

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 091435

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Glynn Justine F / Joe Lucey

has permission to Replace rear entry door with new door.

AT 72 High St

CB# 039 G010A02 JAN 14 2010

PERMIT ISSUED

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CHIEF R. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 1/13/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1435	Issue Date:	CBL: 039 G010A02
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Location of Construction: 72 High St	Owner Name: Glynn Justine F	Owner Address: 78 High St # A02	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone: 2076714249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-1

Past Use: Condominium Unit #2	Proposed Use: Condominium / replace rear entry door with new door. - replacing windows	Permit Fee: \$60.00	Cost of Work: \$3,400.00	CEO District: 2
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Proposed Project Description: Replace rear entry door with new door. - replace windows	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: SB
	* See Conditions	IBC - IRC 2003

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i> 1/13/10
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: gg	Date Applied For: 12/21/2009	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>[Signature]</i> 12/22/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 1/4/10 STH
	<p>PERMIT ISSUED</p> <p>JAN 14 2010</p> <p>City of Portland</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee



Signature of Inspections Official

Date

 1/13/10

Date

PERMIT ISSUED
JAN 14 2010
City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1435	Date Applied For: 12/21/2009	CBL: 039 G010A02
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Location of Construction: 72 High St	Owner Name: Glynn Justine F	Owner Address: 78 High St # A02	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone (207) 671-4249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Condominium / replace rear entry door with new door.	Proposed Project Description: Replace rear entry door with new door.
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 01/04/2010

Note: **Ok to Issue:**

- 1) Approval should not be construed as approval for additional windows on more visible sides of the structure.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/22/2009

Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This property shall remain a total of 17 residential condos - 72-74 High Street = 5 - 78-80 High Street = 5 - 124 Pleasant Street = 7. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/13/2010

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 01/12/2010

Note: **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) The entire structure shall comply with NFPA 101 "Existing Apartments"
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.

PERMIT ISSUED

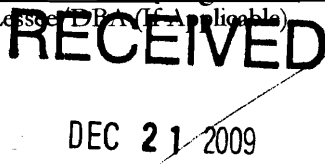
JAN 14 2010

City of Portland



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>72 High Unit # 2</u> 78 High St UNIT # 078		
Total Square Footage of Proposed Structure/Area <u>NA Existing</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>39</u> Block# <u>G</u> Lot# <u>10</u> <u>72-78 High St. Town farm</u> <u>Townhouse (condo)</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Mate Huckel-Bauer</u> Address <u>78 High St.</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>332-4499</u>
	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>3400</u> C of O Fee: \$ _____ Total Fee: \$ <u>60.00</u>
	Dept. of Building Inspection City of Portland Maine Current use (if single family) <u>Single Family - Condo</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Condo</u> Is property part of a subdivision? <u>Condo Assoc.</u> If yes, please name <u>Town farm Townhouse (condos)</u> Project description: <u>Replace rear entry door with new door + side lite.</u>	
Contractor's name: <u>Joe Lucey Carpentry Inc.</u>		
Address: <u>482 Walnut Hill Rd</u>		
City, State & Zip <u>No Yarmouth, ME 04097</u>		Telephone: <u>671-4249</u>
Who should we contact when the permit is ready: <u>Joe Lucey + mail</u>		Telephone: <u>671-4249</u>
Mailing address: <u>482 Walnut Hill Rd, No Yarmouth, Me 04097</u>		

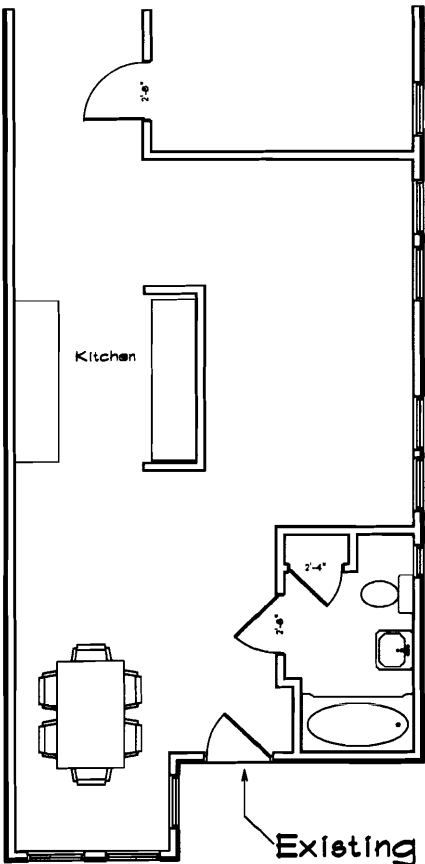
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

