

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED

Permit Number: 091245

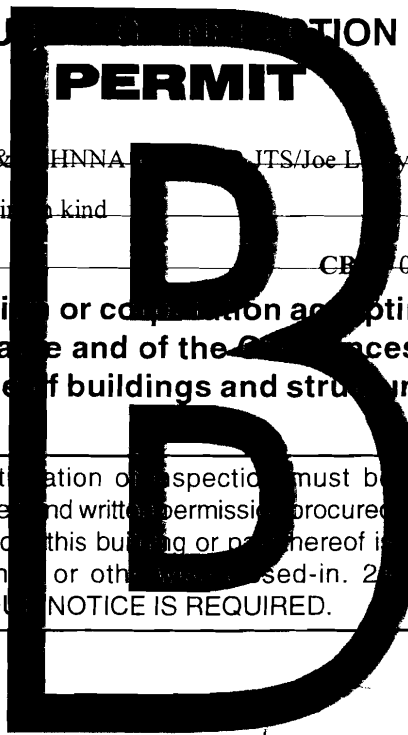
Please Read Application And Notes, If Any, Attached

This is to certify that ANDERSON CHRISTIAN S & HENNA ITS/ Joe L DEC - 1 2009

has permission to Replace existing rear porch stairs kind

AT 72 HIGH ST CB 039 G010 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Santora  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1245	Issue Date:	CBL: 039 G010D03
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Location of Construction: 72 HIGH ST (124 Pleasant - 3-D)	Owner Name: ANDERSON CHRISTIAN S & JO	Owner Address: 17 MINUTEMAN DR	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone: 2076714249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Residential Condo Units  <i>legal use -</i>	Proposed Use: Residential Condo Units - Replace existing rear porch stairs in kind <i>72-74 High - 5 residential units 78-80 High - 5 " 124 Pleasant 7 "</i>	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 2
Proposed Project Description: Replace existing rear porch stairs in kind		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied  <i>* See Conditions</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i>  <i>IBC 2003</i>	
		Signature: <i>(KG)</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 11/05/2009	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>11/5/09</i> <i>AGA</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <i>not visible from public way</i> <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>11/5/09</i> <i>Dr. Andrews</i>
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**PERMIT ISSUED**

DEC - 1 2009

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

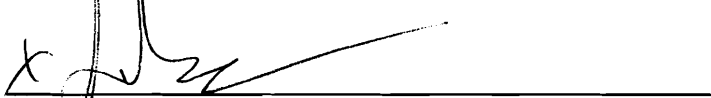
  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**


**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**



Signature of Applicant/Designee

  12-2-09  

Date



Signature of Inspections Official

  12-2-09  

Date

**PERMIT ISSUED**

DEC - 1 2009

City of Portland

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1245	Date Applied For: 11/05/2009	CBL: 039 G010D03
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Location of Construction: 72 HIGH ST	Owner Name: ANDERSON CHRISTIAN S & JO	Owner Address: 17 MINUTEMAN DR	Phone:
Business Name:	Contractor Name: Joe Lucey	Contractor Address: 482 Walnut Hill Rd No Yarmouth	Phone (207) 671-4249
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Residential Condo Units - Replace existing rear porch stairs in kind	Proposed Project Description: Replace existing rear porch stairs in kind
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**Dept:** Historic      **Status:** Not Applicable      **Reviewer:** Deborah Andrews      **Approval Date:** 11/05/2009  
**Note:** NO HP review required; stairs are not visible from a public way.      **Ok to Issue:**

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 11/05/2009  
**Note:**      **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This permit is being issued with the condition that all the work is taking place within the existing footprint.
- 3) The legal use of this property is seventeen (17) residential condominiums (72-74 High Street - five (5) residential condos, 78-80 High - five (5) residential condos & 124 Pleasant Street - seven (7) residential condos). Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 11/30/2009  
**Note:**      **Ok to Issue:**

