES
-REMOVE ALL ACT. IN TERRACE (ROOM 110, FUTURE BAR) TO EXTENT INDICATED.
-REMOVE & SALVAGE FINISHES IN MEN'S ROOM AS NECESSARY
-MAINTAIN ALL POSSIBLE FINISHES IN WOMEN'S ROOM



PLAN KEY
NTS



CUMBERLAND CLUB PHASE 1
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title:

**FLOOR PLANS,
RCP, ELEC., &
FRAMING PLANS**

Project No: 200726

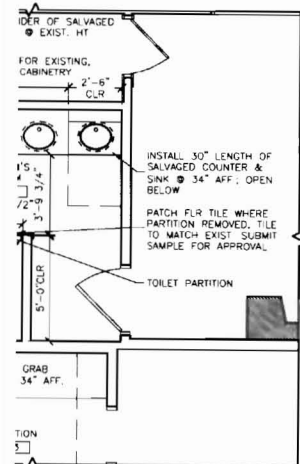
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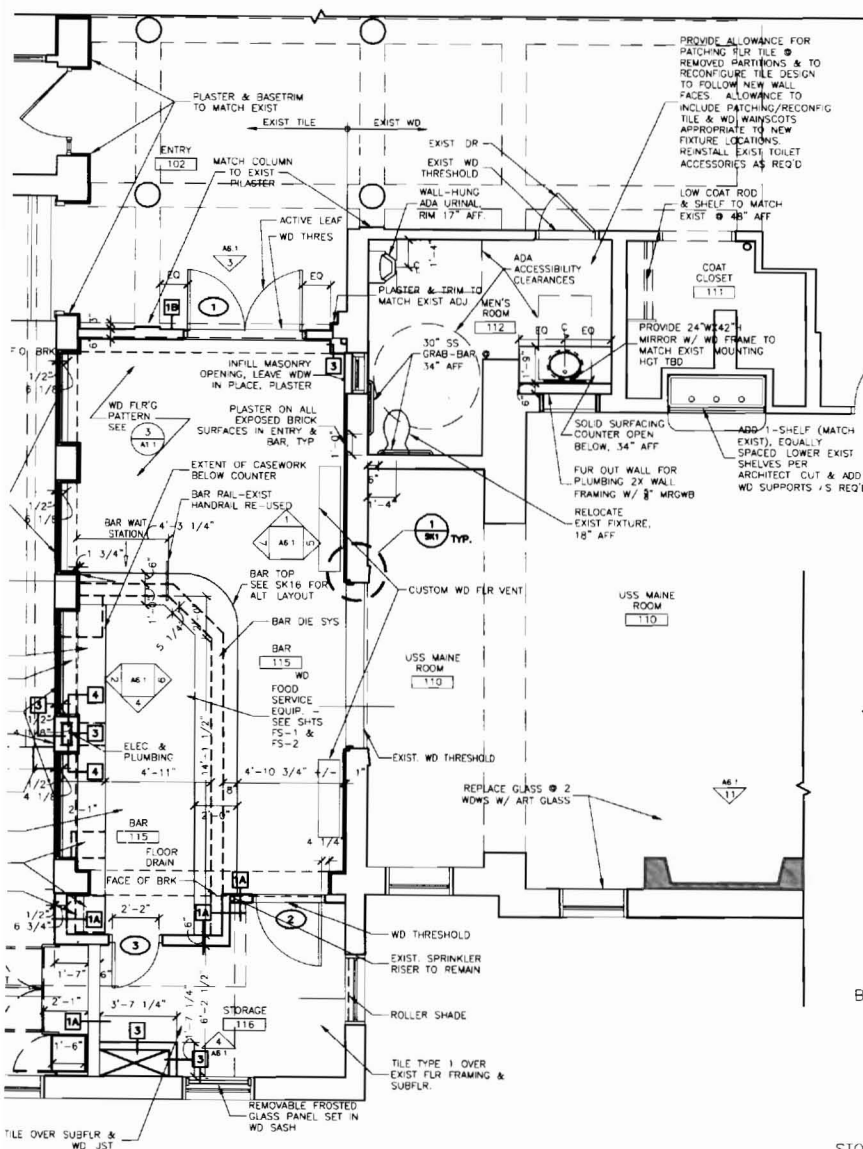
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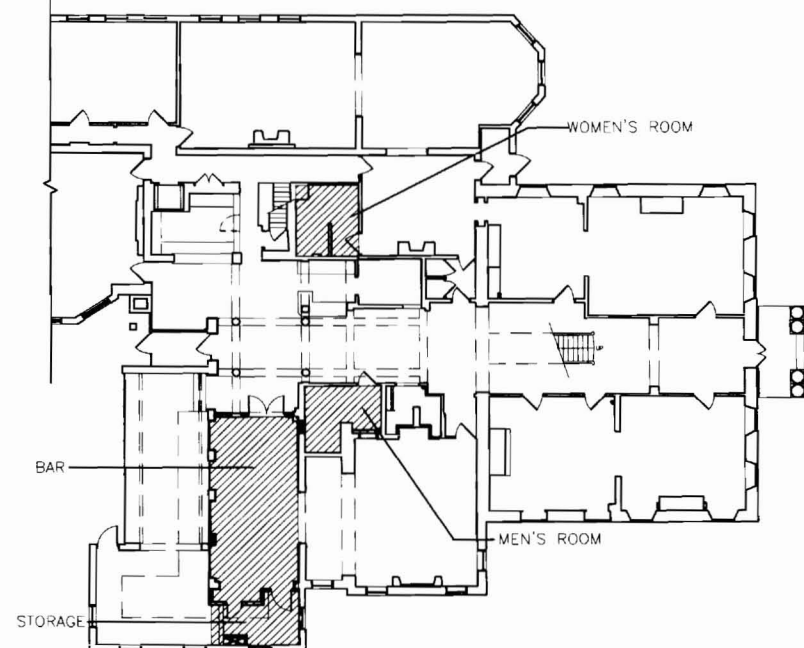
TOILET PARTITION