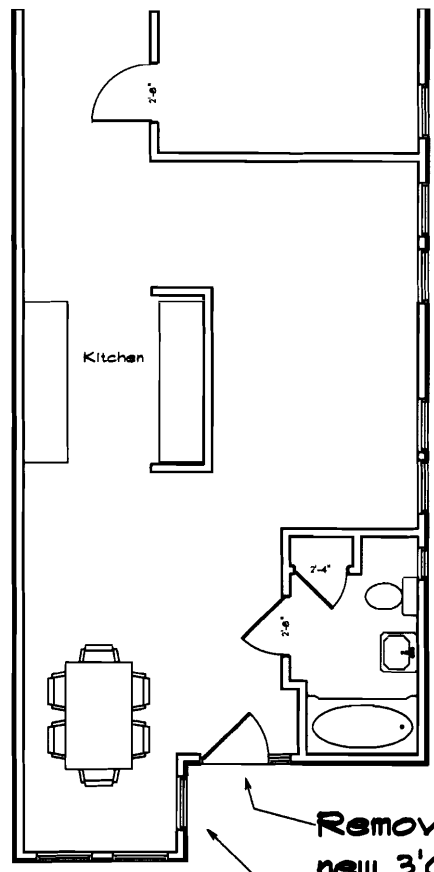
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: <u>12/14/09</u>
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This is not a permit; you may not commence ANY work until the permit is issue



Existing 2'10" door to be replaced.



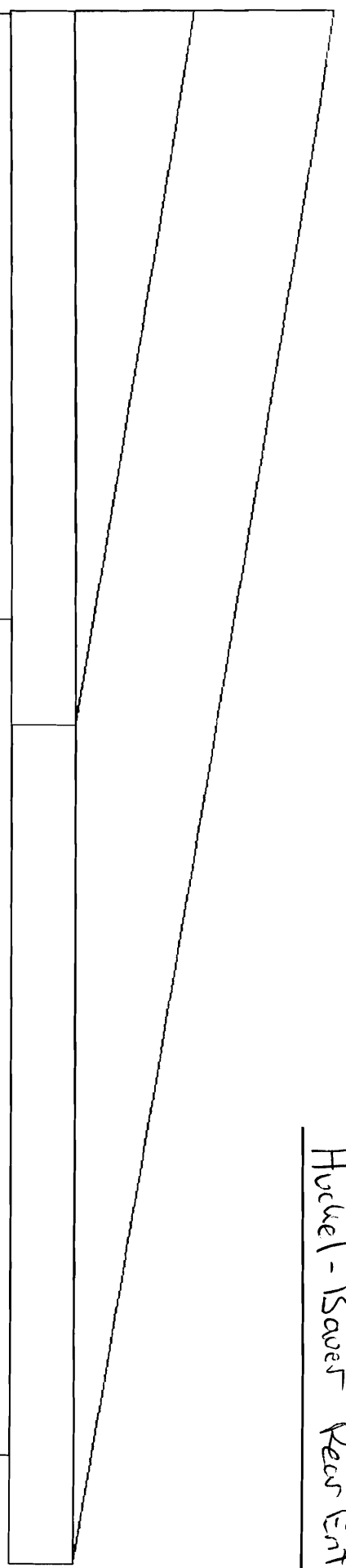
Remove existing rear entry and install new 3'0" x 6'8" door with sidelight

Three rear double-hung windows to be replaced with Marvin Tilt-Pac replacement sashes. -Sashes to fit into existing original jambs.

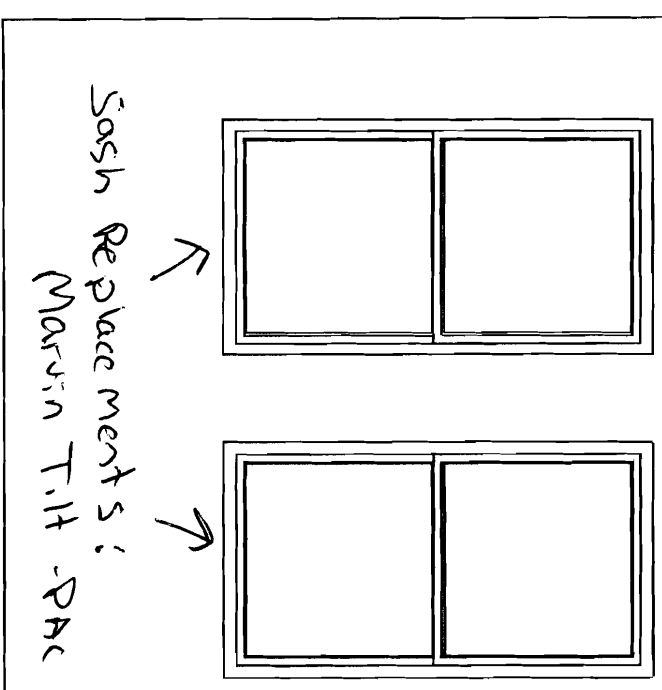
Project:
Huckel-Bauer Residence
78 High St.

