

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

Permit Number: 030666

Please Read Application And Notes, If Any, Attached

# PERMIT

This is to certify that Yarnold Rita E /Owner  
has permission to Interior Renovations to Unit Update  
AT 89 Park St 039 G007001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be given and when permission proceed before this building or part thereof is started or otherwise closed-in. YOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0666	Issue Date:	CBL: 039 G007001
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Location of Construction: 89 Park St	Owner Name: Yarnold Rita E	Owner Address: 89 Park St	Phone: 775-3838
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R6

Past Use: Multi Family/3 Unit	Proposed Use: Multi Family/3 Unit	Permit Fee: \$163.00	Cost of Work: \$20,000.00	CEO District: 2
Proposed Project Description: Interior Renovations to Units to Update to Code  <i>Legal use: 3 residential Dwelling units</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 3B 6/20/03 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gad	Date Applied For: 06/10/2003	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: <i>6/16/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Any exterior work requires A separate review Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Permit No: 03-0666	Date Applied For: 06/10/2003	CBL: 039 G007001
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Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family/3 Unit	Proposed Project Description: Interior Renovations to Units to Update to Code
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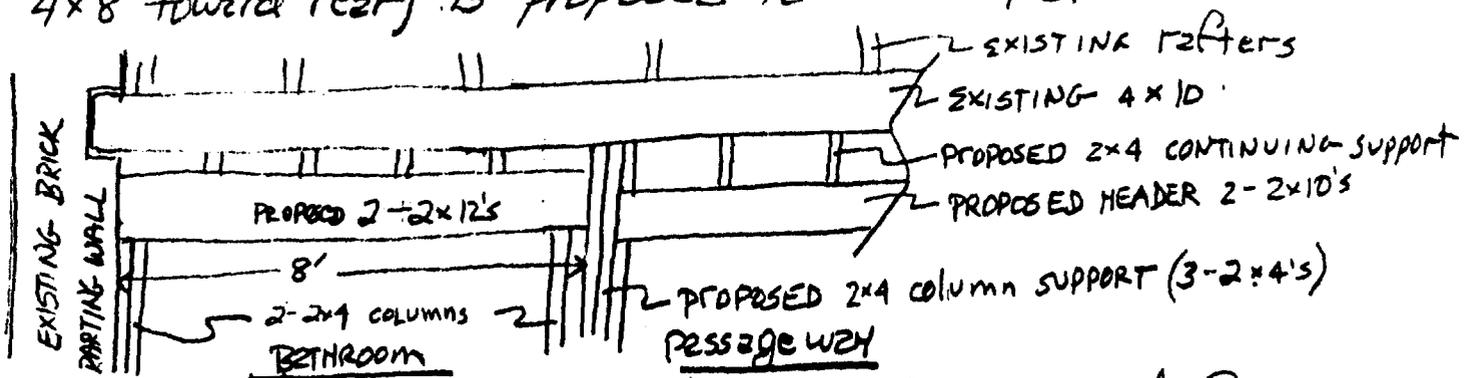
Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 06/16/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) ANY exterior work requires a separate review and approval thru Historic Preservation 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.			

Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		

Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 06/16/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) smoke detectors shall be installed in accordance with NFPA 101			

**Comments:**  
06/18/2003-mjn: Left messge with applicant, need more info

Relocation of 2 passageways at 89 Park St. 3<sup>rd</sup> floor apartment: The passageways are proposed to be moved approximately 3 feet closer to the stairway allowing an expansion of the existing bathroom. The headers for these are proposed to be 2 - 2x10's GLUED and screwed and supported by 3 - 2x4's (nailed) on each side. Continued support between the headers and the existing rafter carrying beams (4x10 closest to PARK ST and 4x8 toward rear) is proposed to be 2x4's.



Relocation of bathroom walls at 89 Park St. 3<sup>rd</sup> floor apt.:

The important element here is the support of the existing 4x10 rafter carrying beam for a span of 8 ft. Proposed is 2 - 2x12's glued and screwed and supported at each end by doubled 2x4 columns. The proposed new wall positions will be of standard 2x4 construction and are nonload bearing.