PLAN NOTES

1. CRAWL SPACE: EXCAVATE CRAWL SPACE UNDER BAR & STORAGE TO PROVIDE ONE LEVEL GRADE. PROVIDE 2" MUD SLAB OVER 10 MIL POLYETHYLENE VAPOR BARRIER
2. WALK-IN COOLER FLOOR @ BSMT
- PROVIDE NEW LEVEL TOPPING SLAB IF EXIST SLAB IS NOT LEVEL & SOUND. G.C. TO CONFIRM EXIST CONDITION
- PROVIDE CONDENSATION DRAINAGE FROM COMPRESSOR TO EXIST DRAIN PIPE.
3. PROVIDE A SINGLE HVAC SYS TO SERVE USS MAINE RM, BAR, STORAGE, & ATRIUM, ZONED SEP FOR EACH OF 3 AREAS. MAKE PROVISION FOR FUTURE EXPANSION OF ATRIUM. PROVIDE DEHUMIDIFICATION FOR BASEMENT.
4. SEE PRODUCTS & MATERIALS LIST FOR DOOR INFO.
5. SEE SKETCH DETAILS ON 8 1/2"x11" FORMAT FOR DETAILS & PARTITION TYPES.
6. PLAN DIMS TO FIN. UNLESS NOTED OTHERWISE.



WOMEN'S ROOM PLAN





CUMBERLAND CLUB PHASE 1
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title:

INT. ELEVS &
SECTIONS

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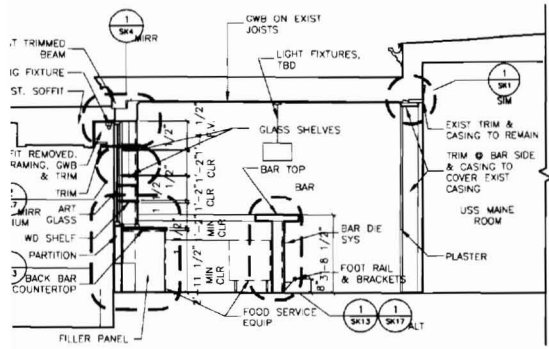
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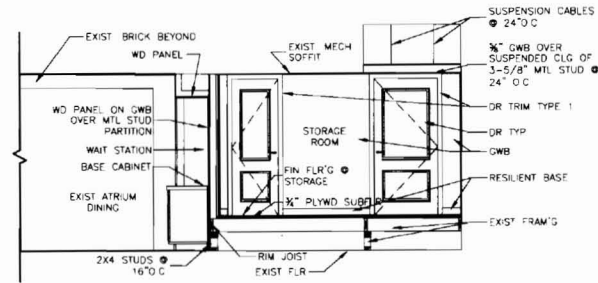
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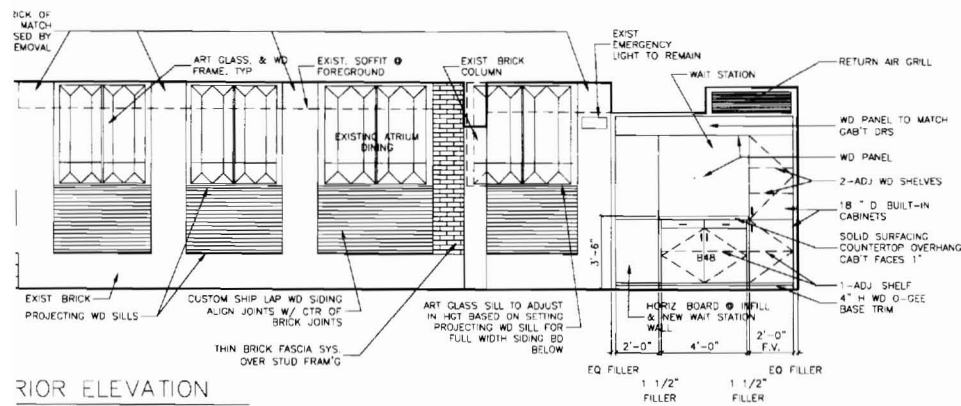
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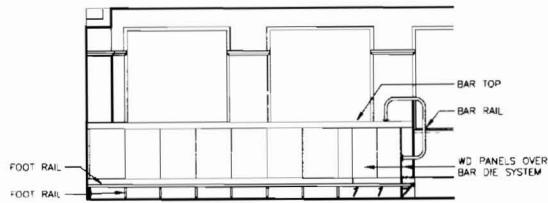
SECTION/ELEVATION
1/4" = 1'-0"



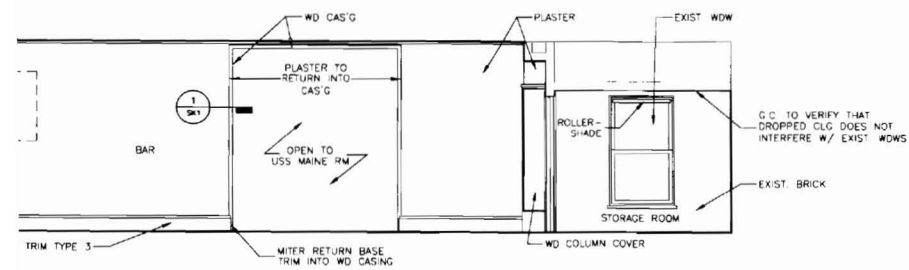
9 SECTION/ELEVATION
1/4" = 1'-0"



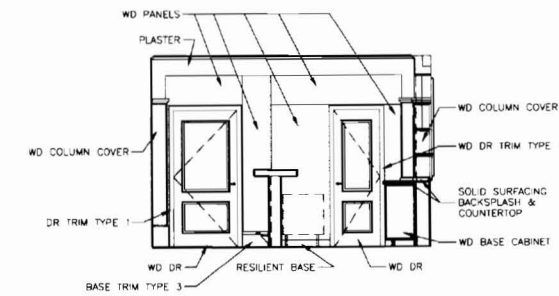
FRONT OF BAR ELEVATION
1/4" = 1'-0"



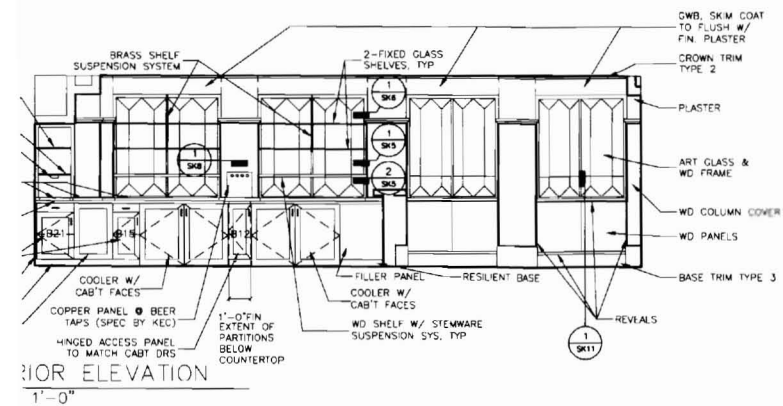
7 FRONT OF BAR ELEVATION
1/4" = 1'-0"



