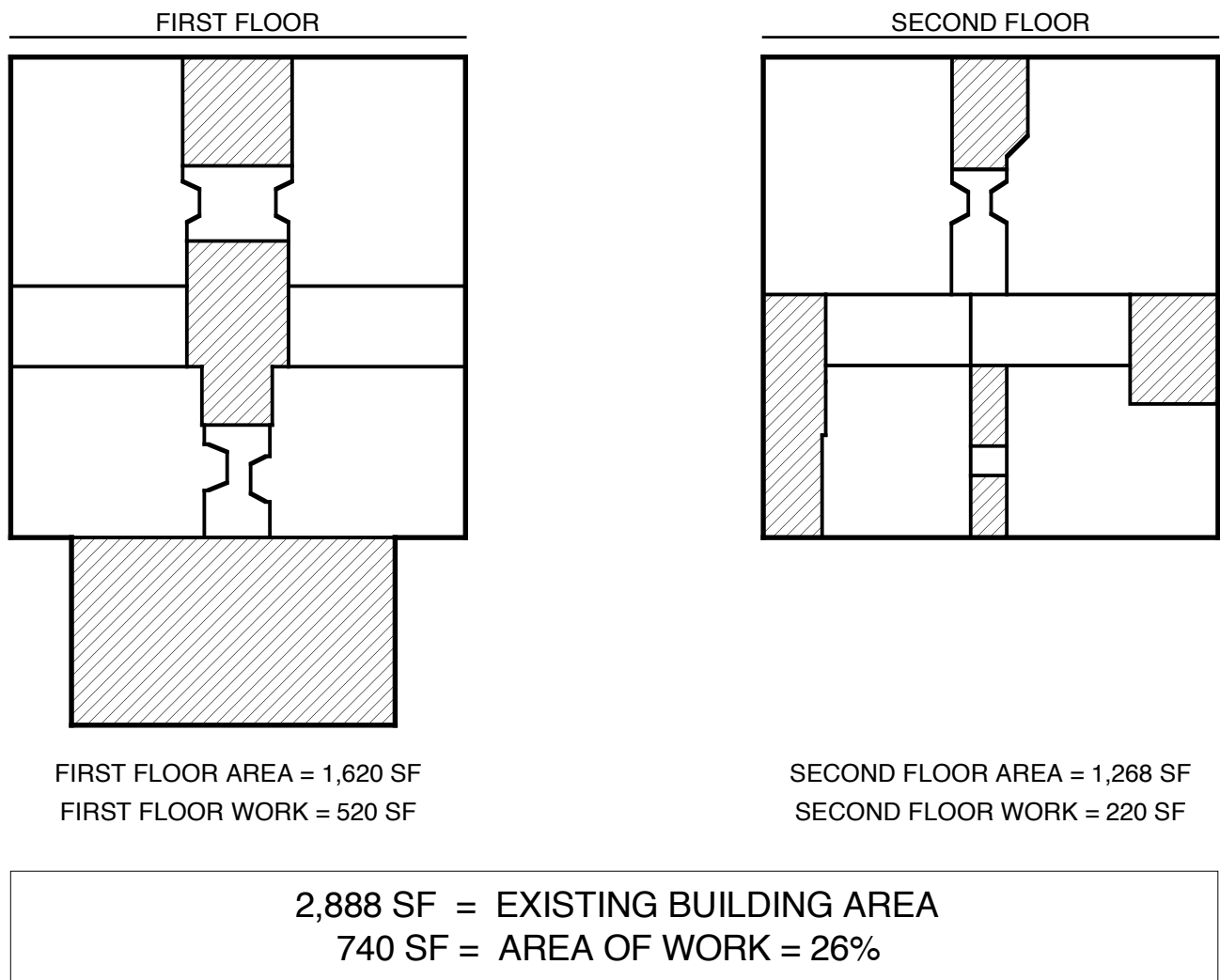


GENERAL NOTES

1. The building at 130-132 Pleasant Street was constructed circa 1804 as a two-story house one room deep by two rooms wide with a central entrance on Pleasant Street. The house was extensively modified in 1834-1835 when another building was moved to the site from Park (formerly Anne) Street, attached to the rear, and matching entrances were constructed on the side facades. An ell that has undergone multiple changes over time abuts the rear façade.
2. In 1992-1993, the house was converted from a two-family home into a single-family home and professional offices. The essential elements of the 1834-1835 modifications of the main body of the house remain largely intact to the present day while the extensively modified rear ell is absent of historic fabric.
3. The intent of the current Project is to provide accessible features in the residence (accessible entrance, accessible route, accessible bathroom) and provide upgraded safety features for the offices (egress improvements, fire alarm upgrades, extinguishers).
4. The Project is located in the Spring Street Historic District. The City of Portland's Historic Preservation Board reviewed the scope of exterior work visible from a public way and issued a Certificate of Appropriateness for the project on May 2, 2011.
5. The interior and exterior work has been reviewed and approved by the Maine Historic Preservation Commission and the National Park Service Department of the Interior in response to an application for Historic Preservation Certification (for tax credits).
6. The scope of Work to be performed in the Project is described in these Drawings and in the Project Manual. Refer to the Project Manual for information regarding bidding, general conditions, supplementary conditions and technical specifications.
7. The site is located in an R-6 Zoning District in the City of Portland. The existing residential use is an allowed use. The existing office use is a conditional use for which approval was given in 1992. There is no change of use or occupancy for the building.
8. All Work to be performed shall conform to all applicable local, state and federal regulations. The Contractor shall be responsible for securing all required permits prior to performance of the Work, with the exception of the Building Permit and the Certificate of Appropriateness, both of which shall be obtained and paid for by the Owner.
9. The Project shall comply with the International Existing Building Code 2009 (IEBC) "Work Area Compliance Method" per IEBC 101.5.2. Note the following:
- a. The area of the existing two-story building (first and second floors) is 2,888 SF. The Work Area of Alterations, as defined in IEBC 202 is 740 SF, or 26%. Reconfigured spaces are noted in the diagram below as required by IEBC 401.2.
- b. The Work shall comply with Alterations Level 2 in accordance with IEBC 404. The specific provisions of Chapter 11, Historic Buildings, shall apply.
- c. There is no change of occupancy as defined in IEBC 202.
- d. Stairway Enclosures: In accordance with IEBC 1103.6, exit enclosure construction shall be tight fitting to limit the spread of smoke and are not required to have a fire-resistance rating. Where existing fire doors already exist, fire-rated openings shall continue to be provided in order to retain the current level of fire resistance.
- e. Structural Requirements: The Contractor shall retain a registered Structural Engineer to review reinforcement requirements on a Design/Build Basis. The historic structure shall comply with the following sections of IEBC where applicable as required by 1106: 404, 606 and 707. Note that if the exception in 1106.1 is required in order to preserve historic fabric, the Contractor's Structural Engineer will propose operational controls to the Architect, Owner and the local code official.
- f. Egress Modifications: An exterior wooden fire escape stair, constructed in 1992 when the change in use and occupancy was approved, will be removed as part of this Project. Egress will be improved by using the two interior stairs as egress from the second floor office areas. The demising door between the two stairs will be a fire door with a magnetic hold-open device triggered by the fire alarm system. Alternate passage from each office area will be provided through adjoining passageway doors that will automatically unlock with electric strikes triggered by the fire alarm system. Therefore, two independent means of egress will be provided from each of the four spaces on the second floor.
10. The building will be unoccupied throughout the construction period. The Contractor shall be responsible for securing a Certificate of Occupancy upon Substantial Completion.
11. The Contractor shall perform the Work in a professional and expeditious manner utilizing qualified craftsmen in each of the respective trades. All Work shall be performed within the time periods established in the Owner-Contractor Agreement as noted in the Project Manual.
12. Maintain a minimum of two legal means of egress from all areas of the building during construction. Maintain the project area by keeping all lanes of access clear. Do not obstruct the public way without providing alternate safe passage for all pedestrians. Do not block traffic or park illegally. Clean all debris daily to the satisfaction of the Architect, Owner and Authorities having jurisdiction. Obey local ordinances regarding generation of dust and noise during construction. Store all materials and tools in a safe location approved by the Owner.
13. Temporary provisions for continuation of existing building systems or provision of temporary building systems shall be provided by the Contractor and shall be maintained while Work is in progress. Do not interrupt existing utility services without at least 48 hours advance written notice to the Owner. Provide adequate heat within the building at all times during the construction period.
14. Provide temporary partitions, curtains and doors as needed to maintain security and to prevent the spread of dust into adjacent areas. Maintain dust protection throughout the construction period. Fully protect existing finishes (flooring, walls and ceilings) where noted to remain from damage. All existing surfaces damaged or disturbed by the Work shall be repaired, patched or replaced as directed by the Architect.
15. Unless noted otherwise, all existing equipment and materials removed from the project becomes the property of the Contractor unless claimed by the Owner. Dispose of all materials properly. Materials noted to be salvaged and stored should be carefully handled during demolition and relocation.
16. Verify all dimensions and conditions in the field prior to commencement of Work and prior to ordering or fabricating any items to be installed in the Project.
17. Upon completion of the Work, fully vacuum and broom clean all areas. Wash all interior and exterior surfaces of window and door glass in project areas and other in adjacent areas where disturbed by the Work. Clean all mirrors and clean the interior of all cabinetry.

