

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 080093

Please Read
Application And
Notes, If Any,
Attached

This is to certify that HEALEY MEREDITH & MARK HEALEY ITS/G & L Consulting

has permission to Interior Renovations

AT 23 SPRING ST PL 039 A015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is laid or otherwise closed-in. HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

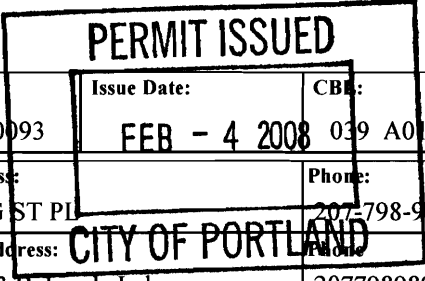
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 2/4/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0093	Issue Date: FEB - 4 2008	CBE: 039 A015001
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Location of Construction: 23 SPRING ST PL	Owner Name: HEALEY MEREDITH & MARK H	Owner Address: 25 SPRING ST PL	Phone: 207-798-9898
Business Name:	Contractor Name: G & L Contracting	Contractor Address: PO Box 503 Belgrade Lakes	Phone: 2077989898
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: B-3

Past Use: Single Family Home	Proposed Use: Single Family Home with interior renovations	Permit Fee: \$320.00	Cost of Work: \$29,500.00	CEO District: 2
Proposed Project Description: Interior Renovations		FIRE DEPT: N/A Signature: [Signature]	INSPECTION: Use Group: 123 Type: 5B IRC 2003 Signature: [Signature]	

FIRE DEPT: N/A Signature: [Signature]	INSPECTION: Use Group: 123 Type: 5B IRC 2003 Signature: [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: lmd	Date Applied For: 01/31/2008	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 2/4/08	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 2/4/08
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0093	Date Applied For: 01/31/2008	CBL: 039 A015001
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Location of Construction: 23 SPRING ST PL	Owner Name: HEALEY MEREDITH & MARK H	Owner Address: 25 SPRING ST PL	Phone: 207-798-9898
Business Name:	Contractor Name: G & L Contracting	Contractor Address: PO Box 503 Belgrade Lakes	Phone: (207) 798-9898
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home with interior renovations	Proposed Project Description: Interior Renovations
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 02/04/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 02/04/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.			
2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.			
3) All penetrations between dwelling units and dwelling units and common areas/garages shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.			
4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- ↓ Re-Bar Schedule Inspection: Prior to pouring concrete
- ↓ Foundation Inspection: Prior to placing ANY backfill
- ✓ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ✓ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X Y [Signature] Signature of Applicant/Designee 2/4/08 Date

[Signature] Signature of Inspections Official 2/4/08 Date

CBL: 39-A-15 Building Permit #: 08-0093



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.


Location/Address of Construction: 23 Spring Street PL. Portland, ME 04101		
Total Square Footage of Proposed Structure/Area 1050	Square Footage of Lot 2064	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 39 A 015	Applicant * must be owner, Lessee or Buyer * Name Healey Meredith & Mark Address 25 Spring St. Pl. City, State & Zip Portland, ME 04101	Telephone: 207 798 9898
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 29,500 C of O Fee: \$ Total Fee: \$ 315.00
Current legal use (i.e. single family) Single Family If vacant, what was the previous use? Proposed Specific use: Single Family Is property part of a subdivision? If yes, please name Project description: Renovation to accommodate new member of the family - had a baby		
Contractor's name: G+L Contracting Address: PO Box 530 City, State & Zip Belgrade Lakes, ME 04918 Telephone: 207 215 7951 Who should we contact when the permit is ready: Mark Healey Telephone: 207 798 9898 Mailing address: 25 Spring Street PL. Portland, ME 04101		

