

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0156	Issue Date:	CBL: 039 G011001
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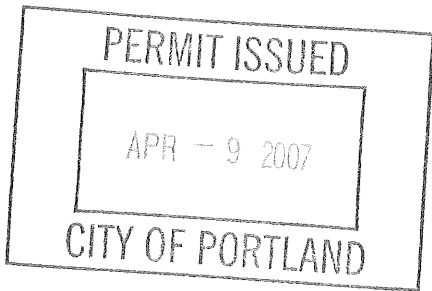
Location of Construction: 120 PLEASANT ST	Owner Name: KHAVARI PARIS & MARA K KH	Owner Address: 40 HARRISON AVE	Phone:
Business Name:	Contractor Name: Waynes Plumbing and Heating	Contractor Address: 158 St. John St Portland	Phone 2077747849
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R-6

Past Use: Residential multi unit	Proposed Use: Residential multi unit Install Peerless ECT 6 Oil Boiler in basement w/ 2 275 gal tanks	Permit Fee: \$130.00	Cost of Work: \$11,000.00	CEO District: 1
<p><i>legal use - 9 residential D.U.</i></p>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i>	

Proposed Project Description: Install a Peerless ECT 6 Oil Boiler in basement w/ 2 275 gal tanks	Signature: <i>Craig Casper</i>	Signature: <i>Jim</i> 3/13/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: dmartin	Date Applied For: 02/13/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>9 2/13/07</i>	Date: <i>9 2/13/07</i>	Date: <i>Requires A</i>



Scanned

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Any extension of work requires a separate review and approval



CITY OF PORTLAND, MAINE

Department of Building Inspections

7.1.12 2012

Received from XXXXXXXXXX

Location of Work 100 Portland St

Cost of Construction \$ 11,000.00

Permit Fee \$ 120.00

Building (I1) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other MEAC

CBL: 21984

Check #: 7001

Total Collected \$ 120.00

THIS IS NOT A PERMIT

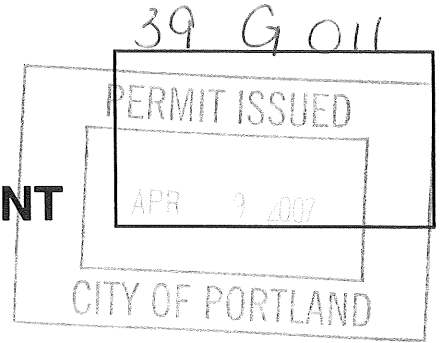
No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 120 Pleasant St Portland Use of Building Res Date _____
 Name and address of owner of appliance Dr Parris Khavari 40 Harrison Ave Portsmouth NH
03801
 Installer's name and address Waynes Plumbing Robert Curlew 158 St John St Portland
ME 04102 Telephone 774 7849

Location of appliance:

- Basement
- Attic
- Floor
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: Peerless ECT 6 ^{Steam} oil Boiler

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # MS 30001002
- Oil # _____
- Gas # _____
- Other _____

Type of Chimney:

Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil
- Gas

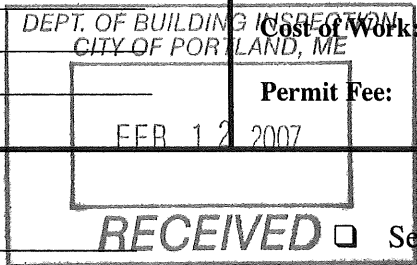
Size of Tank 275 Gal

Number of Tanks 2

Distance from Tank to Center of Flame 15 feet.

Cost of Work: \$ 11000.00

Permit Fee: \$ _____



Approved

Approved with Conditions

Fire: _____
 Ele.: _____
 Bldg.: _____

See attached letter or requirement

Inspector's Signature _____ Date Approved _____

Signature of Installer [Signature]

Series EC/ECT

Type: Residential
Construction: Cast Iron
Fuel: Oil-Fired
Input: 105 to 420 MBH
Output: 91 to 347 MBH Gross
Venting: Natural Draft
Trim: Water or Steam
Combustion: Flame Retention Burner