- 1) This permit is approved under section 3403.4 of the IBC referencing rebuilding existing stairs in existing footprints.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 11/09/2009  
**Note:**      **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) All construction shall comply with NFPA 101

**Comments:**

11/6/2009-gg: received from historic as of 11/05/09. /gg



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>124 Pleasant St. - known as 72 High St.</u>		
Total Square Footage of Proposed Structure/Area <u>90 SF</u>		Square Footage of Lot <u>6832</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>39            6            10</u> <u>44            F            5 High</u> <u>72-78      pleasant St. 124 unit D-3</u> <u>Town Farm Townhouse Condominium</u>	Applicant ' <u>must be owner, Lessee or Buyer</u> ' Name <u>Isabel Andersen</u> Address <u>124 Pleasant St. Unit D</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>776-3311</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Christian Andersen</u> Address <u>17 Mountain Dr.</u> City, State & Zip <u>Scarborough ME 04074</u>	Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Residential / Condo</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Residential / Condo</u> Is property part of a subdivision? <u>Condo Assoc.</u> If yes, please name <u>Town Farm Townhouse Condos</u> Project description: <u>Replace existing rear porch stairs - in kind.</u> <u>- Old stair were rotted - build to match existing</u>		
Contractor's name: <u>Joe Lucey Carpentry Inc</u> Address: <u>482 Walnut Hill Rd.</u> City, State & Zip <u>No Yarmouth ME 04097</u> Telephone: <u>674-4249</u> Who should we contact when the permit is ready: <u>Joe Lucey</u> Telephone: <u>SAME</u> Mailing address: <u>482 Walnut Hill Rd. No Yarmouth ME 04097</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11/4/09

**RECEIVED**

This is not a permit; you may not commence ANY work until the permit is issue NOV - 5 2009