WORK AREA (Per IEBC 202)



LIST OF DRAWINGS

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A-12	SECOND FLOOR PLANS
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E-1	BASEMENT LIGHTING, FIRE ALARM & POWER DISTRIBUTION PLAN
E-2	FIRST FLOOR LIGHTING & POWER DISTRIBUTION PLAN
E-3	SECOND FLOOR LIGHTING & POWER DISTRIBUTION PLAN
E-4	ATTIC LIGHTING & POWER DISTRIBUTION PLAN; FIRST, SECOND & ATTIC FIRE ALARM & EMERGENCY LIGHTING PLAN
E-5	SCHEDULES, NOTES AND SYMBOLS

ALTERATIONS TO
130 - 132 PLEASANT STREET
Portland, Maine



OWNER : NEVA CRAM & KERRY DRACH

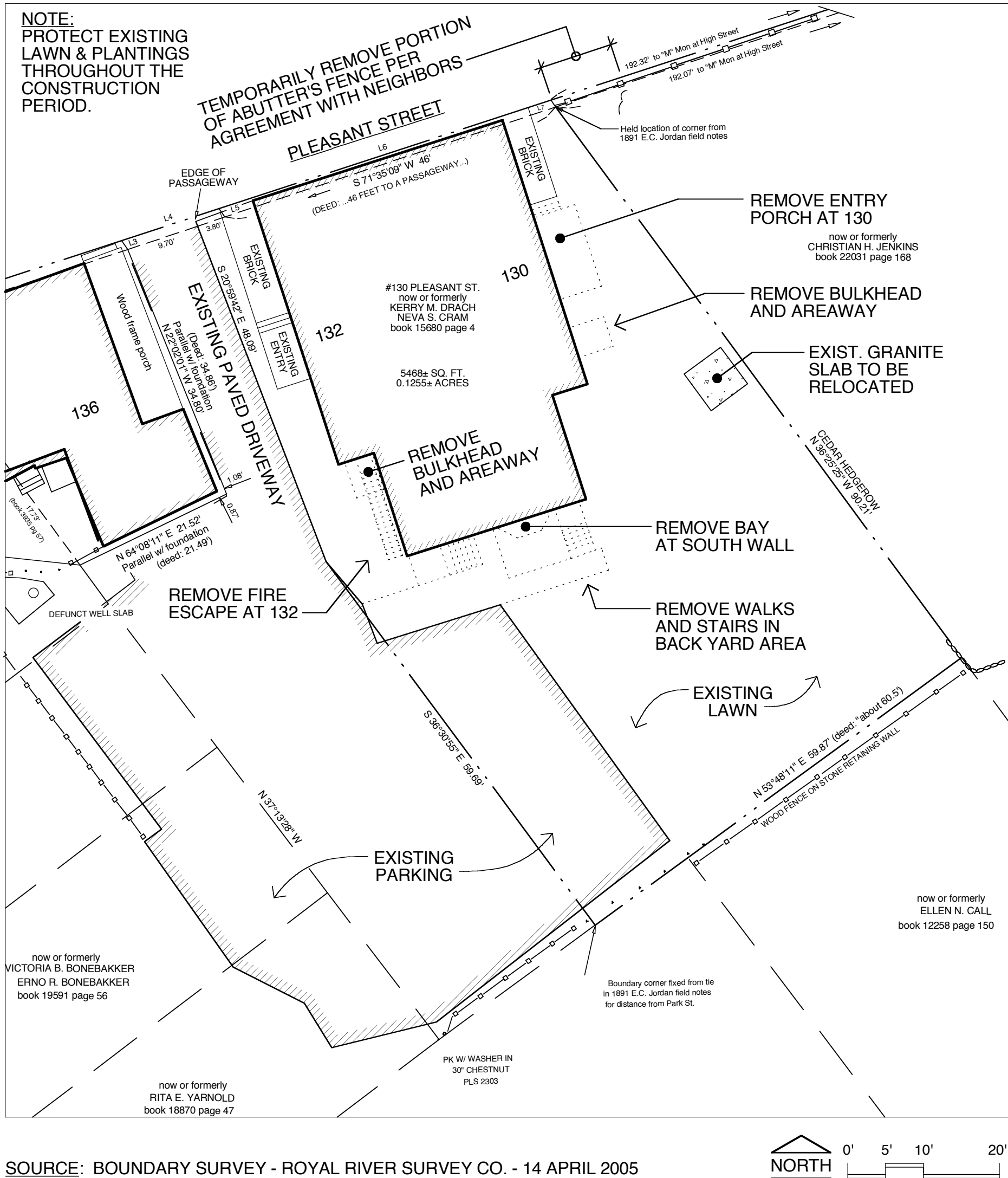
ARCHITECT: MILLS WHITAKER ARCHITECTS LLC