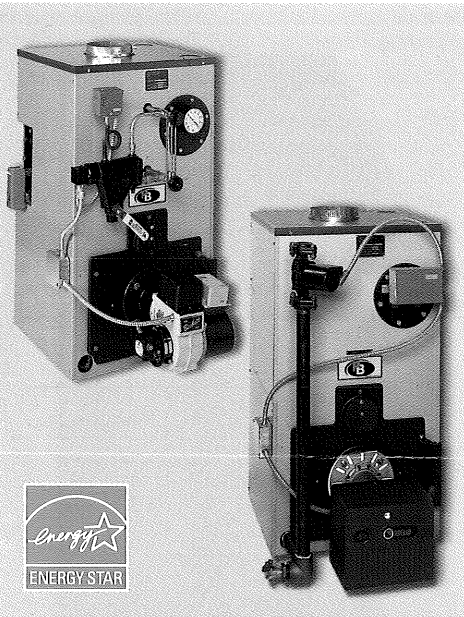


HI Division
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ASME

Oil-Fired



- Large Water Volume
- Packaged or Knockdown Oil Boilers
- Natural Draft (Chimney) Venting
- Flame Retention Burners
- Steam or Hot Water Boilers
- Optional Tankless Coils
- Skim Tapping for Cleaning Steam Boilers

Series EC/ECT Boiler Ratings

Boiler Model Number	Burner Input		DOE Heating Capacity MBH ⁵		Net I=B=R Ratings ⁴			Seasonal Efficiency (AFUE)		Water Content (Gallons)		Minimum Draft Req. Stack W.C.
	GPH ¹	MBH	Gross Output		Steam Sq. Ft.	Water MBH ²	Steam MBH ³	Combustion Efficiency ⁶		Water	Steam	
			Water	Steam				Water	Steam			
EC/ECT-03*	0.75	105	92	91	283	80	68	86.6%*	85.4%*	17.40	14.16	-03
EC/ECT-03*	1.00	140	121	120	375	105	90	85.3%*	84.4%	17.40	14.16	-04
EC/ECT-03	1.20	168	144	142	446	125	107	83.9%	82.9%	17.40	14.16	-05
EC/ECT-04*	1.25	175	152	151	471	132	113	86.1%*	85.1%*	21.72	17.28	-03
EC/ECT-04*	1.50	210	181	180	563	157	135	85.2%*	84.5%	21.72	17.28	-04
EC/ECT-04	1.75	245	209	208	650	182	156	84.5%	83.8%	21.72	17.28	-05
EC/ECT-05*	1.75	245	214	212	663	186	159	86.2%*	85.6%*	26.04	20.40	-03
EC/ECT-05*	2.00	280	241	240	750	210	180	85.2%*	84.6%	26.04	20.40	-04
EC/ECT-05†	2.50	350	286	286	896	249	215	84.1%	84.1%	26.04	20.40	-05
EC/ECT-06†	2.75	385	321	321	1004	279	241	84.4%	84.4%	30.36	23.52	-04
EC/ECT-06†	3.00	420	347	347	1083	302	261	83.7%	83.7%	30.36	23.52	-05

* As an ENERGY STAR[®] Partner, PB Heat has determined that these firing rates meet the ENERGY STAR guidelines for energy efficiency.

† All chimneys are 8" x 8" x 20' except those models denoted with (†), which are 8" x 12" x 20'.

1 Burner input based on No. 2 fuel oil with a heating value of 140,000 Btu per gallon.

2 Net I=B=R water ratings based on an allowance of 1.15.

3 Net I=B=R steam ratings based on an allowance of 1.333.

4 Consult factory before selecting a boiler for installations having unusual piping and pickup requirements, such as intermittent system operation, extensive piping systems, etc.

5 Heating Capacity and Annual Fuel Utilization Efficiency (AFUE) ratings are based on U.S. Government tests, with 13% CO₂ and -0.02" w.c. draft over fire. Before purchasing this appliance, read important information about its estimated annual energy consumption or energy efficiency rating that is available from your retailer.

6 Combustion efficiency and gross output are determined in accordance with The Hydronics Institute's Testing and rating standard for Heating Boilers; @ 12.5% CO₂ and -0.02" w.c. draft over fire.

