

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1013	Issue Date: 09/06/02	CBL: 039 A010001
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Location of Construction: 606 Congress St	Owner Name: Rice Geoffrey I	Owner Address: 658 Congress St 1st Floor	Phone: 207-772-6788
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B-3

Past Use: Restaurant/residential	Proposed Use: Restaurant/residential	Permit Fee: \$51.00	Cost of Work: \$4,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A/R Type: w/r 9/21/02 [Signature]	

Proposed Project Description: Reinforce floor/install steel beam w/support	Signature: [Signature]	Signature: [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: jmy	Date Applied For: 09/06/2002	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> M/M <input type="checkbox"/> Date: 9/19/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Any exterior work requires a separate review		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

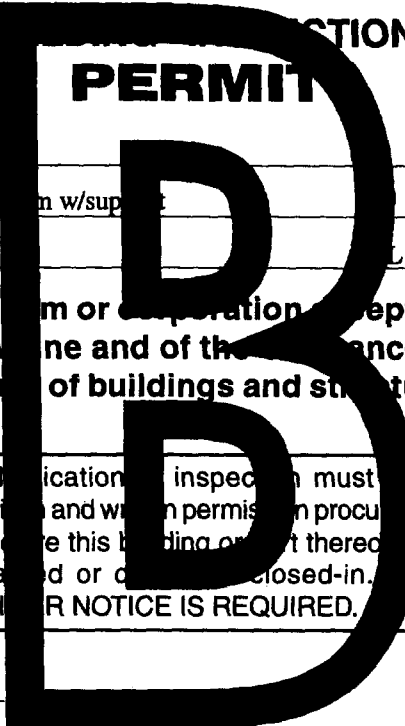
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021013



This is to certify that Rice Geoffrey I/Applicant

has permission to Reinforce floor/install steel beam w/sup

AT 606 Congress St L 039 A010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W.A.M. J.

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

02-1013

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>606 CONGRESS STREET, PORTLAND, ME 9</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>039</u> Block# <u>A</u> Lot# <u>10</u>	Owner: <u>GEORGEY I. RICE</u> <u>658 CONGRESS ST FIRST</u> <u>PORTLAND, ME 04101</u>	Telephone: <u>772-6788</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>GEORGEY I. RICE</u> <u>658 CONGRESS ST. 1ST FL</u> <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>4,000-</u> Fee: \$ <u>51.00</u>
Current use: <u>FIRST FLOOR RESTAURANT, 2ND & 3RD FLOOR RESIDENTIAL</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>REINFORCE FLOOR BY INSTALLING STEEL BEAM WITH</u> Project description: <u>SUPPORT</u>		
Contractor's name, address & telephone: <u>GEORGEY I. RICE</u>		
Who should we contact when the permit is ready: <u>OWNER</u>		
Mailing address: <u>658 CONGRESS ST, FIRST FLOOR</u> <u>PORTLAND, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-6788</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8/9/06, 2002</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

COMMERICAL INTERIOR CONSTRUCTION AND CHANGE OF USE LESS THAN 5,000 SQUARE FEET OF LEASEABLE SPACE

Your submissions must include the following to be accepted as a complete application:

- 1 Copy of the deed if you have owned the property less than 365 days
- 1 Copies of floor plan showing dimensions of each area and use to scale
- 1 Copies of the construction detail
- 1 Copies of the cover letter explaining the project in detail
- 1 Copy of the floor plan and construction details on 11" x 17" paper, we can not accept the application without it. Electronic plans may be submitted in place of the 11" x 17" copies.