JAN 31 2008

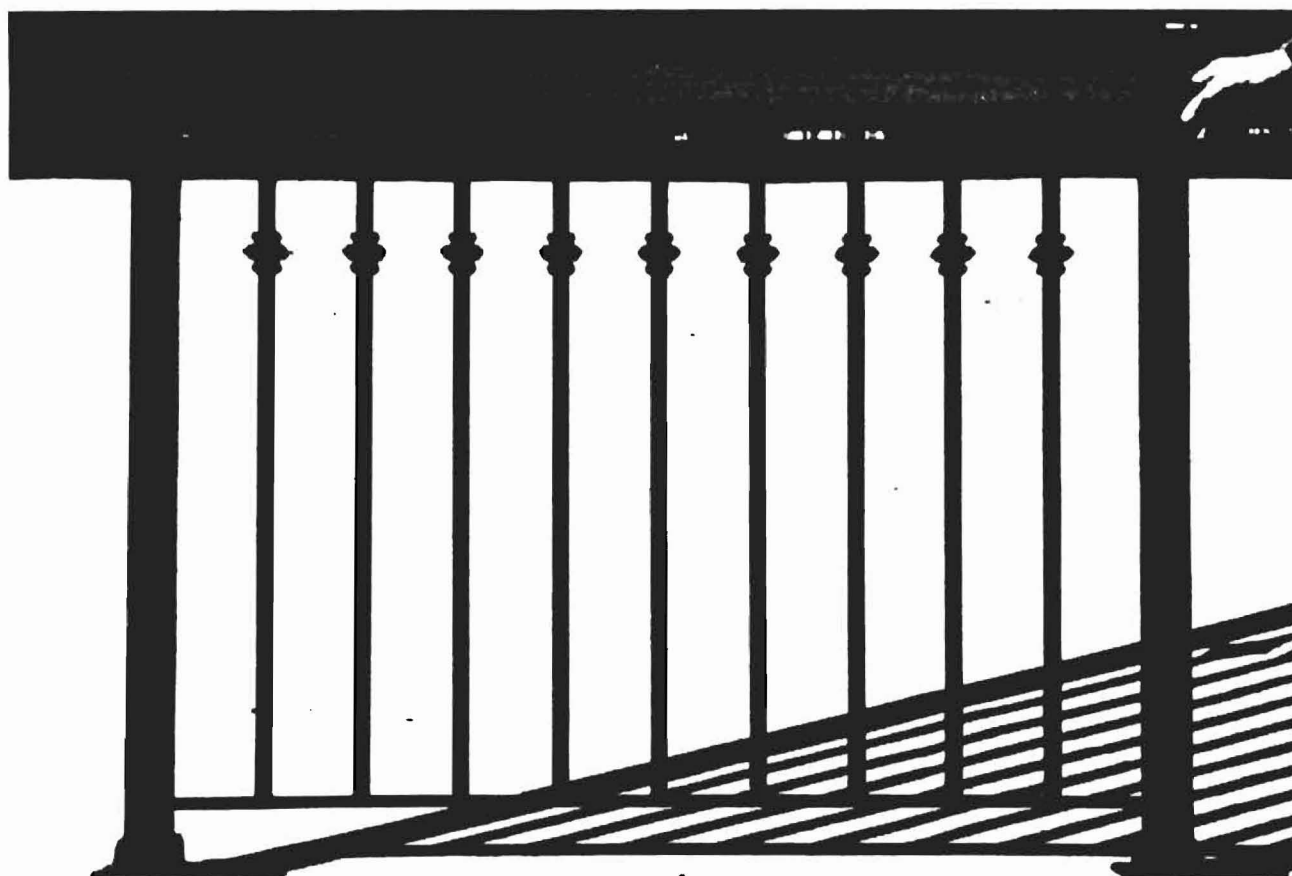
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

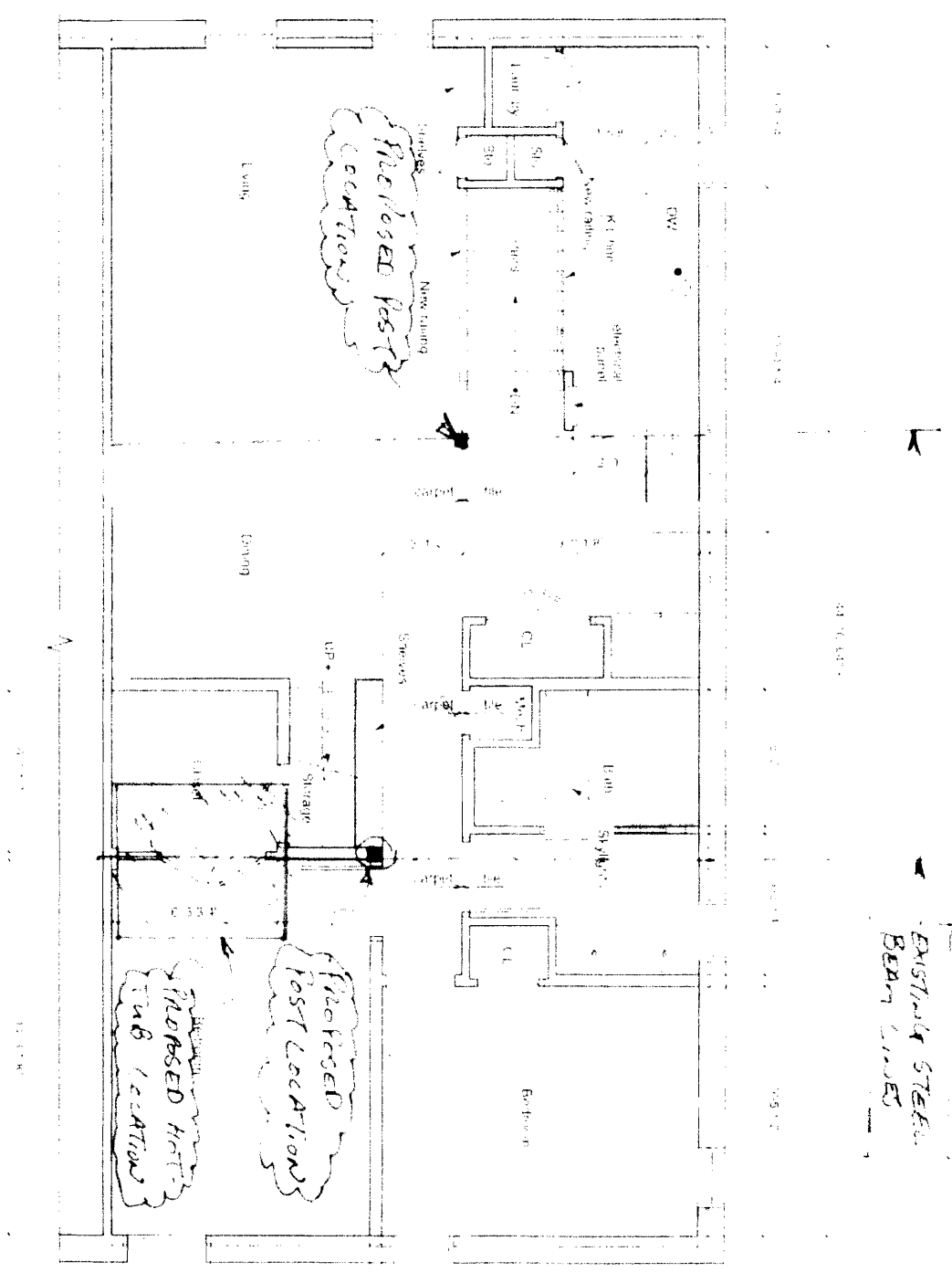
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 11/27/8