STRUCTURAL : DESIGN/BUILD BY CONTRACTOR

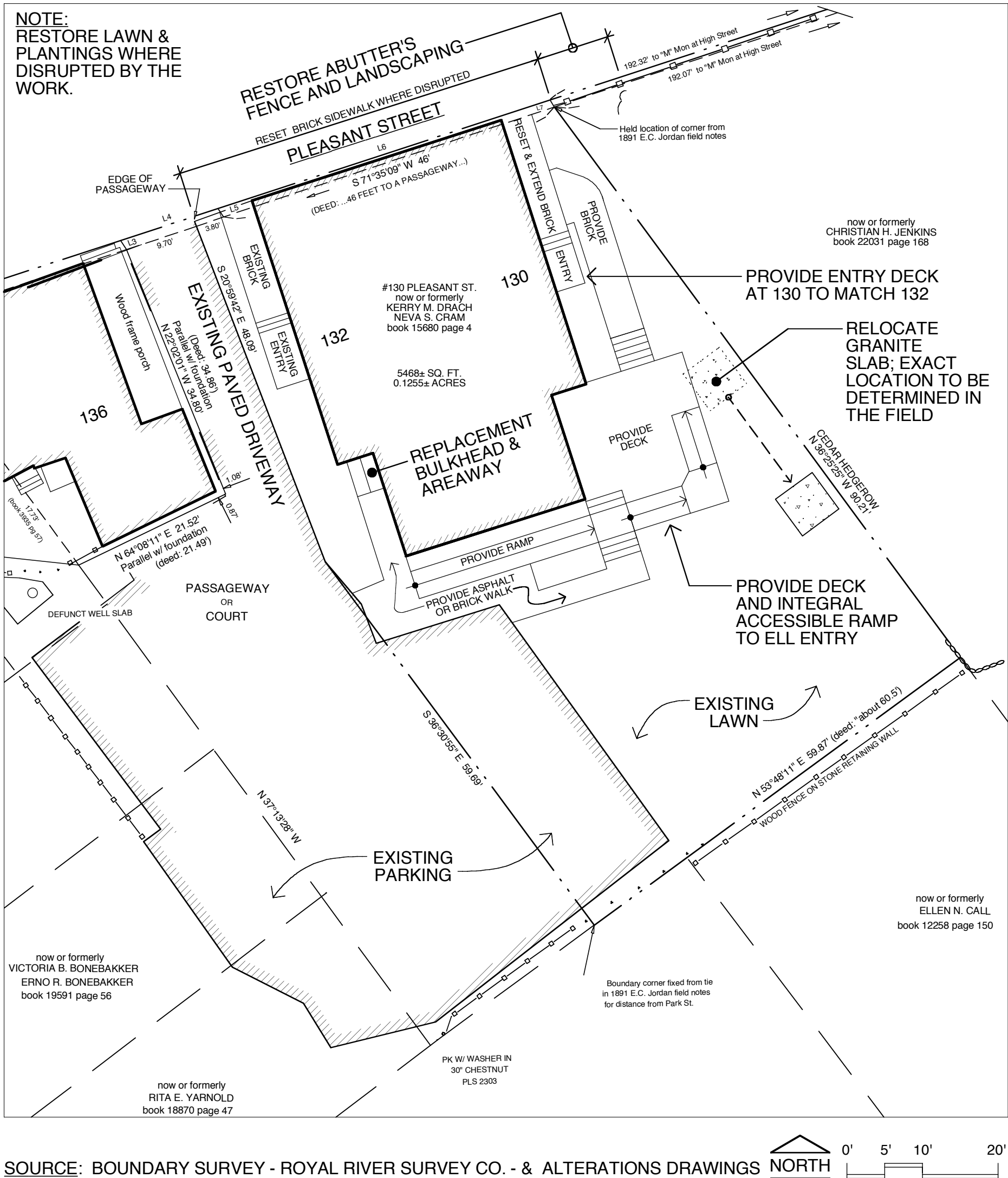
MECHANICAL: MECHANICAL SYSTEMS ENGINEERS

ELECTRICAL: ELECTRICAL DESIGN CONSULTANTS

EXISTING SITE PLAN



SITE PLAN



MILLS
WHITAKER
ARCHITECTS
LLC

P.O. BOX 750089
ARLINGTON MA 02475
tel: 617-876-7611
fax: 617-876-6420

PROJECT NAME: RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH

PROJECT ADDRESS: 130-132 PLEASANT STREET
PORTLAND MAINE

DRAWING TITLE: PROJECT INFORMATION

DATE: 4 AUGUST 2011

SHEET #:

A-00

BASEMENT LEVEL DEMOLITION NOTES

- FLOORING DEMOLITION NOTES**

 - F1 Existing flooring materials to remain. Refer to Room Finish Schedule and Specifications for treatment.
 - F2 Remove flooring surface as noted to expose original finishes below (or subfloor if none) in the area indicated.
 - F3 Remove wood floor boards, sleepers, rubble and earth to approximately 6" below existing finished floor. Existing ledge to remain in place.

PARTITION DEMOLITION NOTES

 - P1 Remove portion of partition to the extent shown and reframe wall where required. Refer to Structural Engineer.
 - P2 Remove finished surface as noted to expose original finishes (or studs if none) in the area indicated.

CEILING DEMOLITION NOTES

 - C1 Existing ceiling materials to remain. Refer to Specifications for selective removal if needed for structural work.
 - C2 Remove ceiling to expose framing at floor or attic above for structural reinforcement and repairs.
 - C3 Remove ceiling and framing in portion of low ceiling in order to raise ceiling height.
- DOOR DEMOLITION NOTES**

 - D1 Remove existing door, frame, hardware and trim in its entirety.
 - D2 Remove and salvage existing door and/or frame as indicated for re-use in the project.
 - D3 Remove door knobs. Provide blank escutcheon plates on both sides of door. Retain door and seal in place.

WINDOW DEMOLITION NOTES

 - W1 Remove window in its entirety and reframe wall where needed. Refer to Window Schedule and Specifications.
 - W2 Remove non-original window sash; retain original window frame. Refer to Window Schedule and Specifications.