Dept. of Building Inspections  
City of Portland Maine

Joe Lucey Carpentry  
482 Walnut Hill Rd.  
No Yarmouth, Me  
04097

Stair Repair:  
Isabel Andersen  
124 Pleasant St.  
Unit D  
Portland, Me 04102

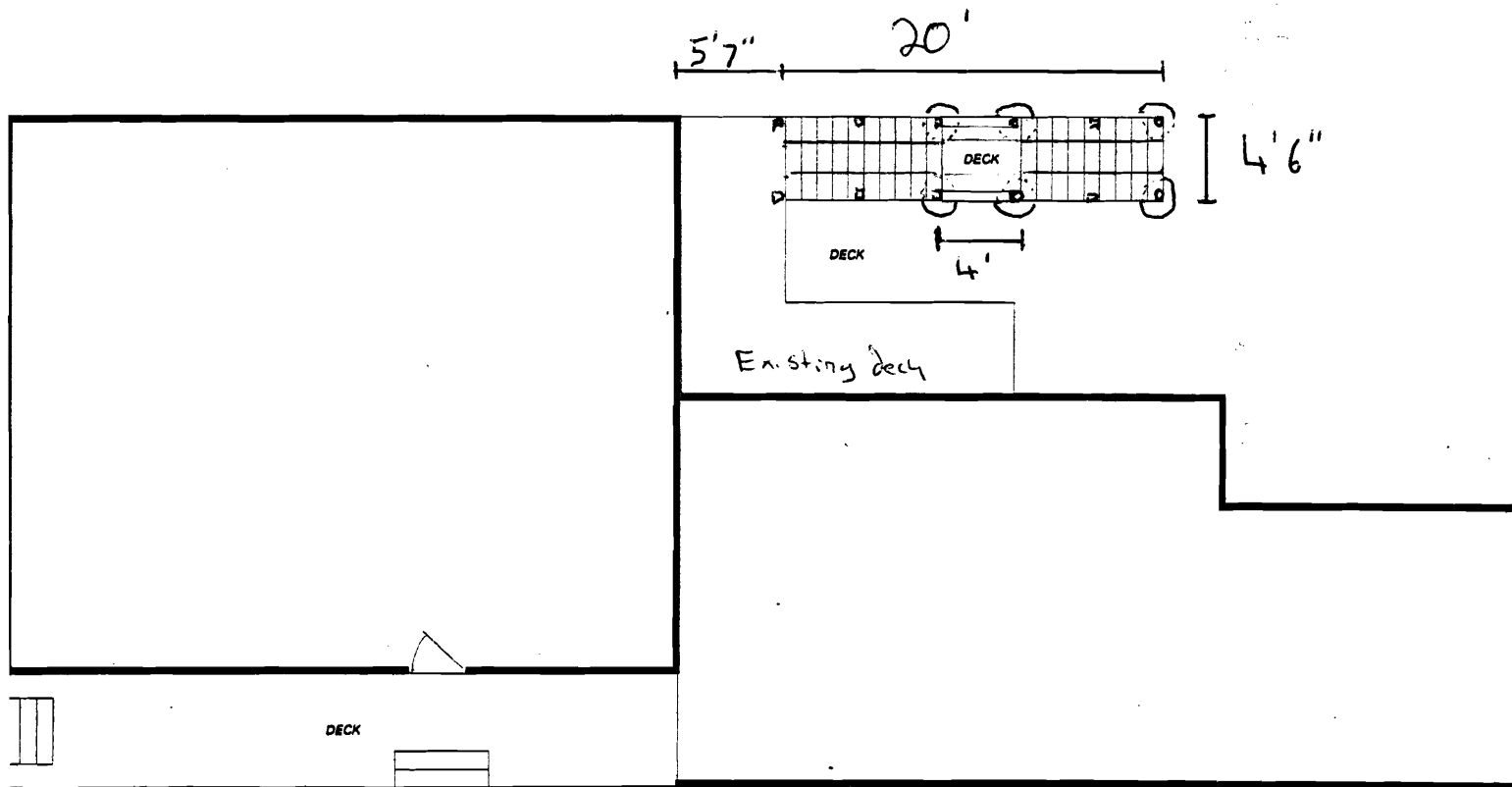


pleasant street

SETBACKS:  
Front = 4'  
Side = 1'6"  
Side = 60'  
Rear = 9'8"

Front = 4'  
Side = 1'6"  
Side = 60'  
Rear = 9'8"