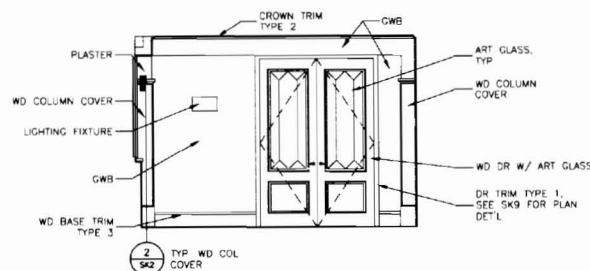
INTERIOR ELEVATION
1/4" = 1'-0"



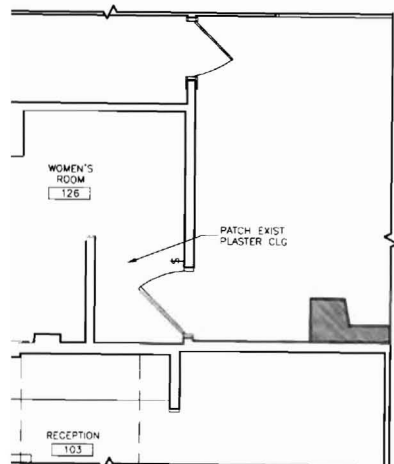
4 INTERIOR ELEVATION
1/4" = 1'-0"



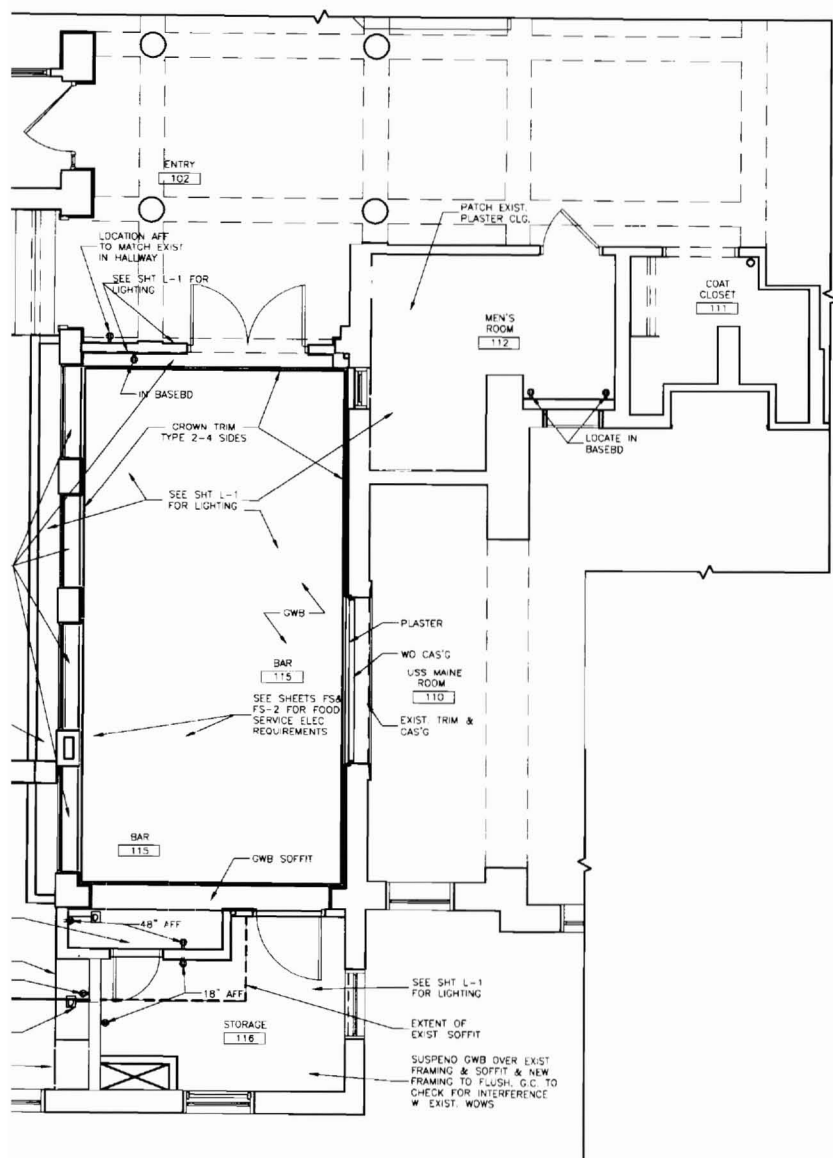
INTERIOR ELEVATION
1/4" = 1'-0"