MECHANICAL DEMOLITION NOTES

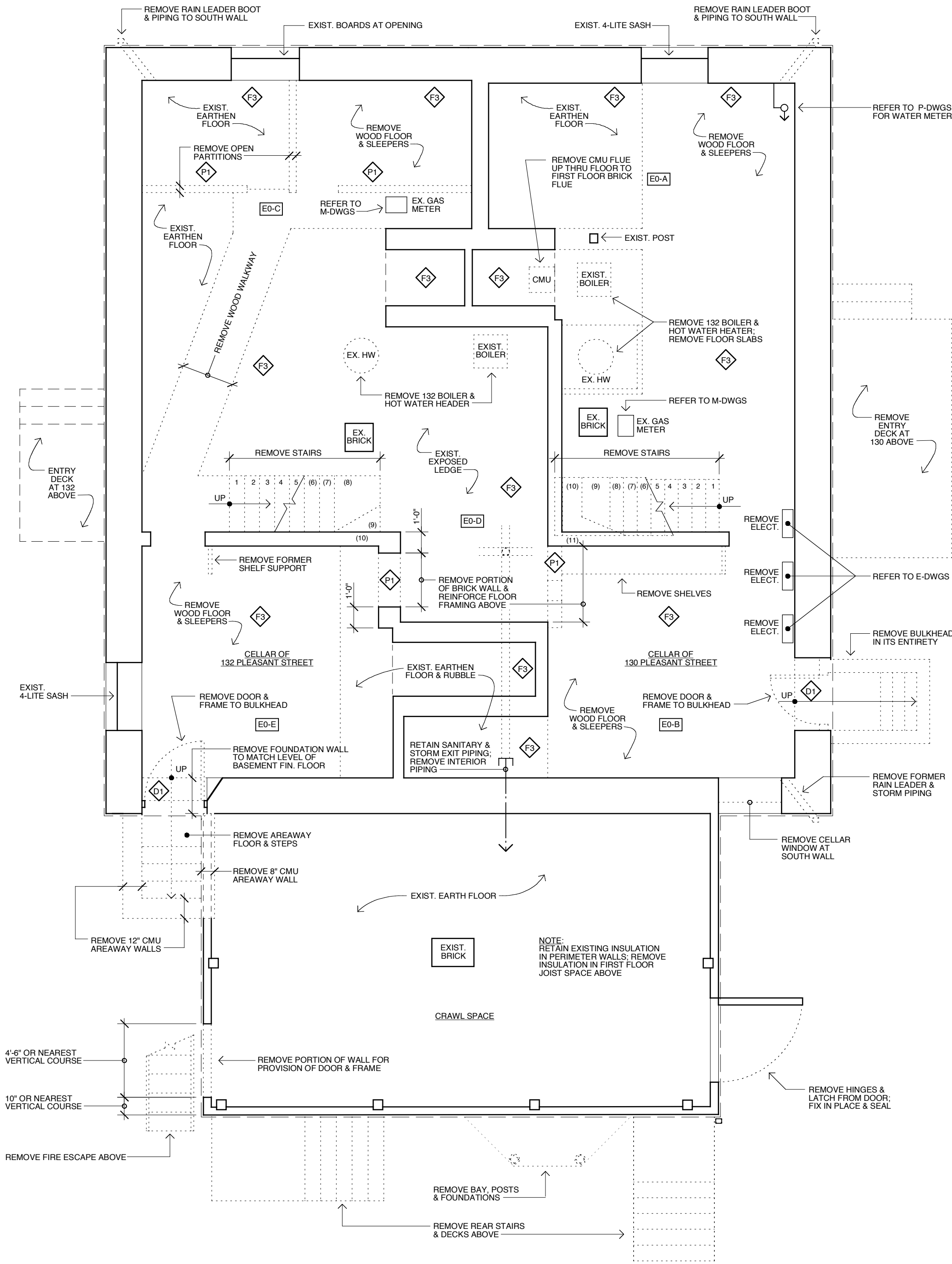
 - M1 Remove cast iron radiator, associated piping and wood base where present. Repair and patch wood flooring.
 - M2 Remove plumbing fixtures, appliances, cabinetry and associated piping, drains, vents and exhaust ductwork.
 - M3 Remove exposed heating pipes and patch floor/ceiling at penetrations including walls and brackets where present.

E1-A Designates existing room in demo plan; refer to floor plan for project room name and number.