Setbacks / plot plan  
Town Farm Condos



Joe Lucey Carpentry  
 482 Walnut Hill Rd.  
 No Yarmouth, Me  
 04097

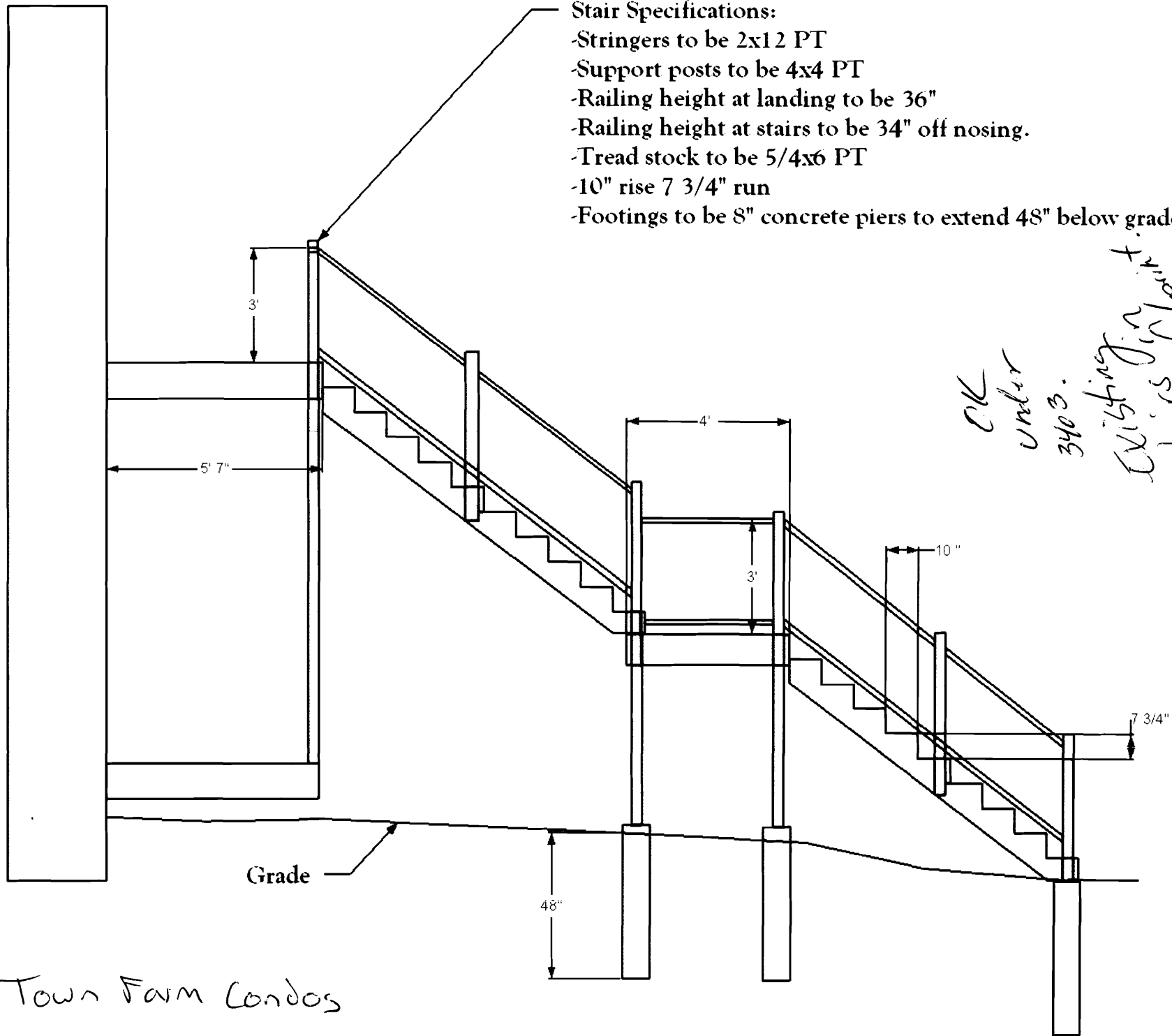
Stair Repair:  
 Isabel Andersen  
 124 Pleasant St.  
 Unit D  
 Portland, Me 04102

### Framing Specs:

- 2x12 stair stringers spaced 16" O.C.
- 2x10 Landing Joists spaced 16" O.C.
- 4x4 support posts @ Landing to exte  
 To Footings
- Footing are 8" concrete pier 48" below grade

