



CITY OF PORTLAND
 FIRE PREVENTION BUREAU
 380 Congress Street, Portland, Maine 04101
 fireprevention@portlandmaine.gov
 (207) 874-8400

NOTICE OF VIOLATION AND ORDER TO CORRECT

April 20, 2017

Responsible Party 1: BRICKLIGHT PROPERTIES LLC 111 Commercial St, Suite 203 PORTLAND, ME 04101		
Location 129 PARK ST	CBL 039 A021001	Inspection Date 4/5/2017
Inspector John Brennan	Inspection Type FP Routine Inspection	Status Failed

The City of Portland Fire Department inspected this property, and found the fire and life safety code violations listed below, which you are hereby ordered to correct. You must propose a date of completion to remedy each violation, a final date of completion, and a date of re-inspection.

You must send this form to the Fire Prevention Bureau no later than 5/15/2017.

Your failure to submit a plan of action by the date provided, or to correct any violation within the applicable time frame, may result in legal action against you, the imposition of civil penalties, and the pursuit of other legal remedies.

Violation	Proposed Date of Completion
PORTLAND FIRE DEPARTMENT CHAPTER 10 4.6.1, 4.6.2 UNIT/SUITE NUMBERS NOT MARKED; 4.6.1 Residential units shall be designated using numerals. 4.6.2 The first numeral of each residential unit shall be the floor designation. Need Apt. numbers	7 / 15 / 17
NFPA 720- 5.5.6.1 CO ALARMS REQUIRED; The performance, location, and mounting of notification appliances used to initiate or direct action, evacuation or relocation of the occupants, or for providing information to occupants or staff, shall comply with the requirements of Chapter 6. Need CO Detectors in Apt. 3 and 5 (129 side), Need CO detector in Apt. 1 (131 side)	IMMEDIATELY install temporary alarms where required. Your signature below indicates that temporary alarms have already been installed. <i>JP</i>
NFPA 101- 31.3.4.5.1 SMOKE ALARMS REQUIRED; In buildings other than those equipped through out with an existing, complete automatic smoke detection system, smoke alarms shall be installed in accordance with 9.6.2.10, as modified by 31.3.4.5.2, outside every sleeping area in the immediate vicinity of the bedrooms and on all levels of the dwelling unit, including basements. Ned Smoke detectors in Apt. 5 and 6 (129 side) Apt. 1, 4, 5, 6 (131 side)	IMMEDIATELY install temporary alarms where required. Your signature below indicates that temporary alarms have already been installed. <i>JP</i>
NFPA 70- ARTICLE 110 B CERTIFY ELECTRICAL SYSTEM; Listed or labeled equipment shall be installed and used in accordance with any instructions included in the listing or labeling. Entire electrical system needs to be looked at. Need to have the electrical in the basement checked	8 / 31 / 17
NFPA 70 MISSING BREAKER IN PANEL; Refer to NFPA 70, National Electrical Code, for information on missing breakers in an electrical panel. Open spaces in panel	8 / 31 / 17

Violation	Proposed Date of Completion
NFPA 101- 31.3.2.1.1 BOILER PROTECTION REQUIRED; The areas described in Table 31.3.2.1.1 shall be protected as indicated: Boiler and fuel-fired heater rooms serving more than a single dwelling unit (minimum separation/protection is 1 hour or sprinklers) Need boiler protection	<u>8 / 31 / 17</u>
NFPA 1, CHAPTER 10 - 10.11.6 HIBACHI OR GRILL ON BALCONY; NO HIBACHI, GAS-FIRED GRILL, CHARCOAL GRILL, OR OTHER SIMILAR DEVICES USED FOR COOKING, HEATING, OR OTHER PURPOSE, SHALL BE USED OR KINDLED ON ANY BALCONY OR UNDER ANY OVERHANG PORTION OR WITHIN 10 FT OF ANY STRUCTURE Grill on the fire escape	<u>7 / 15 / 17</u>
NFPA 101- 8.3.4.2 60 MINUTE FIRE DOOR REQUIRED; Refer to NFPA 101- Table 8.3.4.2 that states fire door assemblies for vertical shafts (including stairways, exits, and refuse chutes) are rated and required for 1 hour. Need a fire door apt. 1, possibly throughout	<u>12 / 31 / 17</u>
NFPA 101- 8.3.4.2 60 MINUTE FIRE DOOR REQUIRED; Refer to NFPA 101- Table 8.3.4.2 that states fire door assemblies for vertical shafts (including stairways, exits, and refuse chutes) are rated and required for 1 hour. Need a fire door on the first floor Apt. 1	<u>12 / 31 / 17</u>
FINAL DATE OF COMPLETED VIOLATION(S)	<u>4 / 30 / 18</u> SEE ATTACHMENT
FIRE PREVENTION BUREAU RE-INSPECTION OF COMPLETED VIOLATION(S)	<u> / / </u>

The Bureau reserves the right to reject or modify any proposed plan of action, and may require evidence of sufficient financial and technical capacity to complete the proposed plan. Please contact the Bureau with any questions.

VIOLATOR CERTIFICATION

I agree to remedy the violations listed within the timeframes provided. If I require additional time to comply, I understand that I must contact the Fire Prevention Bureau prior to the deadline to request an extension, which is entirely within the Bureau's discretion to grant or deny.

I further understand that it is my responsibility to schedule a reinspection of my property once the violations have been remedied to do so. My failure to schedule a reinspection shall be deemed an admission that the violations have not been remedied.

If I fail to comply with this agreement, I understand that I am liable for penalties pursuant to the City of Portland Code of Ordinances §§ 1-15 and 10-25, and 30-A M.R.S. § 4452 and may be subject to further legal action.

6/30/17
Date

[Signature]
Responsible Party For Decking and Railing Installation at Hanson at East End Realty

Date

Responsible Party

SEEN AND AGREED

7 July 2017
Date

[Signature]
Fire Prevention Bureau

Addendum to the Plan of Action (POA)

Bricklight Realty Management (BRM) as manager of the property –129-131 Park Street authorized by its owner, East End Realty LLC is prepared to meet the following proposed timeframe.

July 1, 2017

- Commencement of replacement of any non 1 ¾ inch wood-core doors with 1 ¾ inch wood-core doors with self-closing hinges.
- Continuation of CAD drawings of the building

October 1, 2017

- Completion of CAD drawings of building
- Protection Professionals will submit to the Portland Fire Department a detailed installation plan for their approval including – alarm and annunciator locations and technical aspects

December 31, 2017

- Completion of all doors and closing mechanisms.

January 1, 2018 *PP*

- Protection Professionals and BRM will file for a permit with the City of Portland to install the centrally monitored system

April 1, 2018 *PP*

- Contingent on permitting timeline within City of Portland, system will be installed and operational

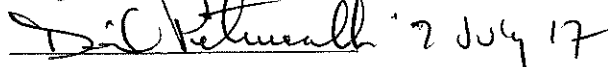
Signed and agreed to



Palo Peirce – Property Manager Bricklight Realty Management

Doug HANSEN 6-30-17

Doug Hansen, Protection Professionals



Captain David Petrucilli – Portland Fire Department