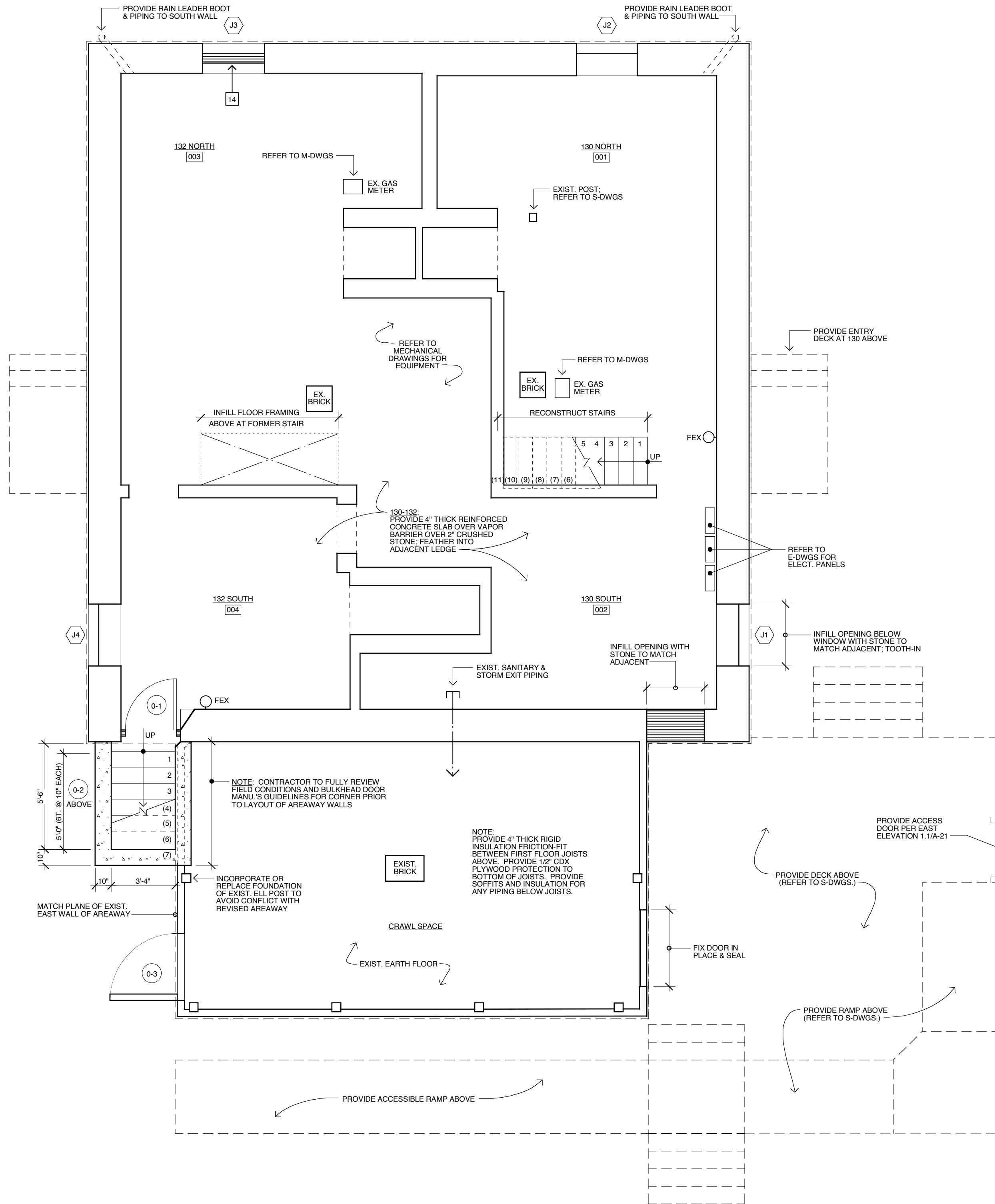
BASEMENT LEVEL PARTITION LEGEND

- 1 EXTERIOR WALL / 102, 202: Provide vapor barrier over batt insulation; veneer plaster; trim per applicable interior elevations.
 - 2 EXTERIOR WALL / 208: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard and crown per Detail 8/A-42.
 - 3 EXTERIOR WALL / SW OFFICE 211: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard per Detail 9/A-42, plan notes and room finish schedule.
 - 4 EXTERIOR WALL / 301, 302, 303: Provide vapor barrier over batt insulation; fire-taped gypsum wallboard.
 - 5 INTERIOR WALL / 106, 108: Provide 2 x 3 and 2 x 4 wood studs at 16" maximum on center in locations indicated on 2/A-40. Provide finishes as noted in interior elevations, room finish schedule and specs. On Hall 106 side, provide trim per Partition Type 6. On Living 114 side, preserve or provide wainscoting per Partition Type 7.
 - 6 INTERIOR WALL / 106: Preserve and refinish existing walls and existing trim as noted in Detail 4/A-42.
 - 7 INTERIOR WALL / 114: Modify existing finishes and provide missing portion of wainscoting per Detail 2/A-42 to match adjacent surfaces.
 - 8 INTERIOR SURFACE / 103: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 3/A-42 to match adjacent.
 - 9 INTERIOR SURFACE / 102, 202: Provide sound attenuation blankets in demising partitions with adjacent rooms; blocking for bath accessories, counters, etc; veneer plaster; trim as indicated in applicable interior elevations.
 - 10 INTERIOR WING WALL / 102: Provide 2 x 4 wood studs at 12" on center; blocking for bath accessories; similar construction for shower ceiling; veneer plaster and trim on north and west portions; ceramic tile on south portion (and ceiling) with waterproofed substrate per specs.
 - 11 INTERIOR SHOWER / 102: Provide blocking for bath accessories; infill existing studs if less than 12" on center; ceramic tile with waterproofed substrate per specs.
- 12 MODIFIED OPENINGS / 115, 116: Retain existing trim where indicated and widen existing openings per Detail 5/A-40.
 - 13 INTERIOR SURFACE / 115, 116: Provide blocking for attachment of cabinetry; veneer plaster; trim as indicated.
 - 14 COAL CHUTE / 003: Retain existing board closure at exterior; provide infill on cellar side with air barrier, 3/4" exterior grade plywood, wood stud framing, batt insulation, vapor barrier, 1/2" exterior grade plywood at interior; seal perimeter and seal exterior gaps in existing boards.
 - 15 INTERIOR SURFACE / 204: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 5/A-42 to match adjacent.
 - 16 INTERIOR WALL / 204: Provide 2 x 4 wood studs at 16" maximum on center; blocking for shelving and coat hooks; finishes as noted in room finish schedule.
 - 17 INTERIOR WALL / 205: Provide 2 x 4 wood studs at 16" maximum on center; blocking for sink and accessories; finishes as noted in drawings.
 - 18 INTERIOR INFILL / 209: Infill partition in thickness to match existing and patch to blend; trim as indicated or to match adjacent.
 - 19 INTERIOR KNEE WALL / 303: Provide knee wall of 2 x 4 studs at 16" on center. Install salvaged loose fill fiberglass in eave area beyond knee wall. Provide fire-taped gypsum wallboard over vapor barrier over batt insulation on room side. No trim required.
 - 20 INTERIOR SURFACE / 207: On room side of partition, repair existing plaster or provide veneer plaster; trim to match adjacent.

⊖ FEX FIRE EXTINGUISHER (See Project Manual, Section 10 44 00)



1.0
A-10
0' 2' 4' 8'
EXISTING BASEMENT FLOOR PLAN
MILLS WHITAKER ARCHITECTS LLC



1.1
A-10
0' 2' 4' 8'
BASEMENT FLOOR PLAN
MILLS WHITAKER ARCHITECTS LLC



MILLS
WHITAKER
ARCHITECTS
LLC
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ARLINGTON MA 02475
tel: 617-876-7611
fax: 617-876-6420

RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
BASEMENT FLOOR PLANS

PROJECT NAME:
PROJECT ADDRESS:

DATE: 4 AUGUST 2011

SHEET #:
A-10

FIRST FLOOR DEMOLITION NOTES

FLOORING DEMOLITION NOTES

- | | |
|----|--|
| F1 | Existing flooring materials to remain. Refer to Room Finish Schedule and Specifications for treatment. |
| F2 | Remove flooring surface as noted to expose original finishes below (or subfloor if none) in the area indicated. |
| F3 | Remove wood floor boards, sleepers, rubble and earth to approximately 6" below existing finished floor. Existing ledge to remain in place. |

PARTITION DEMOLITION NOTES

- | | |
|-----------|--|
| P1 | Remove portion of partition to the extent shown and reframe wall where required. Refer to Structural Engineer. |
| P2 | Remove finished surface as noted to expose original finishes (or studs if none) in the area indicated. |

CEILING DEMOLITION NOTES

- | | |
|----|--|
| C1 | Existing ceiling materials to remain. Refer to Specifications for selective removal if needed for structural work. |
| C2 | Remove ceiling to expose framing at floor or attic above for structural reinforcement and repairs. |
| C3 | Remove ceiling and framing in portion of low ceiling in order to raise ceiling height. |

DOOR DEMOLITION NOTES

- | | |
|----|--|
| D1 | Remove existing door, frame, hardware and trim in its entirety. |
| D2 | Remove and salvage existing door and/or frame as indicated for re-use in the project. |
| D3 | Remove door knobs. Provide blank escutcheon plates on both sides of door. Retain door and seal in place. |