**Stair Specifications:**

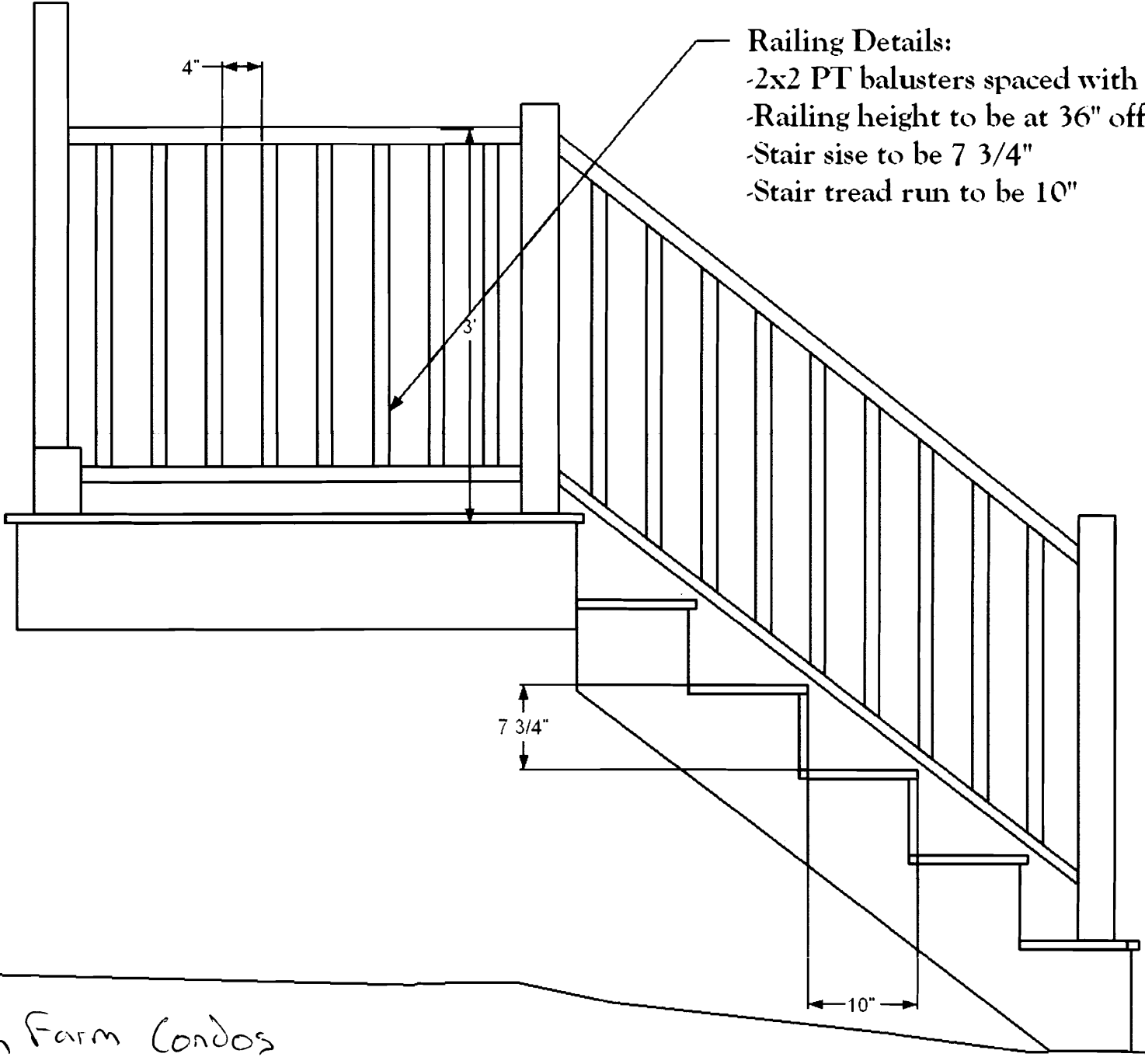
- Stringers to be 2x12 PT
- Support posts to be 4x4 PT
- Railing height at landing to be 36"
- Railing height at stairs to be 34" off nosing.
- Tread stock to be 5/4x6 PT
- 10" rise 7 3/4" run
- Footings to be 8" concrete piers to extend 48" below grade