Peerless Pinnacle Oil



HI Division
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ASME



Type: Residential
Construction: Stainless Steel
Fuel: Oil-Fired
Input: 70 to 84 MBH
Output: 56 to 67 MBH Gross
Venting: Direct Vent
Trim: Water
Combustion: Sealed Combustion

- 93%+ ENERGY STAR® Efficient
- Direct Vent, Sealed Combustion
- High Efficiency, Fully Condensing Oil Boiler
- Beckett AFG Burner
- ASME Rated Heat Exchanger
- Quiet Operation
- Two Firing Rates Available
- Multi-Functional Controls
- Slim Design/Small Footprint



Oil-Fired

Series Peerless Pinnacle Oil Boiler Ratings

Boiler Model Number	Boiler Input ²		Heating Capacity ^{3,5} (MBH)	Net I=B=R Output ^{4,5}	Seasonal Efficiency ⁵ (AFUE)
	(GPH)	(MBH)			
PO-70*	0.50	70	64	56	91.7%
PO-70A* ¹	0.50	70	65	56	92.0%
PO-84*	0.60	84	77	67	91.3%
PO-84A* ¹	0.60	84	77	67	91.8%

* As an ENERGY STAR® Partner, PB Heat has determined that these firing rates meet the ENERGY STAR guidelines for energy efficiency.

1 Models PO-70A and PO-84A designate boilers using an alternate minimum vent length of 25 equivalent feet.

2 Firing Rate is based on commercial standard #2 fuel oil with a heating value of 140,000 Btu/gallon. Burner input is based on a maximum altitude of 2,000 ft - for higher altitudes consult the factory.

3 Heating Capacity ratings are based on U.S. Government standard tests, with 13.0% CO₂.

4. The Net I=B=R Output Ratings are based on a pick-up allowance of 1.15. Consult the factory before selecting a boiler for gravity hot water installations or installations having unusual piping and pick-up requirements, such as intermittent system operation and extensive piping systems.

5. Heating Capacity, Net I=B=R Output, and Annual Fuel Usage Efficiency (AFUE) are based on testing required by the FTC and are 3rd Party Verified.

REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE

CURR. DESC.	LAND NOS.	STREET	BLDG. NO.	CARD NO.	DEVELOPMENT NO.	AREA	DIST.	ZONE	CHART	BLOCK	LOT	CURR. DESC.
	118-120	Pleasant		OF			3		39	G	11	

TAXPAYER ADDRESS AND DESCRIPTION

BROWN J B & SONS
 57 EXCHANGE ST.
 CITY

LAND & BLDG. PLEASANT ST. #118-120 ASSESSORS PLAN 39-G-11 AREA 2786 SQ. FT.

RECORD OF TAXPAYER			YEAR	BOOK	PAGE

PROPERTY FACTORS	
TOPOGRAPHY	IMPROVEMENTS
LEVEL	<input checked="" type="checkbox"/> WATER
HIGH	<input type="checkbox"/> SEWER
LOW	<input type="checkbox"/> GAS
ROLLING	<input type="checkbox"/> ELECTRICITY
SWAMPY	<input type="checkbox"/> ALL UTILITIES
STREET	
TREND OF DISTRICT	
PAVED	<input checked="" type="checkbox"/> IMPROVING
SEMI-IMPROVED	<input type="checkbox"/> STATIC
DIRT	<input type="checkbox"/> DECLINING
SIDEWALK	<input checked="" type="checkbox"/>
TILLABLE	PASTURE
	WOODED
	WASTE

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1951	1956
27	100AV.	40 ⁰⁰	100	40 ⁰⁰	1080	
TOTAL VALUE LAND					1080	1080
TOTAL VALUE BUILDINGS					8070	8190
TOTAL VALUE LAND AND BUILDINGS					9150	
SQ. FT. TO-FROM CH.			BLK.	LOT		
SQ. FT. TO-FROM CH.			BLK.	LOT		

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.			BLK.	LOT		
SQ. FT. TO-FROM CH.			BLK.	LOT		

ASSESSMENT RECORD		INCREASE	DECREASE
1950	LAND	1025	
	BLDGS.	5675	
	TOTAL	6700	
1951	LAND	650	
	BLDGS.	4850	
	TOTAL	5500	
1956	LAND	650	
	BLDGS.	4925	75
	TOTAL	5575	
19	LAND		
	BLDGS.		
	TOTAL		
19	LAND		
	BLDGS.		
	TOTAL		
19	LAND		
	BLDGS.		
	TOTAL		
19	LAND		
	BLDGS.		
	TOTAL		
19	LAND		
	BLDGS.		
	TOTAL		
19	LAND		
	BLDGS.		
	TOTAL		

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.			BLK.	LOT		
SQ. FT. TO-FROM CH.			BLK.	LOT		

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.			BLK.	LOT		
SQ. FT. TO-FROM CH.			BLK.	LOT		

YEAR	ORIG. COST	RENTAL	2640
YEAR	SALE PRICE	EXPENSE	1180 EST.
YEAR	U. S. R. S.	NET	1460