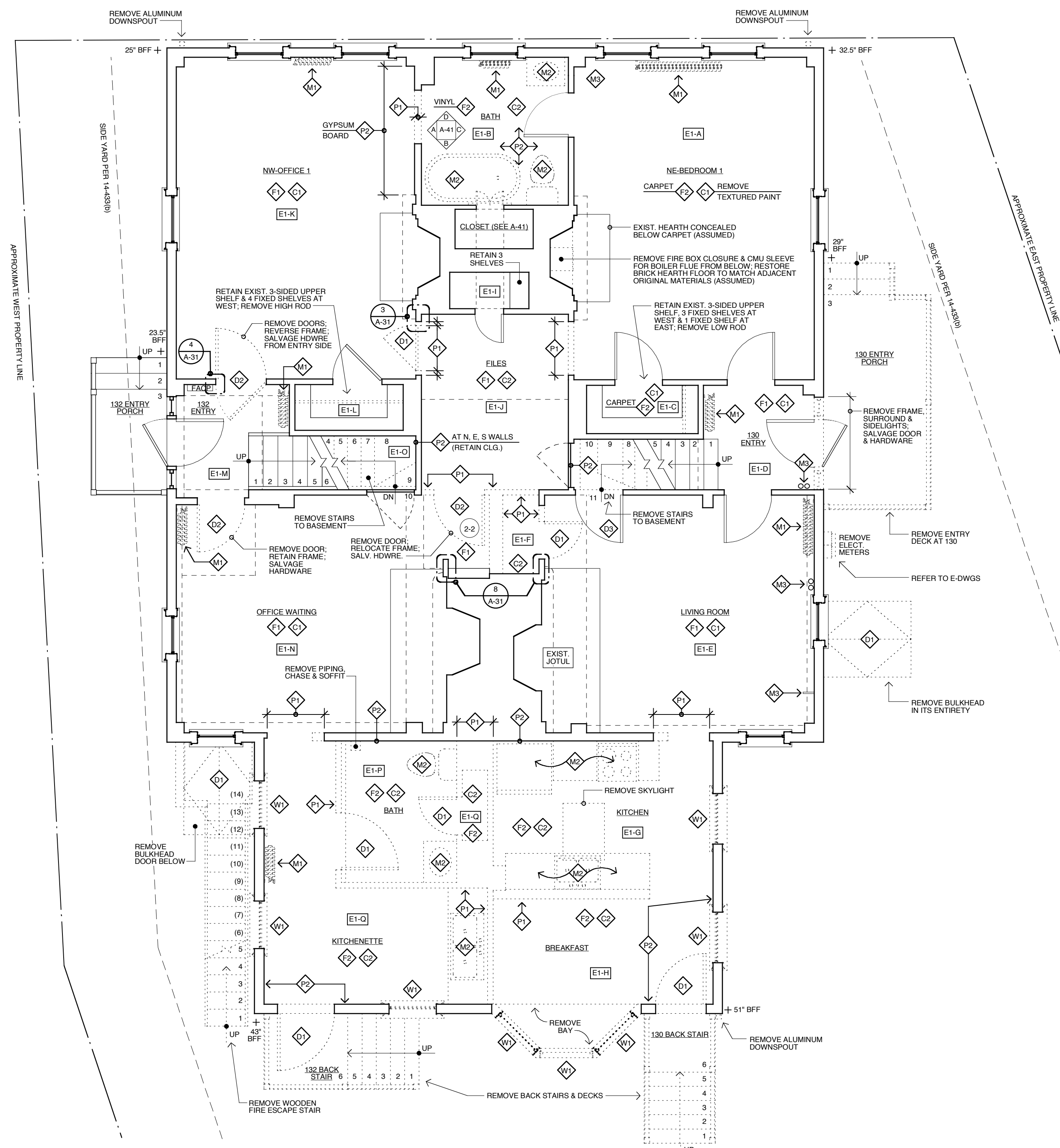
WINDOW DEMOLITION NOTES

- | | |
|-----------|---|
| W1 | Remove window in its entirety and reframe wall where needed. Refer to Window Schedule and Specifications. |
| W2 | Remove non-original window sash; retain original window frame. Refer to Window Schedule and Specifications. |

MECHANICAL DEMOLITION NOTES

- | | |
|----|--|
| M1 | Remove cast iron radiator, associated piping and wood base where present. Repair and patch wood flooring. |
| M2 | Remove plumbing fixtures, appliances, cabinetry and associated piping, drains, vents and exhaust ductwork. |
| M3 | Remove exposed heating pipes and patch floor/ceiling at penetrations including walls and brackets where present. |

E1-A Designates existing room in demo plan; refer to floor plan for project room name and number.