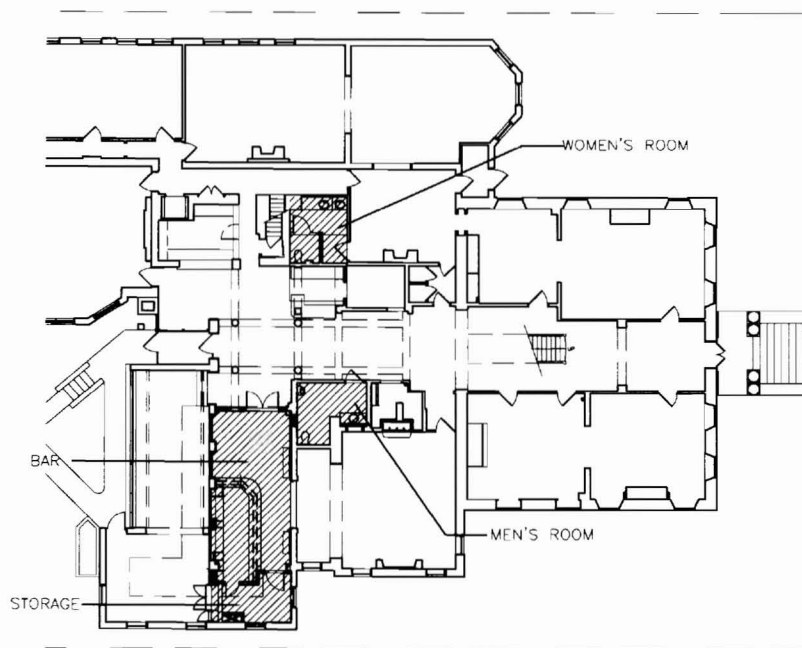
1 INTERIOR ELEVATION
1/4" = 1'-0"



WOMEN'S ROOM RCP & ELEC. PLAN
1/0"



MEN'S RM RCP & ELEC. PLAN
1/0"



PLAN KEY
NTS

BARBA+WHEELOCK

ARCHITECTURE
PRESERVATION
DESIGN

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CUMBERLAND CLUB PHASE 1
116 HIGH STREET
PORTLAND, MAINE 04101
MASTER PLAN

Title

**RCP, & ELEC.
PLANS**

Project No: 200726

Date: SEPTEMBER 5, 2008

Revisions:

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Drawing No:

A7.1

CUMBERLAND CLUB LIGHTING EQUIPMENT SCHEDULE

TYPE	DESCRIPTION	DIMENSIONS/ APERTURE	MANUFACTURER	CATALOG NO.	LAMP MANUF.	LAMP	NO. OF LAMPS	VOLTS	NOTES
A1	Recessed PAR36 Adjustable Downlight	5 3/4"	Prescolite	Architektur ABST 6C4 ST MFC B6	Osram-Sylvania	50PAR36/HAL/WFL30	1	12V	Note 4
A2	Recessed MR16 Adjustable Downlight	4"	Prescolite	Architektur A4SMR 4C1 ST MFC B6 LV10 3MLH	Osram-Sylvania	37MR16/IR/SP10"	1	12V	Notes 4, 6
A3	Recessed A Lamp Downlight (match existing in Men's Room)	Match Existing	Match existing fixture, trim, lamping, and reflector/baffle.						
B1	Decorative Pendant (TBD)	TBD	TBD	TBD					Note 2
C1	Decorative Wall Sconce (TBD)	4"D (ADA)	TBD	TBD					Note 7
C2	Decorative Wall Sconce (match existing, TBD)	Match Existing	TBD						
D1	Surface-Mounted Linear LED Wall Grazer	12" module	Phillips Color Kinetics	eW Graze Powercore 523-000030-00		10"x 60" beam spread, 2700K		120	Notes 3, 4, 5
D4	Surface-Mounted Linear LED Wall Grazer	48" module	Phillips Color Kinetics	eW Graze Powercore 523-000030-02		10"x 60" beam spread, 2700K		120	Notes 3, 4, 5
E2	T5HO Linear Fluorescent Display Fixture for bar underlighting, white with asymmetric reflector	24" module (nominal)	Birchwood	WP-T5HO-MD-120-DIM-124-HRW-AR1 with Lutron ECO10 dimming ballast	Osram-Sylvania	FP24/HO/B41/ECO 4100K		120	Notes 4, 8
E3	T5HO Linear Fluorescent Display Fixture for bar underlighting, white with asymmetric reflector	36" module (nominal)	Birchwood	WP-T5HO-MD-120-DIM-138-HRW-AR1 with Lutron ECO10 dimming ballast	Osram-Sylvania	FP36/HO/B41/ECO 4100K		120	Notes 4, 8
E4	T5HO Linear Fluorescent Display Fixture for bar underlighting, white with asymmetric reflector	48" module (nominal)	Birchwood	WP-T5HO-MD-120-DIM-154-HRW-AR1 with Lutron ECO10 dimming ballast	Osram-Sylvania	FP54/HO/B41/ECO 4100K		120	Notes 4, 8
F1	Surface Mount Fluorescent Fixture, brass finish	17"x17"x4"D	Rae Lighting	Omni 7386FD-02		Circline 55W, 3000K	1	120	Note 5
G1	Undercabinet surface mount halogen puck light		Hera Lighting	ES3, Black		10W Halogen (included)	1	120/12	Notes 1, 9
EM1	Emergency Light, field paintable		Dualite	Litescape LSCN 6' x 30" Illumination Path		6V, 10W Halogen (included)	2	Unlv.	Note 10