This is not a permit; you may not commence ANY work until the permit is issue

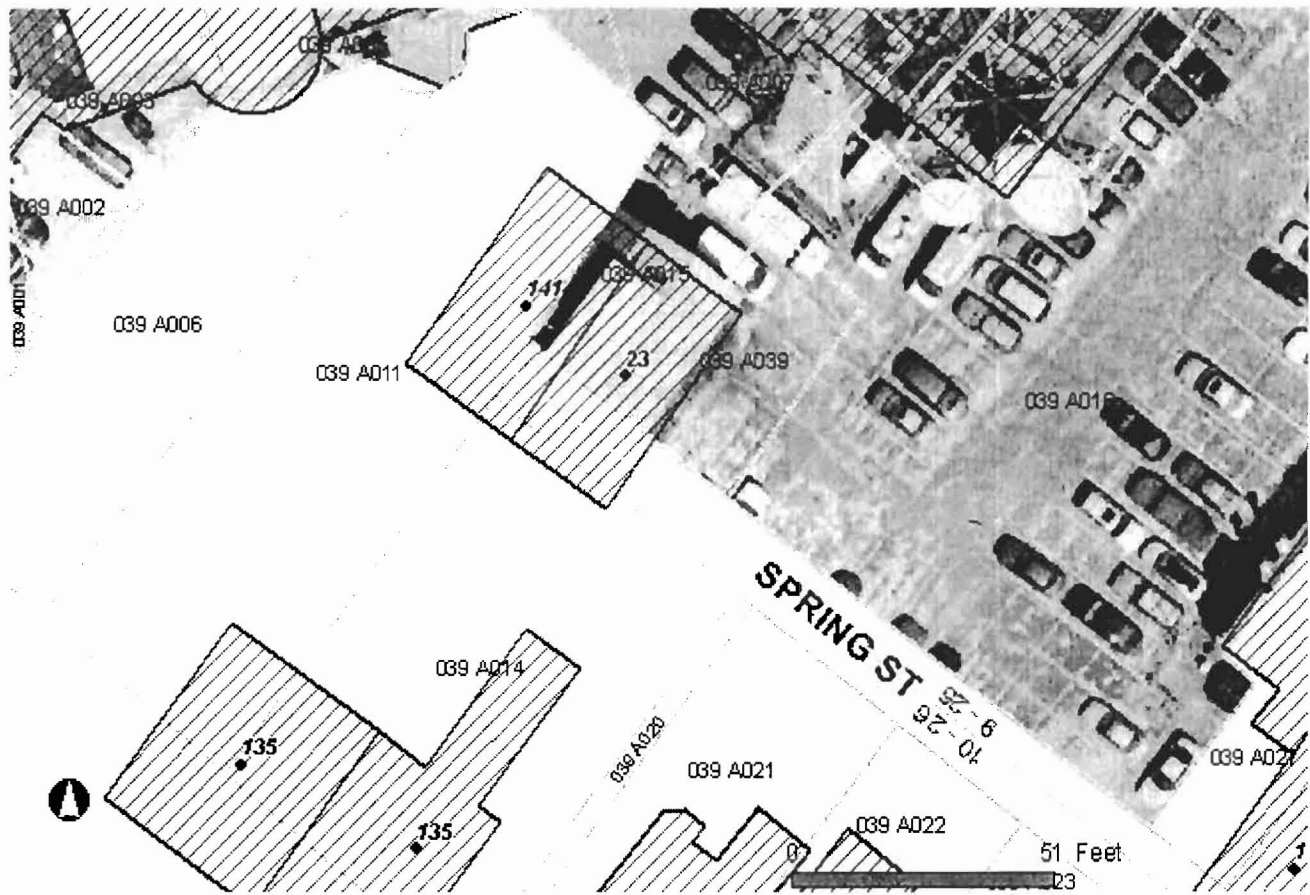


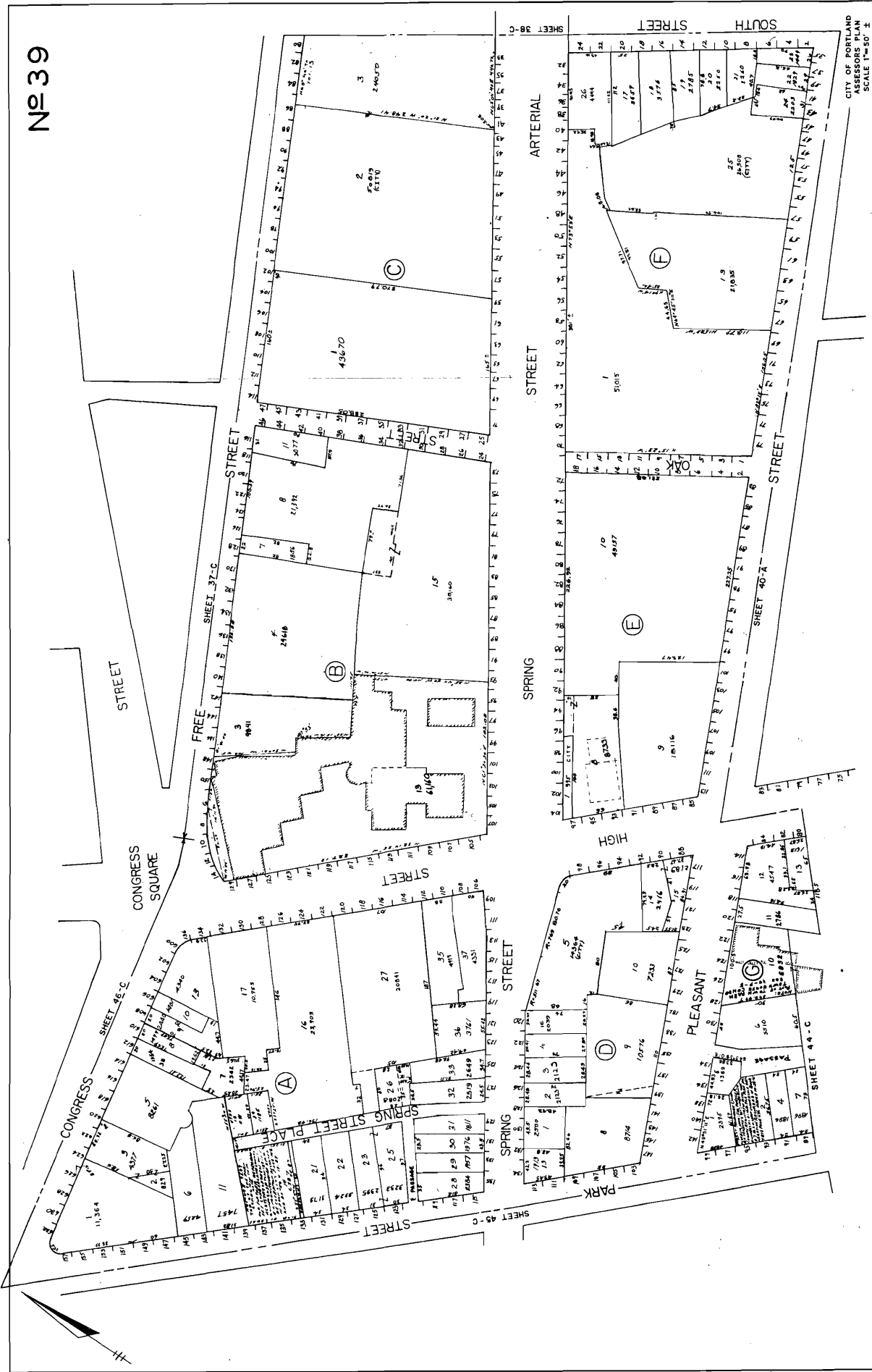
Height - 36"
width between Balusters - 4"
height off ground bottom rail - 4"



BECKER
structural engineers

Project: HFA 24 Residence





CITY OF PORTLAND
 LESSOR, PORTLAND
 LESSEES
 SCALE 1"=50' ±
 DIVISION OF CITY PLANNING
 1927



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	039 A015001
Location	23 SPRING ST PL
Land Use	TWO FAMILY
Owner Address	HEALEY MEREDITH & MARK HEALEY JTS 25 SPRING ST PL PORTLAND ME 04101
Book/Page	23460/050
Legal	39-A-15 SPRING ST PL 23 1141 SF

Current Assessed Valuation

Land	Building	Total
\$128,200	\$141,500	\$269,700

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1901	Old Style	2	2064	0.026	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	2		3	None	Pier/slab

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
12/05/2005	LAND + BLDING	\$221,400	23460-050
09/01/2002	LAND + BLDING	\$510,000	18155-299
10/01/1999	LAND + BLDING	\$105,000	15089-197

Picture and Sketch

Picture	Sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

Healey, Meredith & Mark

**25 Spring St. PL
Portland, ME 04101**

**39-A-15
SPRING ST PL 23**

To: Tammy Munson , City of Portland

January 31, 2008

Dear Tammy,

Thank you for your assistance with the building permit for renovations of our residence in Portland.

We are excited to say that due to the new addition to our family, our space requires renovations that will offer a better living configuration for all.

Attached, please find the necessary documentation including both professional architectural plans along with our consulted structural engineer's recommended post installation. Currently, large double beams span the house offering support. These future posts will not only supplement the existing structure, but are primarily being installed in consideration of a potential future hot tub installation on the roof. Budgetary restrictions may prevent us from moving forward with a hot tub phase now, however you will see this in the sketch along with a proposed alternating staircase going up to the hot tube area.

All mechanical and HVAC work will be conducted by Caron & Waltz in South Portland, ME who will seek permits for electrical / plumbing throughout the progression.

Our contractor – G&L Contracting from Belgrade, ME has incorporated egress windows into the bedroom layout as required.

All exterior dimensions and window sizes will remain the same.

About ten days ago I spoke with Deb Andrews of the Portland Historical Society to inquire about our property. She said it did not fall within the historical district and that no specialized historic permits would be required.

We hoped for a February 4th start date since we have an opportunity to house with family with the baby for 1 month until project completion.

Thank you for your time and attention.