A plot plan will need to be submitted if there is a change of use, to include the following:

- The shape and dimension of the lot and footprint of all structures
- Location and dimensions of parking areas and driveways (including street spaces in front of business)
- The building frontage of each tenant

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC
AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All electrical installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

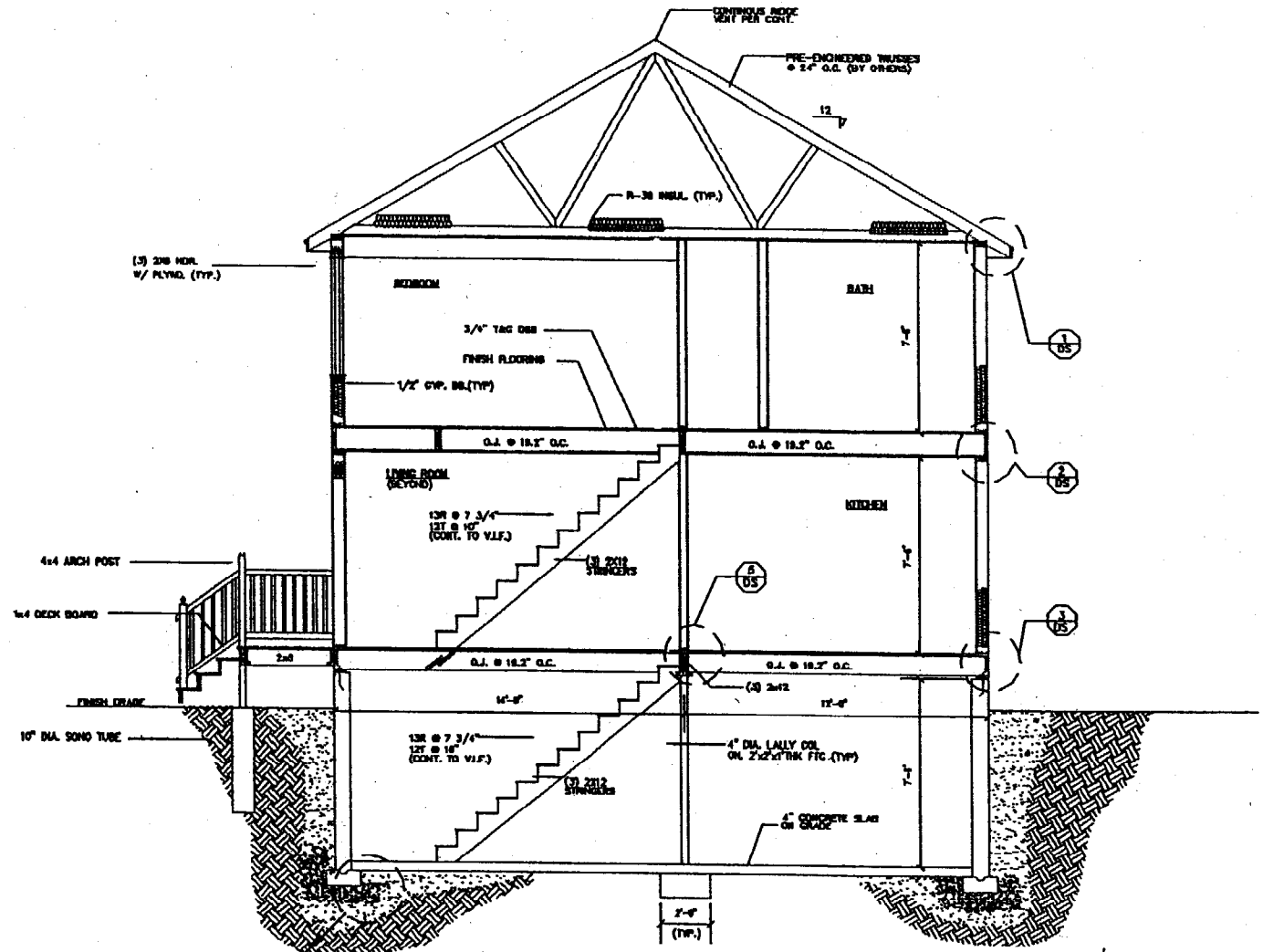
AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THE PERMIT. IF THE REQUIRED INFORMATION AS STATED ABOVE IS NOT SUBMITTED WITH THE APPLICATION, THE APPLICATION WILL BE AUTOMATICALLY DENIED

The cost of the permit is as follows:

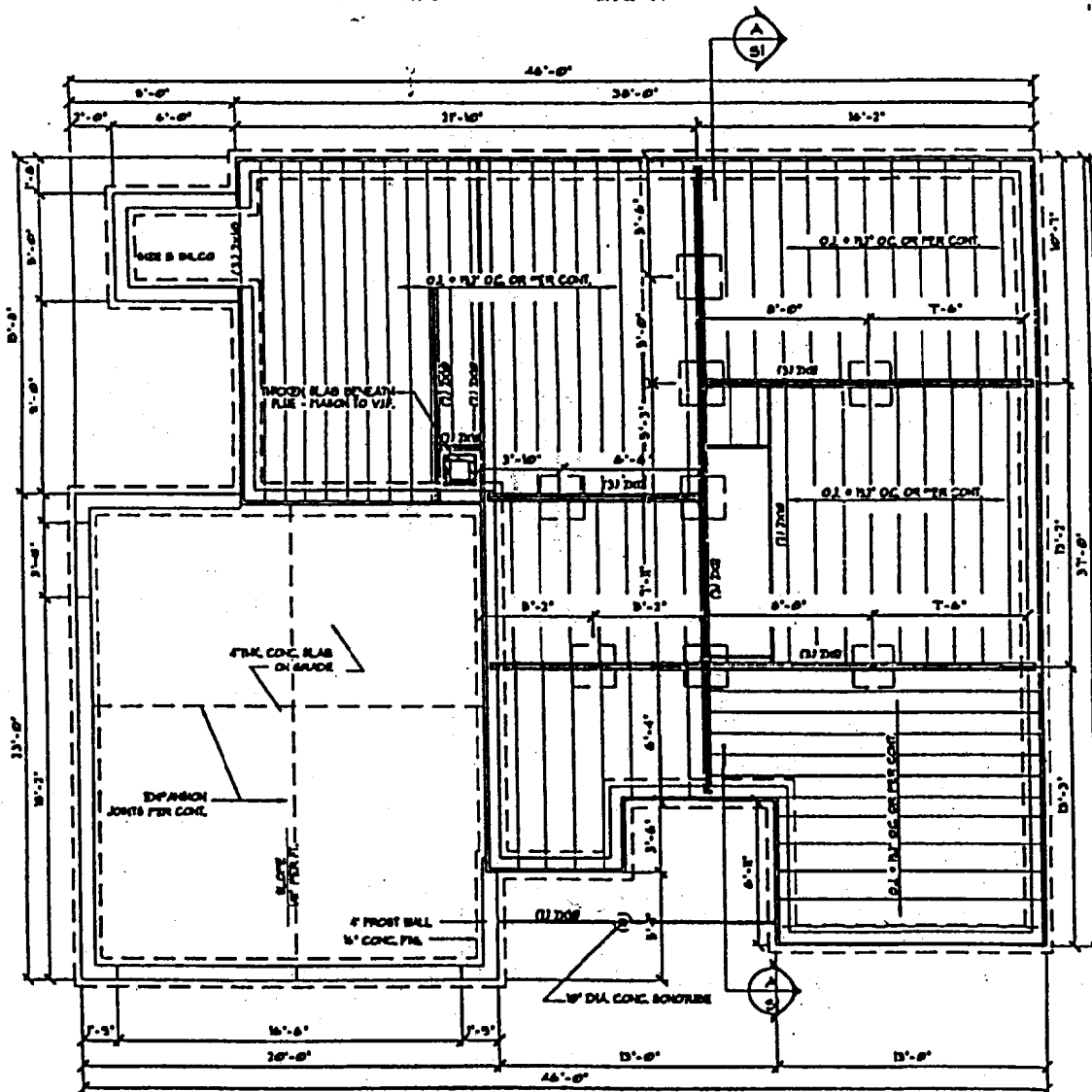
- Basic permit fee: \$30.00
- The first \$1,000.00 worth of construction is covered in the \$30.00 base fee
- Every additional \$1,000.00 of construction will cost \$7.00

Submissions for commercial work over \$50,000.00 must be done by a Design Professional