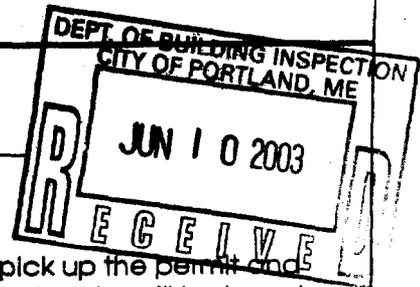
Window 30 $\frac{1}{4}$  w x 26 $\frac{1}{2}$  H.

03-0666

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>89 Park Street</u>		
*Total Square Footage of Proposed Structure	*Square Footage of Lot <u>1896</u>	
*Tax Assessor's Chart, Block & Lot Chart# <u>39</u> Block# <u>G</u> Lot# <u>7</u>	Owner: <u>Rita Yarnold</u>	Telephone: <u>775-3838</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Rita Yarnold</u>	*Cost Of Work: \$ <u>20,000</u> *Fee: \$ <del>180.00</del> <u>763.00</u>
Current use: <u>3 unit</u>		
If the location is currently vacant, what was prior use: <u>3 unit</u>		
Approximately how long has it been vacant: <u>February 2003</u>		
Proposed use: <u>3 unit</u>		
Project description: <u>To bring the 3 units up to 2003 standards.</u>		
*Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Rita Yarnold</u>		
Mailing address: <u>559 Congress Street</u> <u>Portland 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>775 3838</u>		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

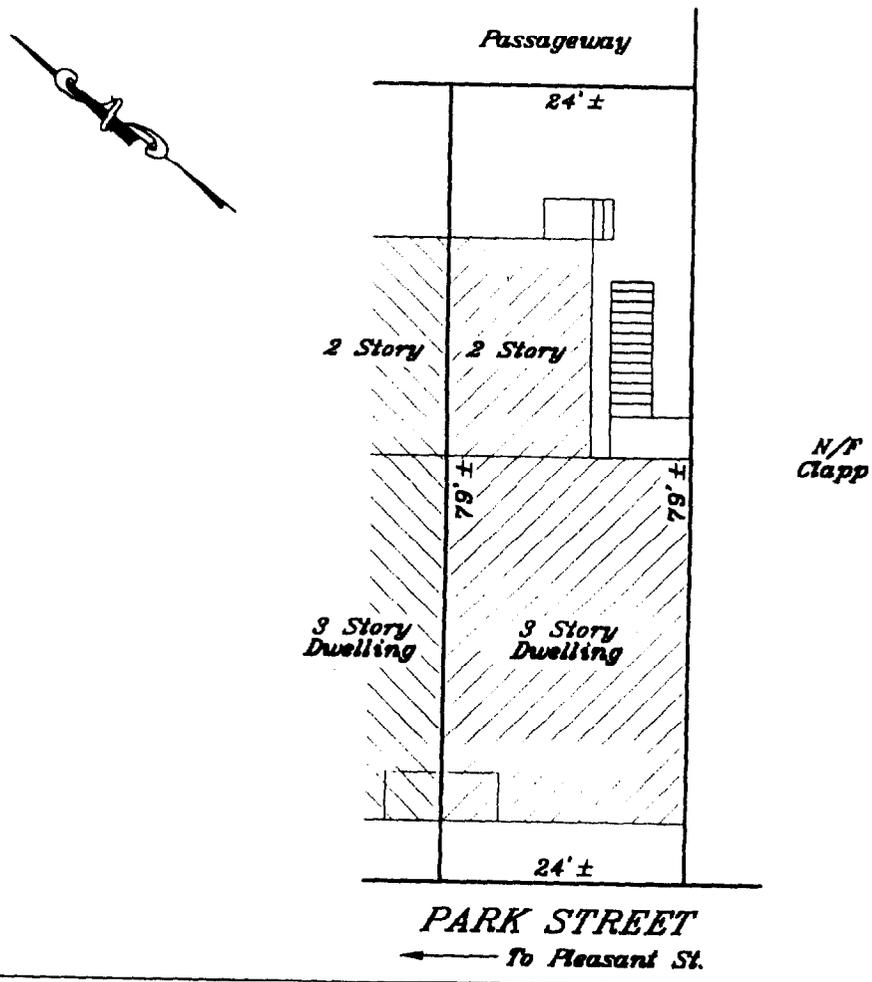
Signature of applicant: <u>Rita Yarnold</u>	Date: <u>May 30, 2003</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