EXISTING FIRST FLOOR PLAN

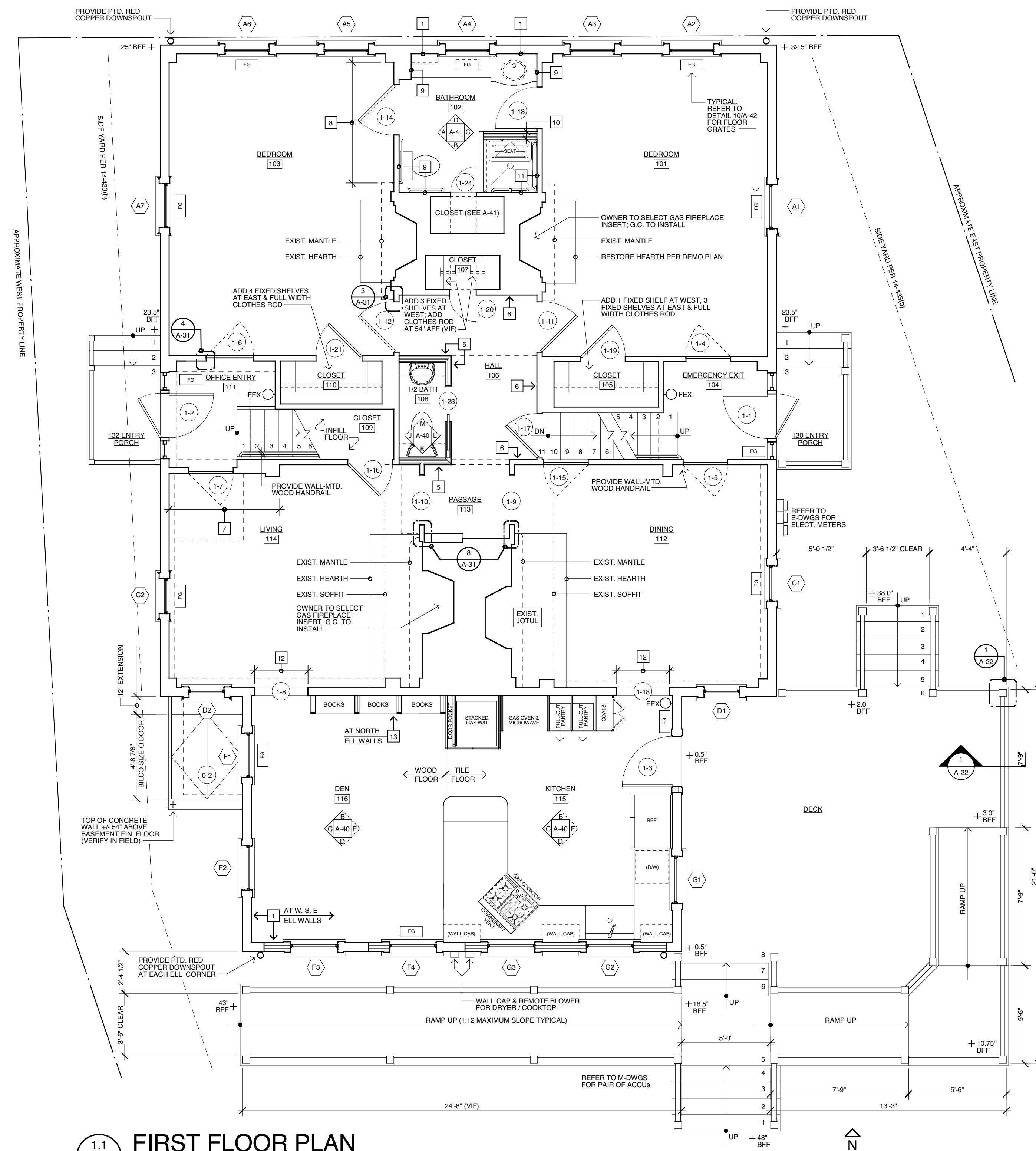
MILLS WHITAKER ARCHITECTS LLC

FIRST FLOOR PARTITION LEGEND

- | | |
|----|--|
| 1 | EXTERIOR WALL / 102, 202: Provide vapor barrier over batt insulation; veneer plaster; trim per applicable interior elevations. |
| 2 | EXTERIOR WALL / 208: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard and crown per Detail 8/A-42. |
| 3 | EXTERIOR WALL / SW OFFICE 211: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard per Detail 9/A-42, plan notes and room finish schedule. |
| 4 | EXTERIOR WALL / 301, 302, 303: Provide vapor barrier over batt insulation; fire-taped gypsum wallboard. |
| 5 | INTERIOR WALL / 106, 108: Provide 2 x 3 and 2 x 4 wood studs at 16" maximum on center in locations indicated on 2/A-40. Provide finishes as noted in interior elevations, room finish schedule and specs. On Hall 106 side, provide trim per Partition Type 6. On Living 114 side, preserve or provide wainscoting per Partition Type 7. |
| 6 | INTERIOR WALL / 106: Preserve and refinish existing walls and existing trim as noted in Detail 4/A-42. |
| 7 | INTERIOR WALL / 114: Modify existing finishes and provide missing portion of wainscoting per Detail 2/A-42 to match adjacent surfaces. |
| 8 | INTERIOR WALL / 103: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 9/A-42 to match adjacent. |
| 9 | INTERIOR SURFACE / 102, 202: Provide sound attenuation blankets in demising partitions with adjacent rooms; blocking for bath accessories; counters, etc; veneer plaster; trim as indicated in applicable interior elevations. |
| 10 | INTERIOR WING WALL / 102: Provide 2 x 4 wood studs at 12" on center; blocking for bath accessories; similar condition for sheet metal ceiling, veneer plaster and trim on north and west portions; ceramic tile on south portion (and ceiling) with waterproofed substrate per specs. |
| 11 | INTERIOR SHOWER / 102: Provide blocking for bath accessories; infill existing studs if less than 12" on center; ceramic tile with waterproofed substrate per specs. |

- | | |
|----|---|
| 12 | MODIFIED OPENINGS / 115, 116: Retain existing trim where indicated and widen existing openings per Detail 5/A-40. |
| 13 | INTERIOR SURFACE / 115, 116: Provide blocking for attachment of cabinetry; veneer plaster; trim as indicated. |
| 14 | COAL CHUTE / 003: Retain existing board closure at exterior; provide infill on cellar side with air barrier, 3/4" exterior grade plywood, wood stud framing, batt insulation, vapor barrier, 1/2" exterior grade plywood at interior; seal perimeter and seal exterior gaps in existing boards. |
| 15 | INTERIOR SURFACE / 204: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 5/A-42 to match adjacent. |
| 16 | INTERIOR WALL / 212: Provide 2 x 4 wood studs at 16" maximum on center; blocking for shelving and coat hooks; finishes as noted in room finish schedule. |
| 17 | INTERIOR WALL / 205: Provide 2 x 4 wood studs at 16" maximum on center; blocking for sink and accessories; finishes as noted in drawings. |
| 18 | INTERIOR INFILL / 209: Infill partition in thickness to match existing and patch to blend; trim as indicated or to match adjacent. |
| 19 | INTERIOR KNEE WALL / 303: Provide knee wall of 2 x 4 studs at 16" on center. Install salvaged loose fill fiberglass in eave area beyond knee wall. Provide fire-taped gypsum wallboard over vapor barrier over batt insulation on room side. No trim required. |
| 20 | INTERIOR SURFACE / 207: On room side of partition, repair existing plaster or provide veneer plaster; trim to match adjacent. |

K[○]FEX FIRE EXTINGUISHER (See Project Manual, Section 10 44 00)



FIRST FLOOR PLAN

1.1
A-11

0' 2' 4' 8'

MILLS WHITAKER ARCHITECTS LLC



MILLS
WHITAKER
ARCHITECTS
LLC

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BURLINGTON MA 02475
tel: 617-876-7611
fax: 617-876-6420

RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
FIRST FLOOR PLANS

PROJECT ADDRESS

DATE: 4 AUGUST 2011

SHEET #:

A-11

SECOND FLOOR DEMOLITION NOTES

FLOORING DEMOLITION NOTES

- F1 Existing flooring materials to remain. Refer to Room Finish Schedule and Specifications for treatment.
- F2 Remove flooring surface as noted to expose original finishes below (or subfloor if none) in the area indicated.
- F3 Remove wood floor boards, sleepers, rubble and earth to approximately 6" below existing finished floor. Existing ledge to remain in place.

PARTITION DEMOLITION NOTES

- P1 Remove portion of partition to the extent shown and reframe wall where required. Refer to Structural Engineer.
- P2 Remove finished surface as noted to expose original finishes (or studs if none) in the area indicated.

CEILING DEMOLITION NOTES

- C1 Existing ceiling materials to remain. Refer to Specifications for selective removal if needed for structural work.
- C2 Remove ceiling to expose framing at floor or attic above for structural reinforcement and repairs.
- C3 Remove ceiling and framing in portion of low ceiling in order to raise ceiling height.

DOOR DEMOLITION NOTES

- D1 Remove existing door, frame, hardware and trim in its entirety.
- D2 Remove and salvage existing door and/or frame as indicated for re-use in the project.
- D3 Remove door knobs. Provide blank escutcheon plates on both sides of door. Retain door and seal in place.