Mark Healey
Resident – Portland, ME

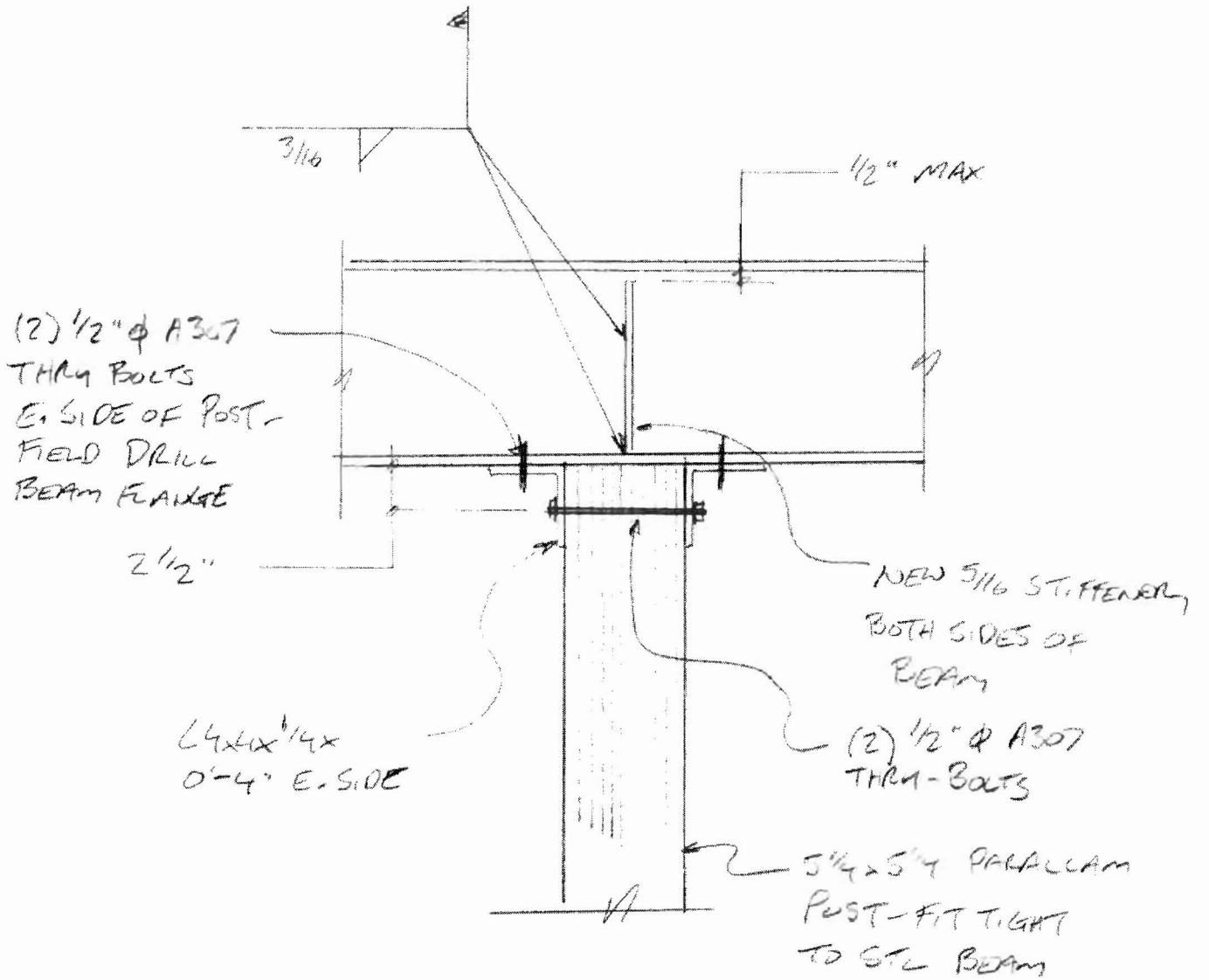
207 798 9898 cell markh@aircraftlogix.com

BECKER

structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel 207-879-1838 ■ Fax 207-879-1822

Project HEAVY RESIDENCE
W.O. 1858 Sheet 1 Of 1
Calculated By: EAR Date 1/24/08
Checked By: PBB Date 1/24/08