Contractor:
Joe Lucey Carpentry Inc
482 Walnut Hill Rd.
North Yarmouth, ME 04097

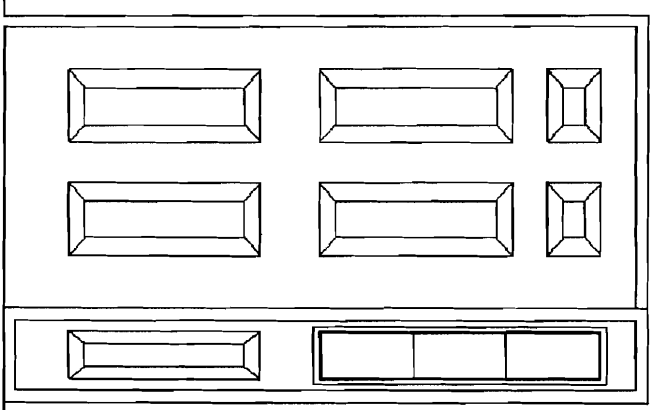
Huckel - Bauer Rear Entry



Note
- Windows are not visible from street



Sash Replacement:
Marvin Tilt - Pac

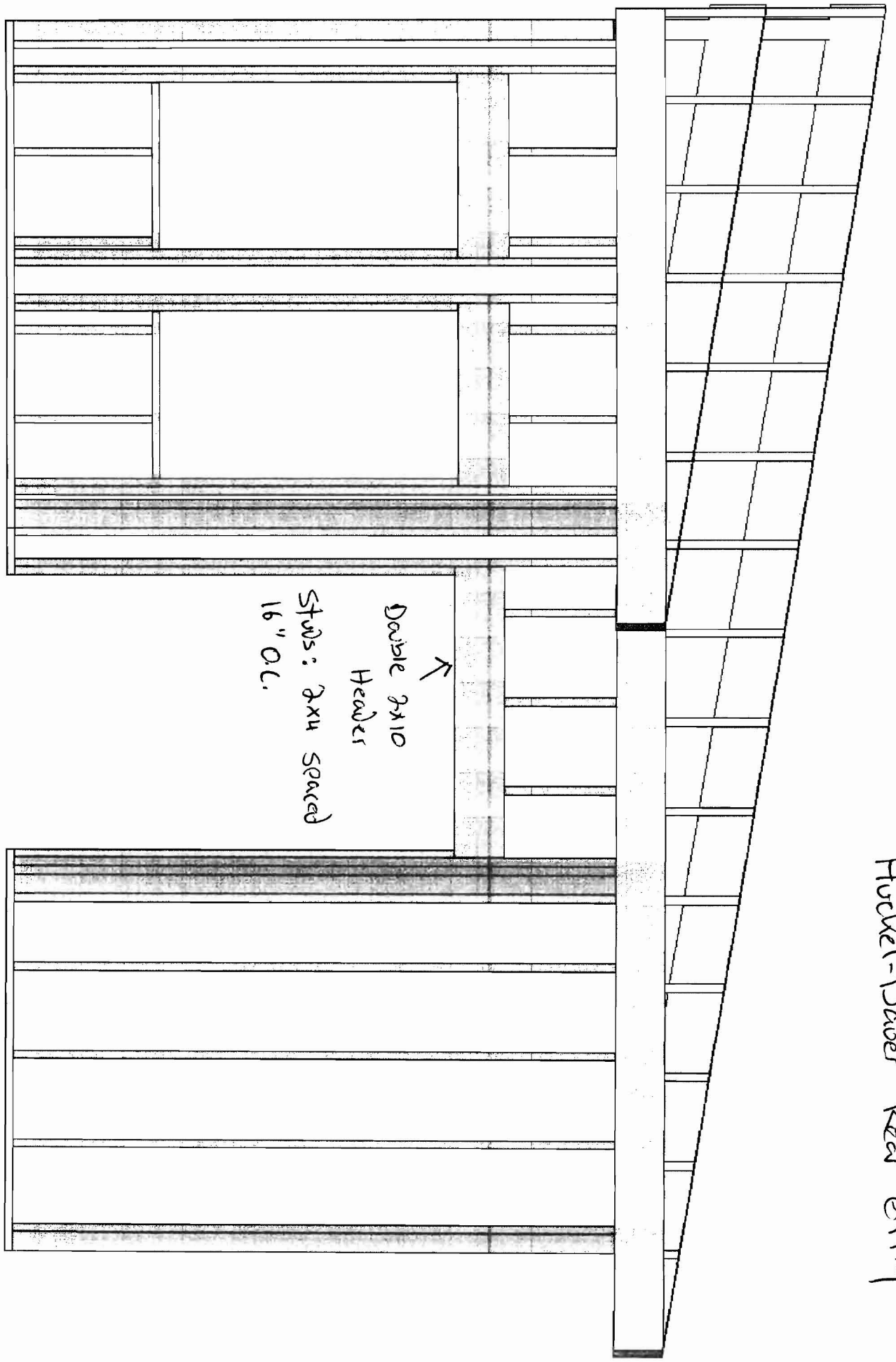


3'0" x 6'8" Door
with 12" sidelight

Joos Cell 671 4249

Joe Wacey Carpentry Inc

Huckel-Daues Rear entry



Double joist
Header
Studs: 2x4 spaced
16" O.C.

50' 1/2"

Joets Cell - 671-4249

Joe Lacey Carpentry Inc.