If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00

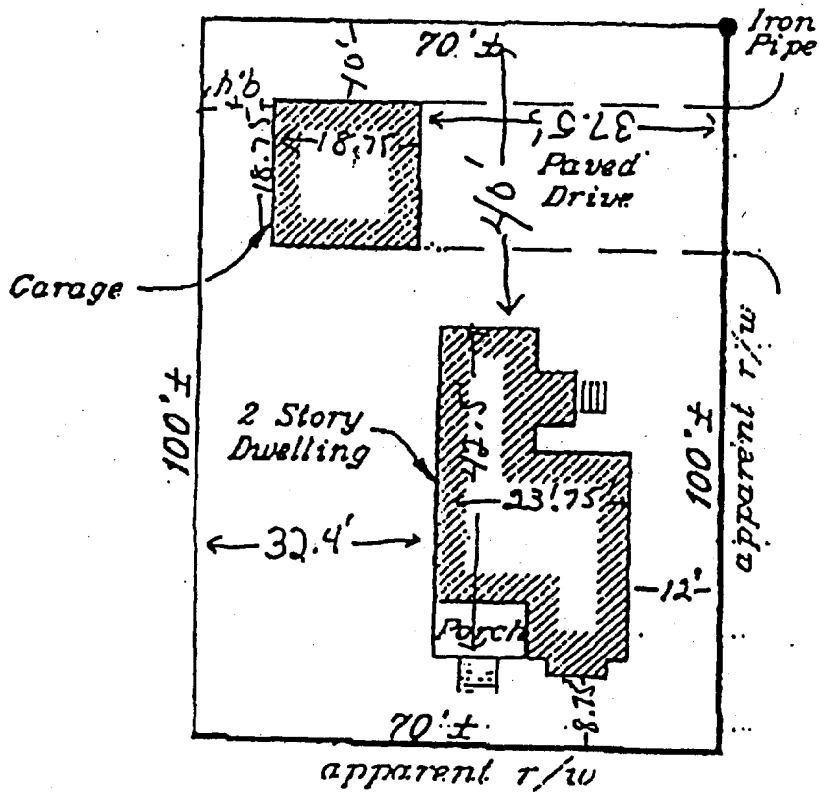


(A) SECTION A
 SCALE: 1/8"=1'-0"