# FOR MORTGAGE LENDER USE ONLY

**GENERAL NOTES:** (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

ADDRESS: 89 PARK STREET INSPECTION DATE: JANUARY 14, 2003  
PORTLAND, MAINE SCALE: 1" = 15'



SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: RITA YARNOLD REQUESTING PARTY: NEW ENGLAND TITLE  
 OWNER: MAXINE INCALLS Estate ATTORNEY: \_\_\_\_\_  
 LENDER: \_\_\_\_\_ FILE No. 20313203 FIELD BOOK: 270

**TITLE REFERENCES:**

DEED BOOK: 14006 PAGE: 106  
 PLAN BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_ LOT: \_\_\_\_\_  
 COUNTY: CUMBERLAND

YOUR FILE #: A03-056

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS

818 BRIGHTON AVENUE 332 CLARES WOODS ROAD  
 PORTLAND, ME 04103 LYMAN, ME 04003  
 (207) 878-7870 (207) 439-2338

**MUNICIPAL REFERENCE:**

MAP: 39 BLOCK: G LOT: 7

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 230051 PANEL: 00132 ZONE: C DATE: DECEMBER 8, 1999

THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

[Signature]

1-15-3

INSP. BY: JPB

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**

**City of Portland, Maine - Building or Use Permit**

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<b>Business Name:</b>	<b>Contractor Name:</b> Owner	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> Multi Family/3 Unit	<b>Proposed Project Description:</b> Interior Renovations to Units to Update to Code
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/16/2003**Note:**      **Ok to Issue:** 

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- 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Pending      **Reviewer:**      **Approval Date:****Note:**      **Ok to Issue:**

**DEED OF SALE BY PERSONAL REPRESENTATIVE**

Charles Vaughan Scott of 18 Rippingale Road, Pittsford, State of New York 14534-1510 duly appointed and acting Personal Representative of the Estate of Maxine M. Ingalls, deceased (testate), as shown by the Probate records bearing Docket No. 202-1072 of Cumberland County, Maine, and having giving notice to each person succeeding to an interest in the real estate described below at least ten (10) days prior to the sale, by the power conferred by the Probate Court Code, and every other power, for consideration paid grants to Rita E. Yarnold of Portland, County of Cumberland, State of Maine whose mailing address is 24 Lawson Road, Cape Elizabeth, Maine 04107, the land and buildings at 89 Park Street, Portland, Maine more fully described on Schedule A attached hereto.

Maxine M. Ingalls took title to the above premises by deed dated June 25, 1998 and recorded in the Cumberland County Registry of Deeds at Book 14006, Page 106.

IN WITNESS WHEREOF, Charles Vaughan Scott, Personal Representative hereby sets his hand and seal this 31 day of January, 2003.

Kimberly A. [Signature]  
Witness

Charles Vaughan Scott, PR  
Charles Vaughan Scott

STATE OF New York  
COUNTY OF Monroe

January 31, 2003

Personally appeared the above-named Charles Vaughan Scott in his capacity as Personal Representative of the Estate of Maxine M. Ingalls and acknowledged the foregoing to be his free act and deed.