NOTES

1. Fixture is locally switched.
2. Mounting height to be determined in field by Architect and Lighting Designer.
3. Verify lengths and modules in field based on soffit conditions.
4. Electronic low voltage dimming required.
5. Contact agency, Visible Light, at 603.926.6049 for lead and jumper cable types and quantities for LED system.
6. Provide softening lens LV19 as alternate lens for each A2 fixture.
7. Mounting height = 5'-0" to centerline of fixture.
8. Confirm number of ballasts required based on fixture layout. Verify sizes and configuration with Architect's details.
9. Locate transformer in cabinet below fixture.
10. Fixture housing to be field-painted. Color as selected by Architect.

GENERAL COMMENTS

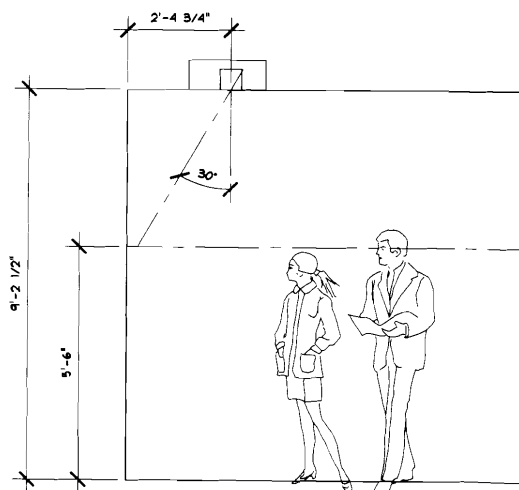
1. Contractor to field verify voltage and determine loads.
2. Contractor to field verify lengths of linear fixture runs in field.
3. Contractor to field verify available depths for recessed fixtures.
4. Coordinate preferred switching device style with owner. Coordinate preferred device color with Architect.
5. All dimming systems must be electronic low-voltage type dimming.
6. All Storage 116, gang switches behind one faceplate.

LEGEND


SYMBOL	FIXTURE TYPE
●	RECESSED DOWNLIGHT
●→	RECESSED ADJUSTABLE DOWNLIGHT/ACCENT
●	SURFACE MOUNTED TASK LIGHT (PUCK LIGHT)
⊙	WALL SCONCE
—	LINEAR WALL GRAZER / LINEAR FLUORESCENT
⊕	PENDANT
↔	SINGLE POLE SWITCH
↔↔	THREE-WAY SWITCH
↔↔↔	DIMMING SWITCH (ELECTRONIC)
↔↔↔↔	THREE-WAY DIMMING SWITCH (ELECTRONIC)

2 PHASE ONE CONTROLS PLAN

SCALE: 1/4" = 1'-0"



ART LIGHTING BASED ON 5'-6" TO CENTERLINE OF ART.



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THE CUMBERLAND CLUB
PHASE ONE

PORTLAND, MAINE

ISSUE:
OWNER REVIEW 06/21/2008
PERMIT AND PRICING 06/27/2008
FILE: CUMBERLAND CLUB LIGHTING_062408.DWG
DRAWN BY: LB

SHEET TITLE

LIGHTING PLAN
CONTROLS PLAN

SHEET NUMBER

L-1