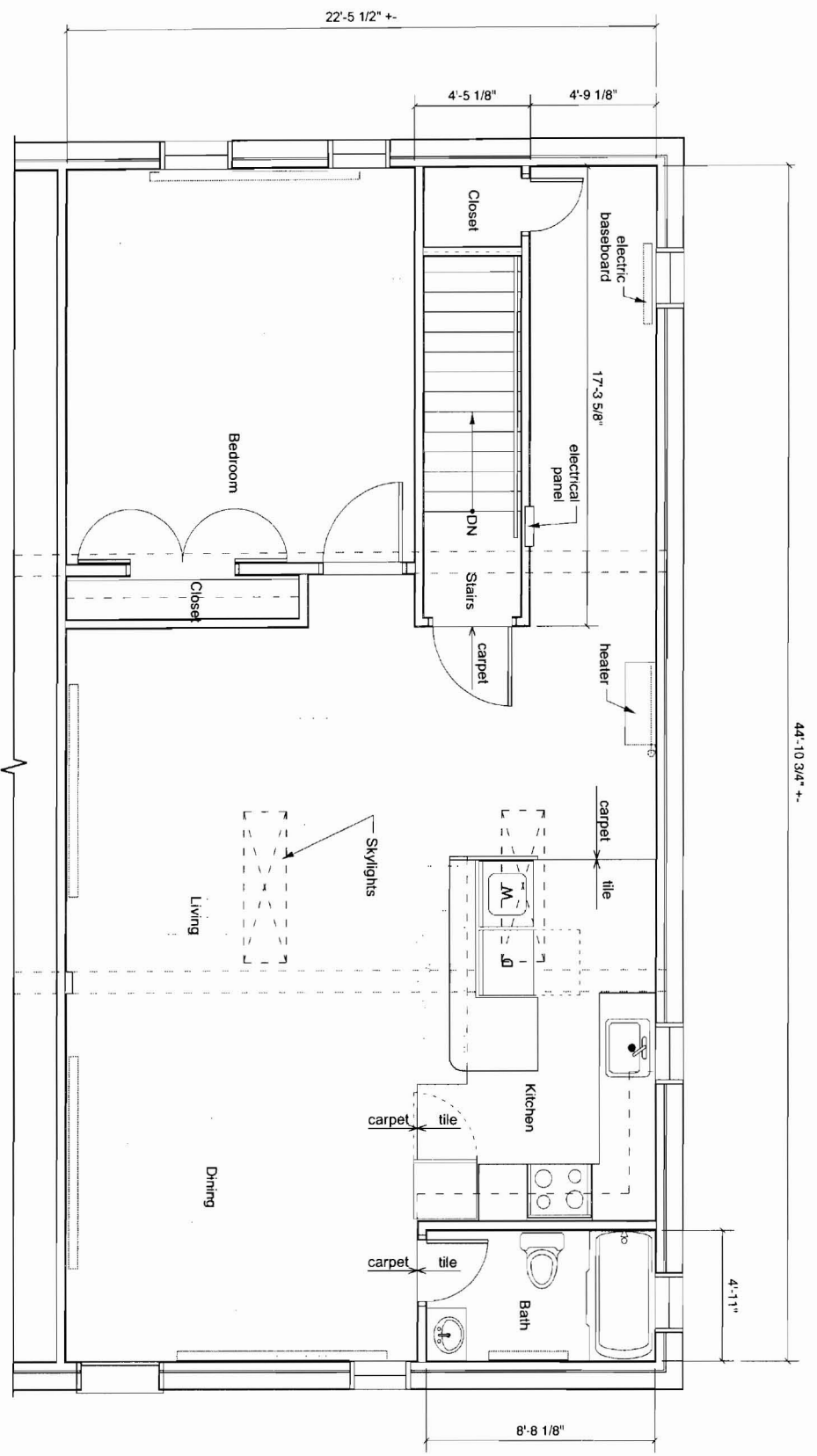


POST CONNECTION TO STEEL BEAM

SK-2

Existing

2 Second Floor Plan
SCALE: 1/4" = 1'-0"



SK02
HEALEY
RESIDENCE

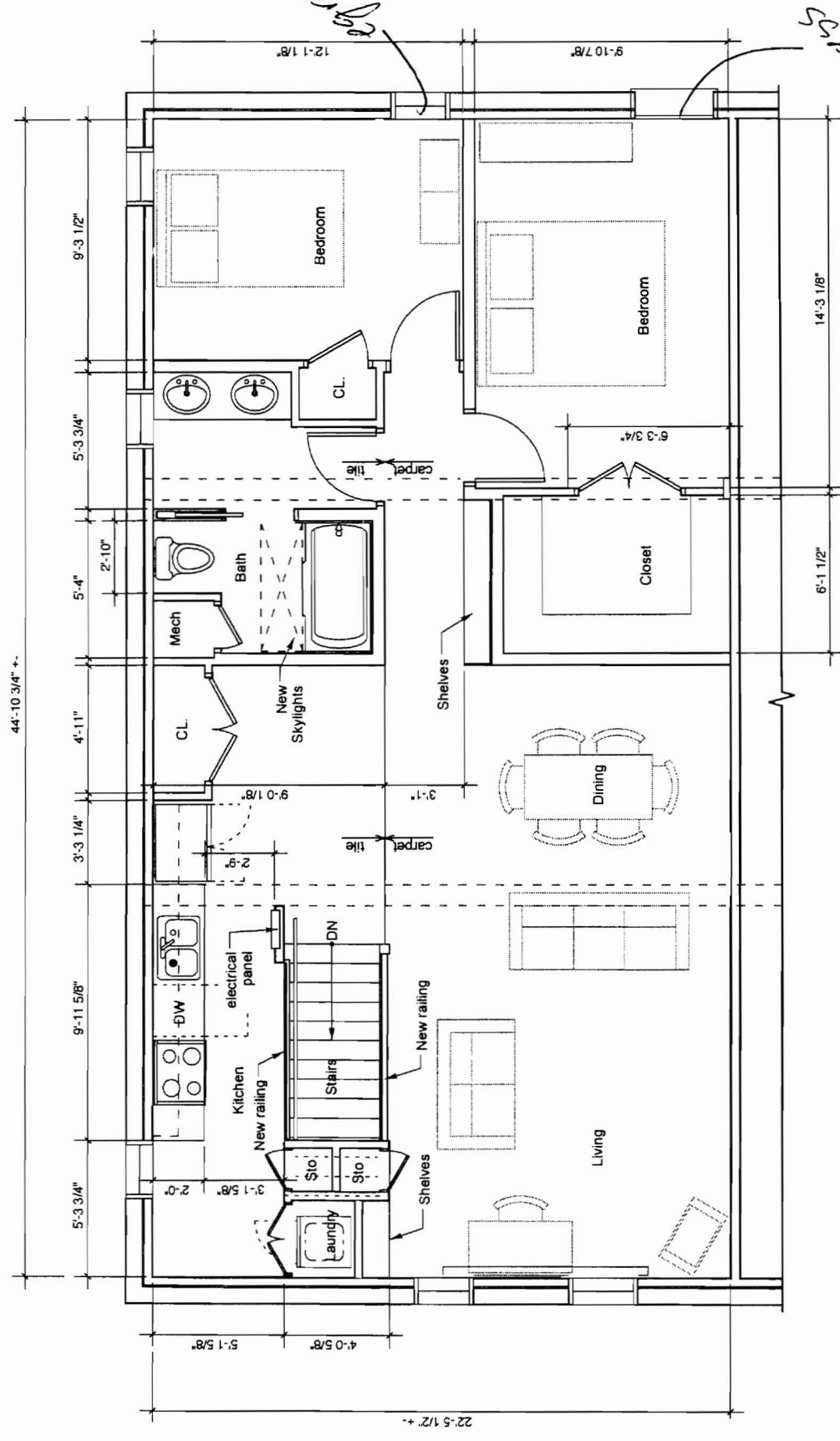
Healey Residence, Portland, Maine
Second Floor Plan
Drawn by: TD File Name:
Scale: 1/4" = 1'-0" Project No. RRA
Date: 11/07/07 Revised:

Richard Renner|Architects
35 Pleasant Street
Portland, Maine 04101
207.773.9699
207.773.9599 fax

Richard Renner Architects
 35 Pleasant Street
 Portland, Maine 04101
 207.773.9599
 207.773.9599 fax

Healey Residence, Portland, Maine
 Section
 Drawn by: TD
 File Name:
 Project No. RRA
 Revised:
 Date: 11/19/07

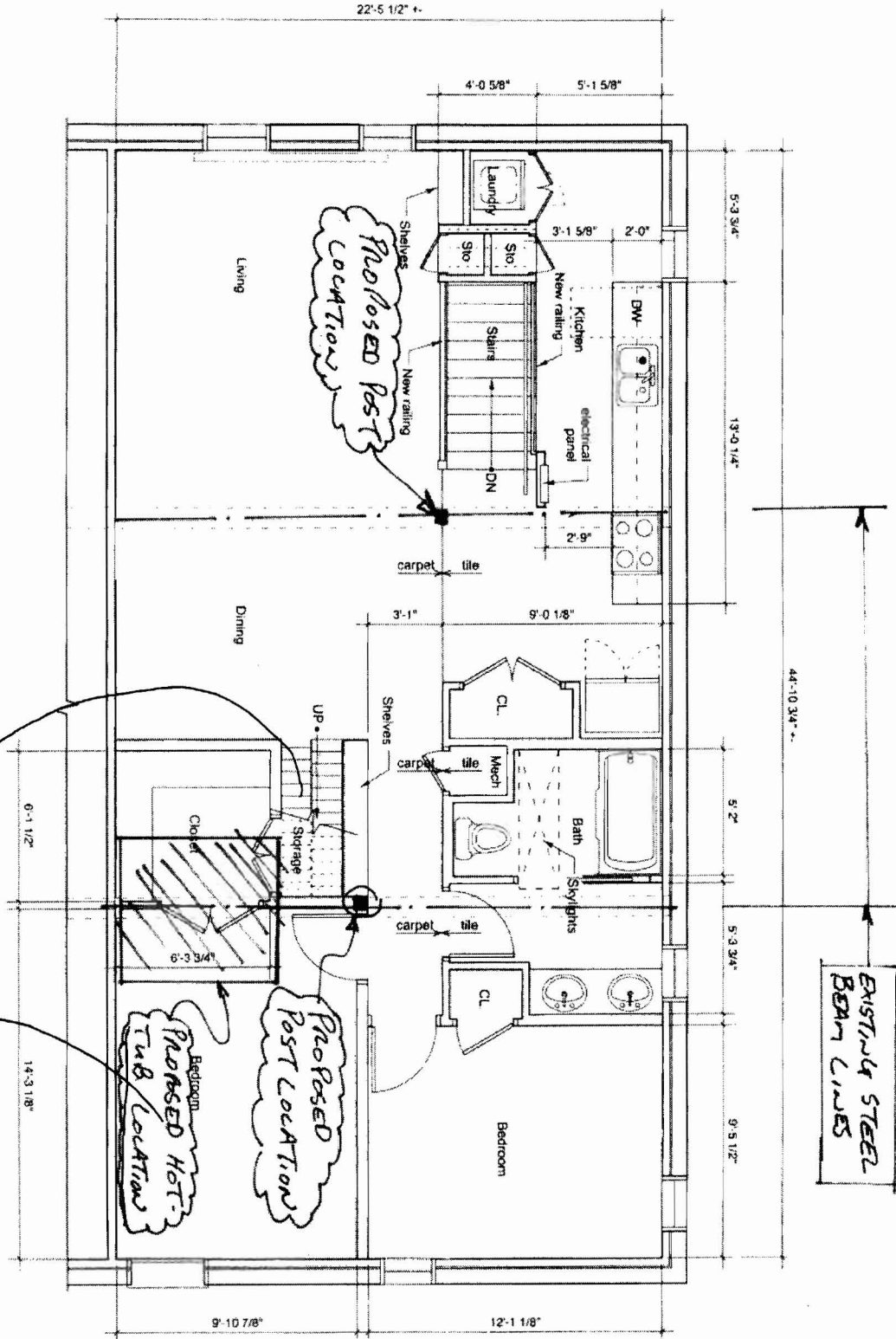
HEALEY
 RESIDENCE
SK04



PRELIMINARY - 01/29/08

Future

Second Floor Plan



not approved
will do permit

SK-1

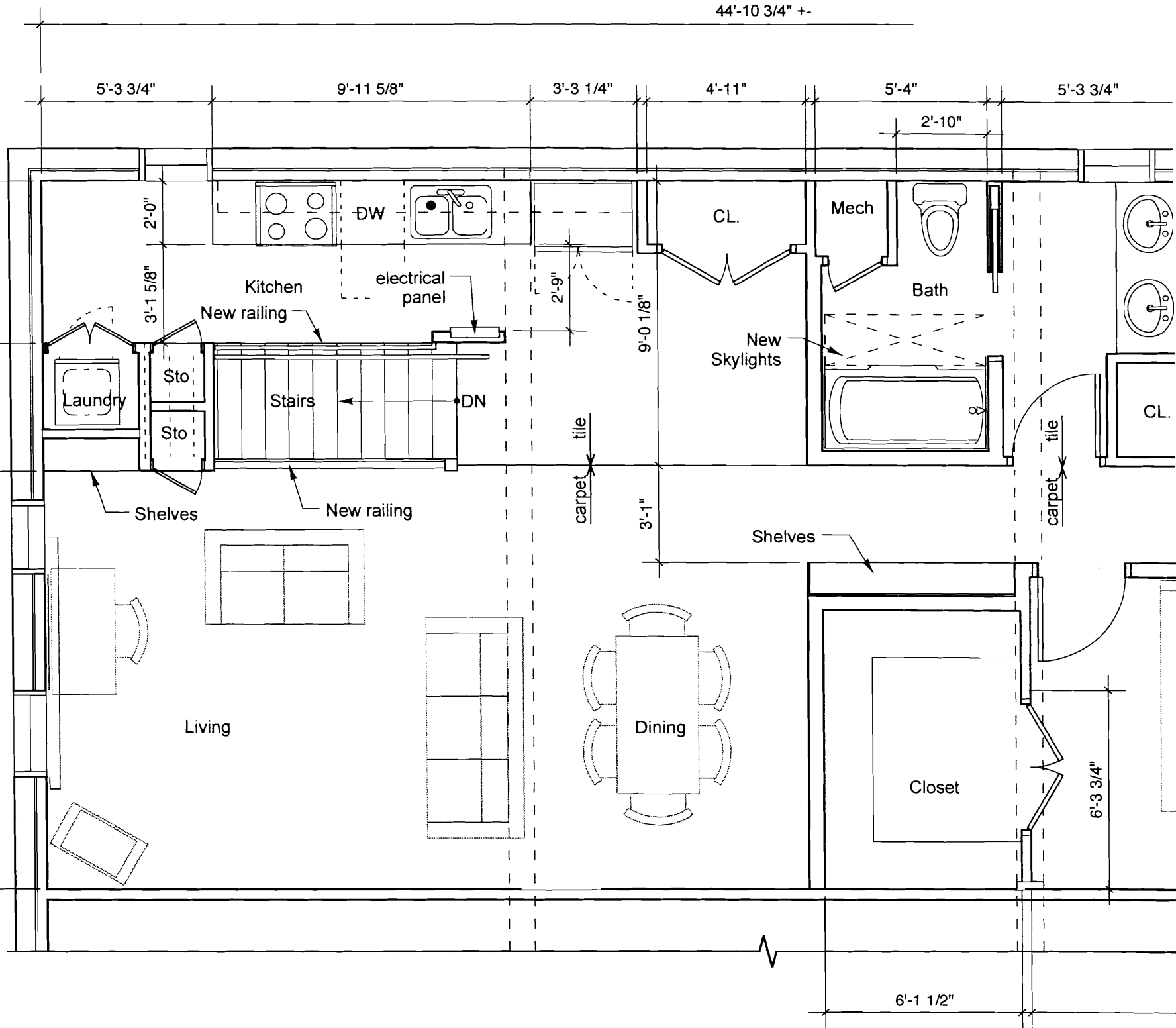
BECKER
structural engineers, inc.

75 York Street, Portland, ME 04101-4550
Tel. 207-879-1938 ■ Fax 207-879-1822

Project HEALEY RESIDENCE
W.O. 105B Sheet 1 Of 2
Calculated By: EAR Date 1/24/08
Checked By: PBB Date 1/24/08

44'-10 3/4" +-
5'-3 3/4" 9'-11 5/8" 3'-3 1/4" 4'-11" 5'-4" 5'-3 3/4"

22'-5 1/2" +-
5'-1 5/8" 4'-0 5/8" 2'-0" 3'-1 5/8" 2'-9" 9'-0 1/8" 3'-1" 6'-3 3/4" 6'-1 1/2"



PRE

2/13/08

O.K. to close-in
floor - Rough-plumbing OK.
Tested O.K.
C.M.H.

NOTE: move shut-off
or Access

03-07/08

close-in; change window in bedroom to
egress; shut-off wds-moved; change plans to
match laundry swap / kitchen stove. - JGR