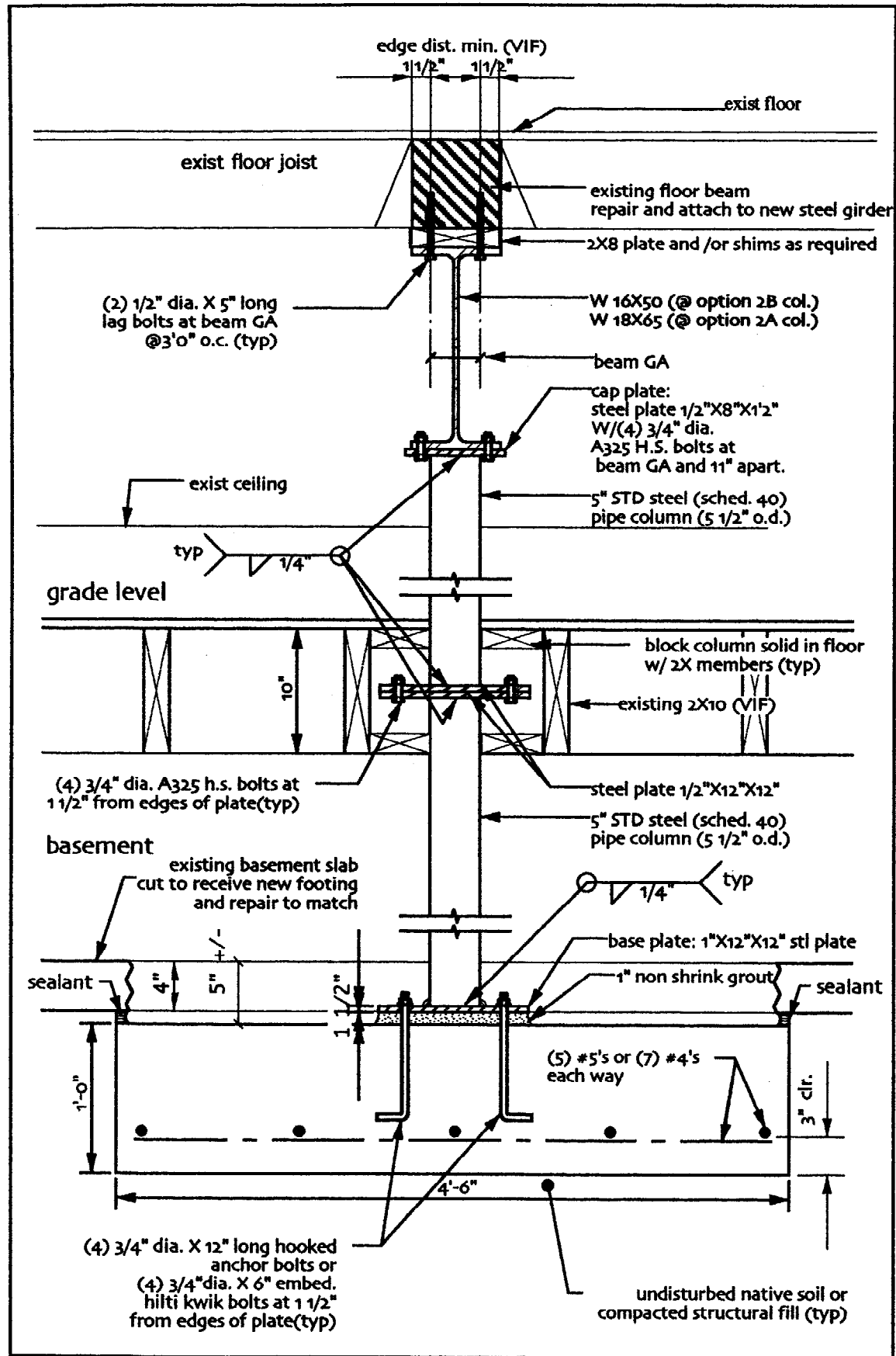


FOUNDATION PLAN

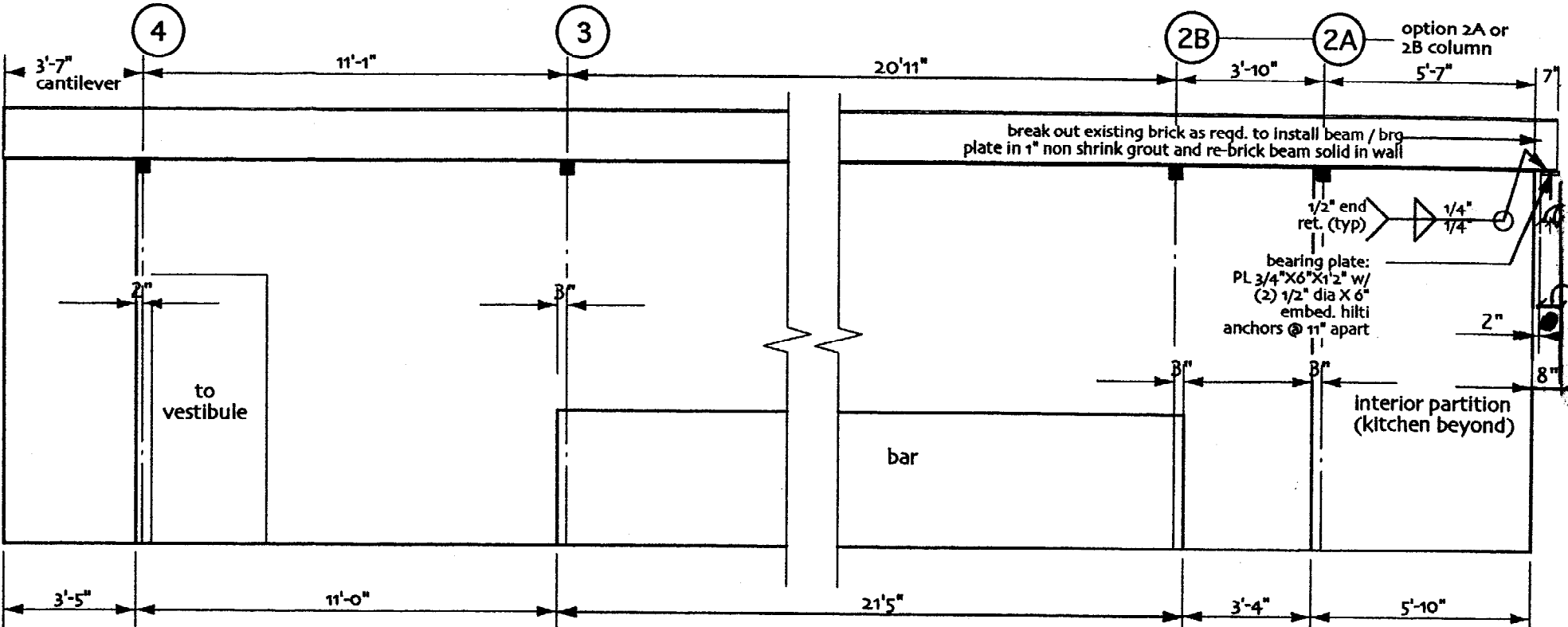
SCALE: 1/4" = 1'-0"