Before me,

Kelly Holt

Notary Public

Print Name: /

My Commission Expires: /

**KELLY E. HOLT**

*Notary Public*

*State of New York, Monroe Co.  
MY COMMISSION EXPIRES NOV. 4, 2008*

**SCHEDULE A**  
**89 Park Street**

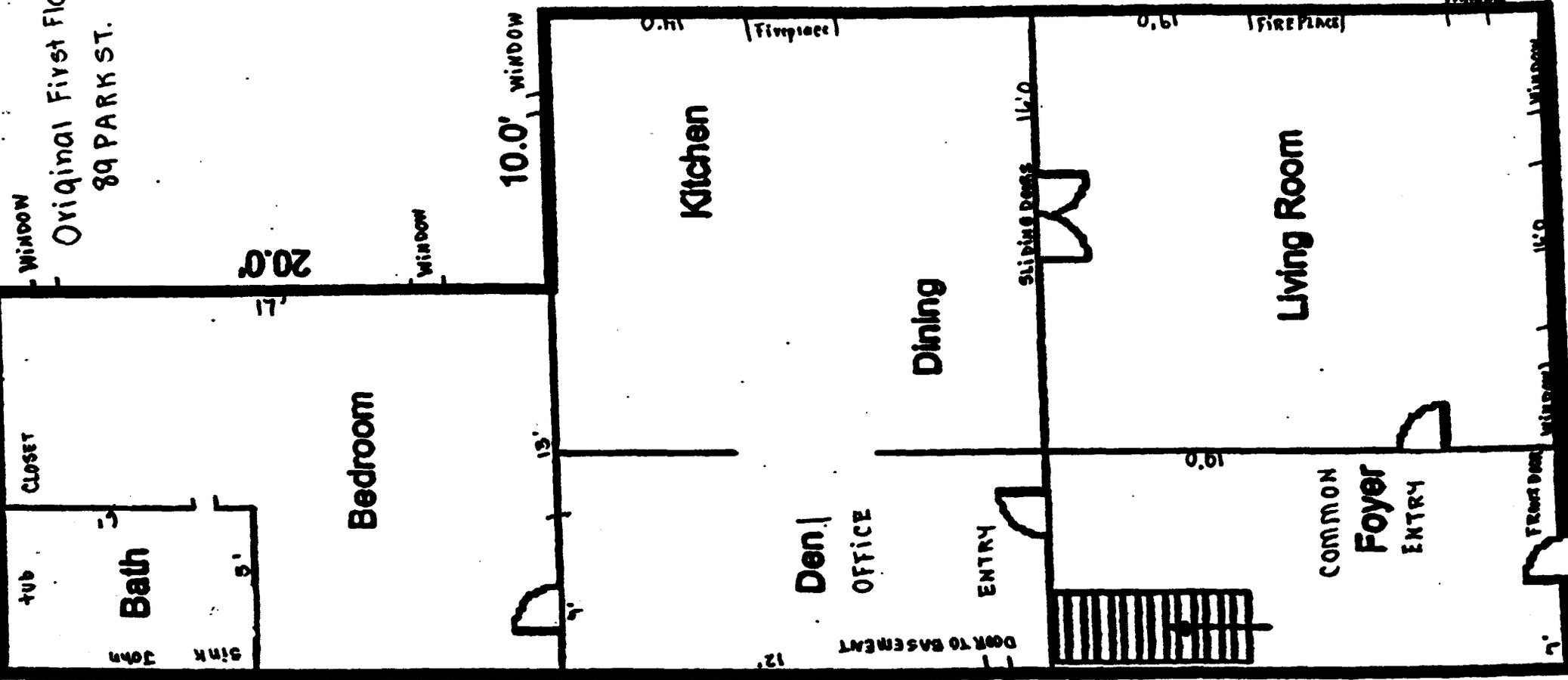
A certain lot or parcel of land, with the buildings thereon, situated on the northeasterly side of Park Street, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at the northwesterly corner of land formerly of Charles Q. Clapp; thence northeasterly by said Clapp land seventy-nine (79) feet to a back passageway; thence northwesterly by said passageway twenty-four (24) feet to land formerly owned by John T. Rogers, now or formerly of Lena McNinch; thence southwesterly preserving a width of twenty-four (24) feet and through the center of the partition wall between the building on the premises hereby conveyed and the building adjoining the same on the northwesterly side thereof to Park Street; and thence southeasterly by said Park Street twenty-four (24) feet to the point begun at. Said premises are numbered 89 on Park Street.

