

129 PARK STREET PORTLAND, ME 04101

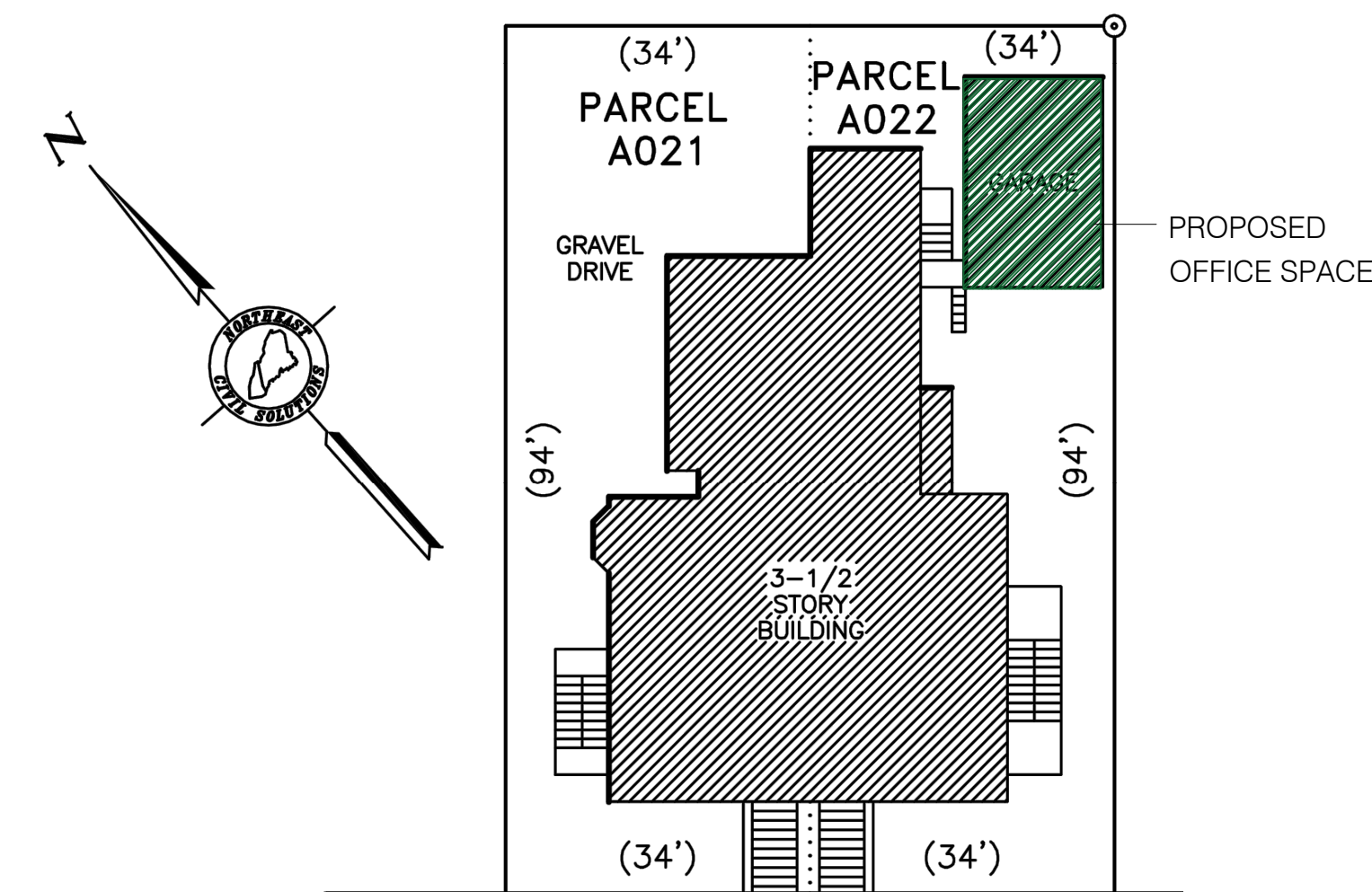
PERMITTING SET 11/16/2017

GENERAL NOTES

- THIS CONSTRUCTION PERMIT SET DOES NOT EXPLICITLY PROVIDE ALL THE INFORMATION AND DETAILING REQUIRED FOR CODE COMPLIANCE, AND REQUIRES THAT CONTRACTORS AND SUB-CONTRACTORS CONDUCTING THE CONSTRUCTION WORK ARE FAMILIAR WITH COMPLYING TO THE BUILDING CODE AS IT APPLIES TO THEIR PARTICULAR DISCIPLINE.
- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
 - CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS PRIOR TO PERFORMANCE OF ANY WORK.
 - CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AS PER THE CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
 - INSTALLERS MUST BE TRAINED AND EXPERIENCED IN THE APPLICATION/INSTALLATION OF THE PRODUCTS/MATERIALS THAT THEY ARE INSTALLING.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN CONDITIONS AS ALLOWED BY THE MANUFACTURER.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN COORDINATION WITH ALL OTHER WORK CONDUCTED ON SITE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE OWNER.
- ANY DEVIATIONS WHATSOEVER FROM THE DRAWINGS AND/OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT THE OWNER'S WRITTEN PERMISSION. FAILURE TO PROCURE SUCH WRITTEN AUTHORIZATION PLACES ALL RESPONSIBILITY FOR THE VARIATION ON THE CONTRACTOR.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE OWNER SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. EXCEPTION: THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE BUILDING PERMIT.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY REGULATING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN AN APPROVED AND LEGAL MANNER.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

DEMOLITION NOTES

- REMOVE WALLS AS NOTED ON ELEVATION. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION OF JOISTS, BEAMS OR OTHERS STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, DOORS, BASE, TRIM, ELECTRICAL ITEMS, AND SURFACE MOUNTED ITEMS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISHES (I.E. EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC.) TO MATCH EXISTING ADJACENT SURFACES. PROVIDE A SMOOTH AND CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTINUOUS.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND/OR REMOVAL OF HAZARDOUS MATERIALS. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
- UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION ELEVATION ARE EXISTING.



PARK STREET



ABBREVIATIONS

AV	AIR/VAPOR
AFF	ABOVE FINISH FLOOR
B.O.	BOTTOM OF
CONC.	CONCRETE
ELEVS.	ELEVATIONS
F.F.E.	FINISH FLOOR ELEVATION
GWB	GYPSUM WALL BOARD
INSUL.	INSULATION
O.C.	ON CENTER
PT	PRESSURE TREATED
SAT	SUSPENDED ACOUSTICAL TILE
SIM	SIMILAR
STRUCT	STRUCTURAL DRAWINGS OR STRUCTURAL ENGINEER
T.O.	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE

DRAWING LIST

G-1.0	COVER SHEET	X
A-1.0	DETAILED DRAWINGS	X
A-1.1	MISC. DETAILS	X

SUBMITTED
DRAWINGS
11/16/2017

131 PARK STREET CODE SUMMARY

Code Summary:	Existing	Proposed
IBC Use	U	B
NFPA 101 Use	Storage	Business
Sprinkler	non-sprinkled	non-sprinkled
Fire separation of uses	Unchanged	Unchanged
Construction Type	IIIB	VB
Building Footprint:	342.22 SF	Unchanged
Area of work:	Entire building	Entire building
Occupancy load	0	4 (occ.fact 100 gross for business)

IBC 2009:

- 304.1 Occupancy: Business group B; professional services
- 503 Allowable building height – 2 stories and Max area of 9000 Sft per story.
- 601 Fire resistance rating – 0 for type VB.
- 602 Fire resistance rating:
 - For exterior walls between 5ft to 10ft = 1hr;
 - <5ft = 1hr;
 - >30ft= 0hrs.
- 705.5 Fire resistance rating for exterior walls with separation distance of less than or equal to 10 feet, shall be rated for exposure to fire on both sides.
- 705.8 maximum area of opening:
 - 0ft to 3ft: not permitted
 - 5 ft to less than 10 ft.: 10%
 - 20 ft to less than 25 ft.: 45%
- 803.9 Interior finishes:
 - Exit enclosures and exit passageways: Class A materials
 - Rooms and enclosed passages: Class C materials'
- 1004.1 occupancy load factor – 100gross for business use; occ.load = 4.
- 1015.1 for business use, with max occupancy load -49, one exit is permissible.
- 1016.1 exit travel distance without sprinkler system for business use= 200 ft. max.

IEBC 2009:

- 101.5.2 Work area compliance method
 - 406 classification of work: change of occupancy.
- See IBC review

NFPA 101 (2009):

- 6.1.11 Occupancy: Business
- 6.2.2.3 Ordinary hazard contents
- 43.7.1.1 Change of use; comply with new use in accordance with applicable existing occupancy chapter.
- 38.1.7 Occupant load- 4 (occupancy factor 100 gross for business)
- 38.1.6 No minimum construction requirements
- 38.3.5 Portable fire extinguishers shall be installed.

PROJECT CONTACTS

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