Lot Front



scale 1"=1'



scale 1/4"=1'

STRUCTURAL STEEL NOTES:

- Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Ninth edition.
- Structural steel:
 - Structural steel shall conform to ASTM A-36.
 - Structural tubing shall conform to ASTM A-500 GR.B.
 - Structural pipe shall conform to ASTM A-53, TYPE E or S.
- Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
- Field connections shall be bolted using 3/4 dia. ASTM A325 high strength bolts except where field welding is indicated on the drawings.
- All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

CONCRETE NOTES:

- All concrete work shall conform to ACI 318- 319.
- Concrete strength at 28 days shall be:
 - 3000 psi for footings and walls
 - 4000 psi for all slabs on grade
- All concrete shall be air entrained 4% to 6%.
- Concrete shall not be placed in water or on frozen ground.
- Provide PVC sleeves where pipes pass through concrete walls or slabs
- Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315 - latest edition.
- Welded wire fabric shall be provided in flat sheets.
- Fiber reinforced concrete shall conform to ASTM C- 1116.
- Splices of reinforcing bars shall be in accordance with ACI WWF shall be 6" minimum.
- Concrete finishes: Per owner's requirement.
- Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
- The general contractor shall be responsible for coordination of door bondout locations and slab depressions and bondout locations with architectural, mechanical and plumbing drawings as necessary to properly install each specific item.

GENERAL NOTES

The site is located at 606 Congress St. Portland, Maine 04101

All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the project supervisor and owner before proceeding with that portion of the work.

All applicable Federal, State, and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health.

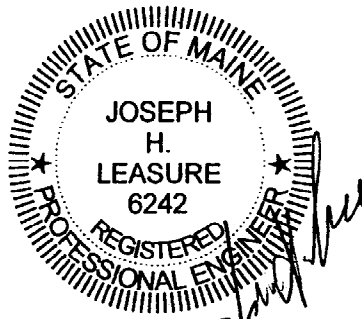
All work is to be carried out in a professional and workmanlike manner complying with all manufacturers' specifications

All trades are responsible for reviewing the Architectural drawings for details and coordinating relevant conditions with their particular trade.

All to have blocking on all walls to receive marker boards and shelving

All dimensions, unless otherwise noted are to face of structure, studs, concrete block, concrete footings. Vertical dimensions are from top of subfloor unless otherwise noted.

drawings designed by
L and L Engineering inc.
6 QStreet South Portland,
Maine 207 767 4830
Drawn by studio mmemosyne



606 congress street
Geoffrey Rice
portland, maine 04101