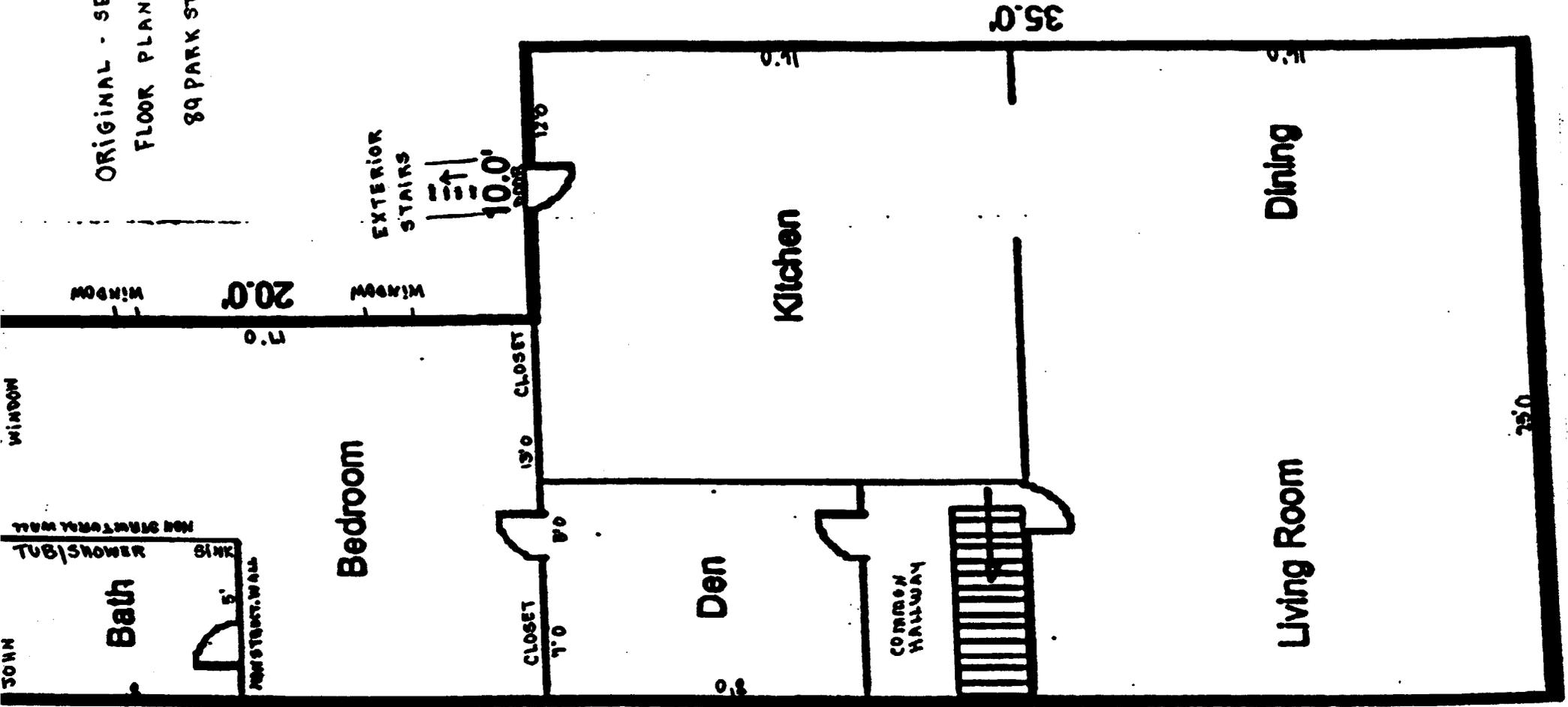
Also conveying any right, title and interest which the Grantor may have in and to the passageway above referred to and to the use of the same with others.