*OK under 3403. Existing in place stairs for existing existing*

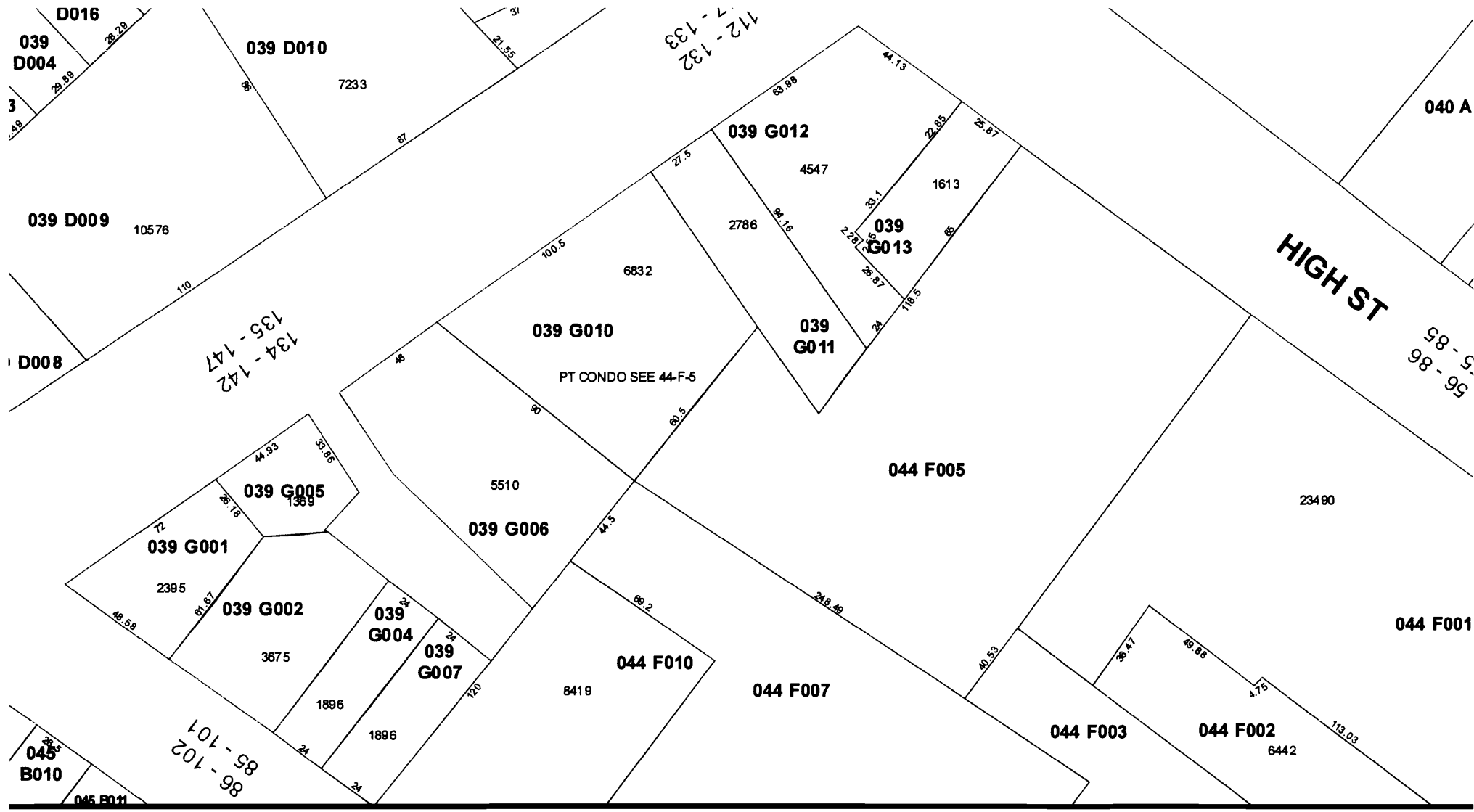
Town Farm Condos





- Railing Details:**
- 2x2 PT balusters spaced with maximum of 4
  - Railing height to be at 36" off decking
  - Stair rise to be 7 3/4"
  - Stair tread run to be 10"

Town Farm Condos



**D016**  
**039 D004**  
3  
28.29  
28.89

**039 D010**  
7233

**039 D009**  
10576

**D008**

134-142  
135-147

112-132  
117-133

**039 G012**  
4547

**039 G013**  
1613

**039 G010**  
6832

**039 G011**  
2786

PT CONDO SEE 44-F-5

**HIGH ST**

58-5-95  
98-95

**039 G005**  
1369

**039 G001**  
2395

**039 G002**  
3675

**039 G004**

**039 G007**  
1896

**039 G006**  
5510

**044 F010**  
8419

**044 F007**

**044 F005**

23490

**044 F001**

**045 B010**

86-102  
85-101

**044 F003**

**044 F002**  
6442

**045 F011**