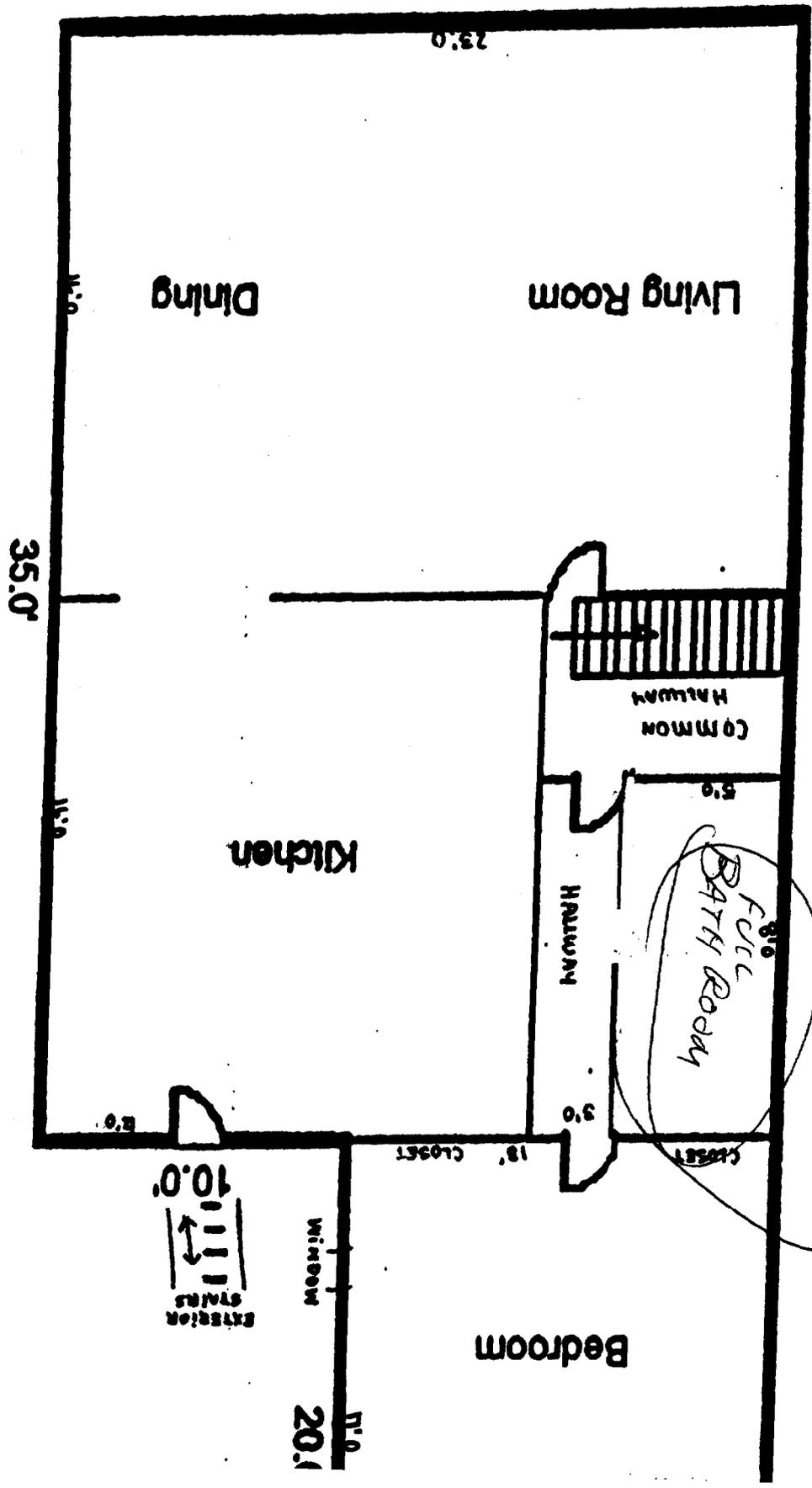
Being a portion of the premises conveyed to Wilbur R. Ingalls, Jr. by Caroline B. Buckley et als by warranty deed dated August 18, 1966, recorded in the Cumberland County Registry of Deeds in Book 2969, Page 865.

Original First Floor  
89 PARK ST.



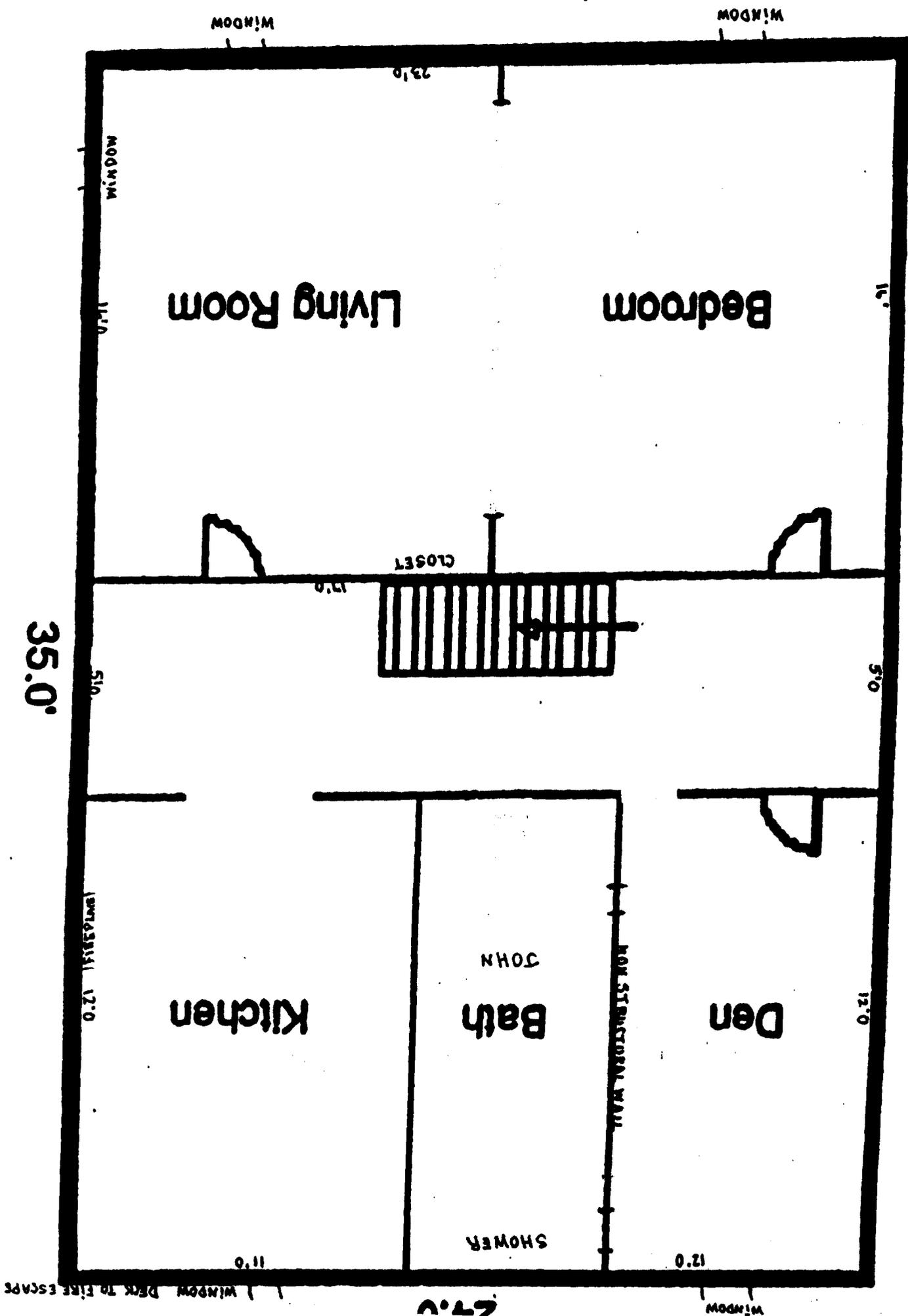
ORIGINAL - SECOND  
FLOOR PLAN  
89 PARK ST.





*NEW WALL*

ORIGINAL THIRD FLOOR PLAN - 89 PARK ST.



PROPOSED THIRD FLOOR PLAN - 89 PARK ST.