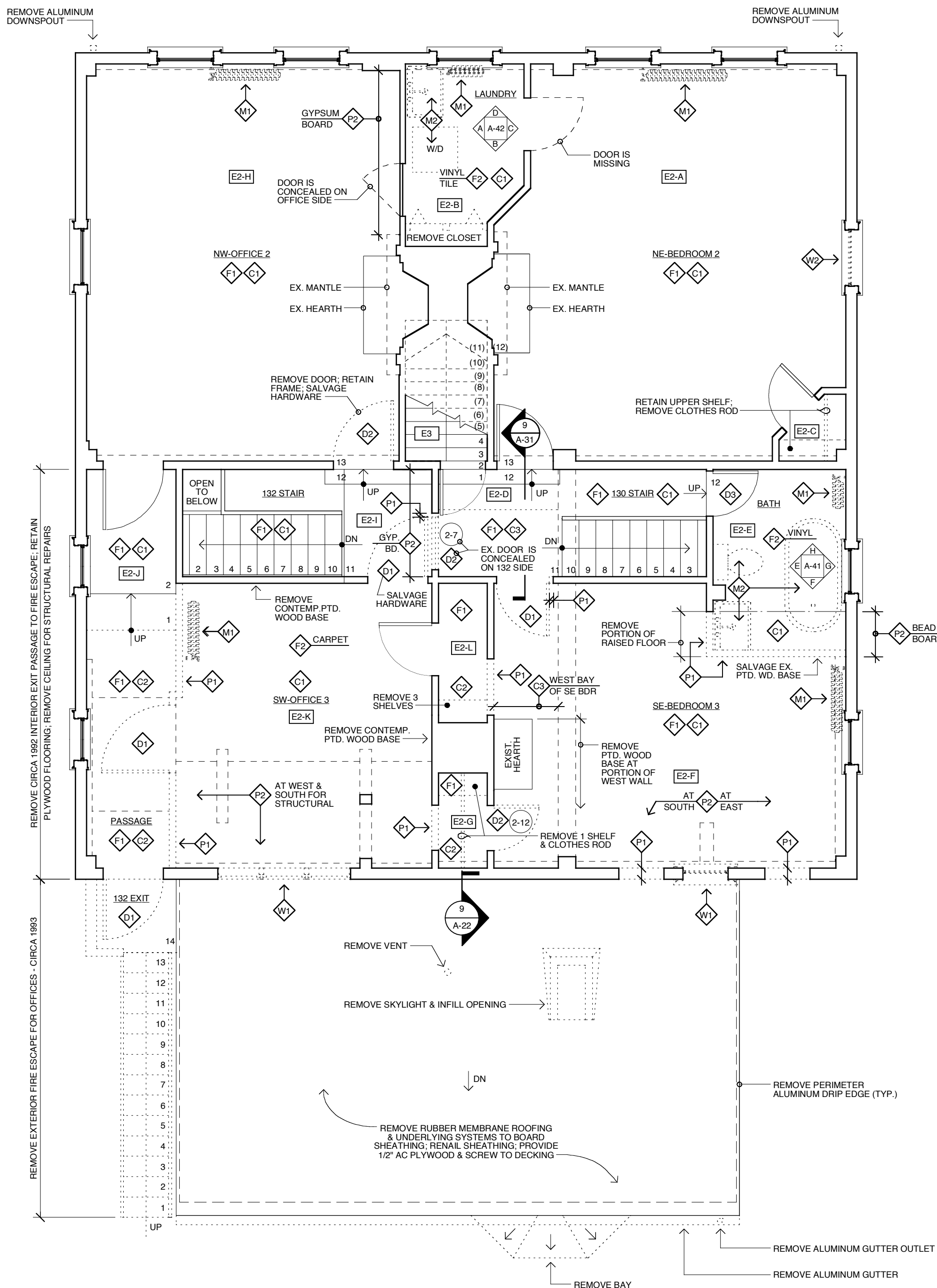
WINDOW DEMOLITION NOTES

- W1 Remove window in its entirety and reframe wall where needed. Refer to Window Schedule and Specifications.
- W2 Remove non-original window sash; retain original window frame. Refer to Window Schedule and Specifications.

MECHANICAL DEMOLITION NOTES

- M1 Remove cast iron radiator, associated piping and wood base where present. Repair and patch wood flooring.
- M2 Remove plumbing fixtures, appliances, cabinetry and associated piping, drains, vents and exhaust ductwork.
- M3 Remove exposed heating pipes and patch floor/ceiling at penetrations including walls and brackets where present.

E1-A Designates existing room in demo plan; refer to floor plan for project room name and number.

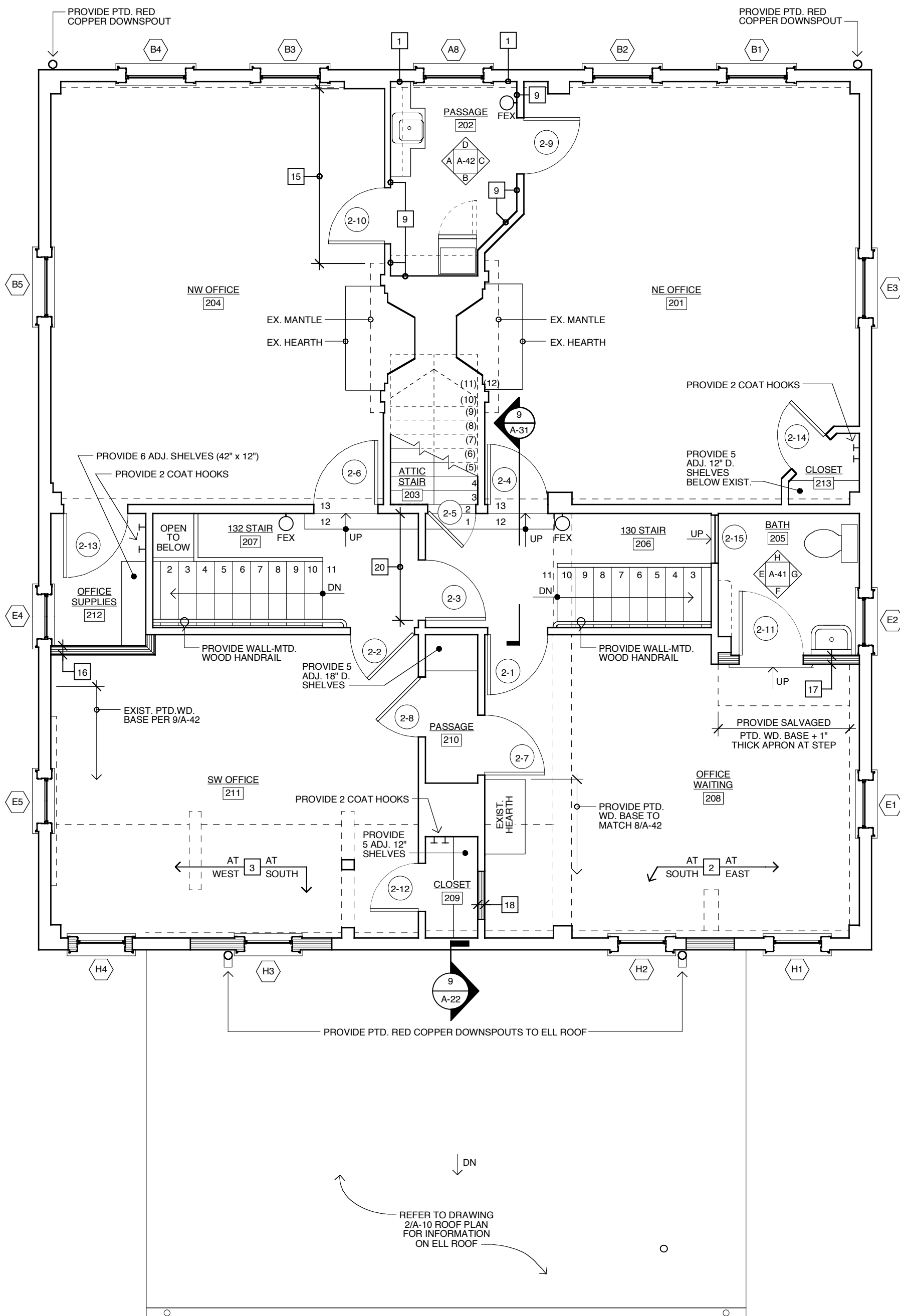


1.0
A-12
EXISTING SECOND FLOOR PLAN

MILLS WHITAKER ARCHITECTS LLC

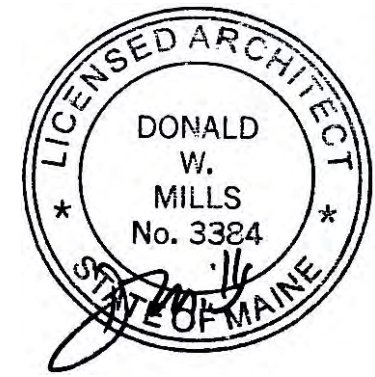
SECOND FLOOR PARTITION LEGEND

- 1 EXTERIOR WALL / 102, 202: Provide vapor barrier over batt insulation; veneer plaster; trim per applicable interior elevations.
- 2 EXTERIOR WALL / 208: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard and crown per Detail 8/A-42.
- 3 EXTERIOR WALL / SW OFFICE 211: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard per Detail 9/A-42, plan notes and room finish schedule.
- 4 EXTERIOR WALL / 301, 302, 303: Provide vapor barrier over batt insulation; fire-taped gypsum wallboard.
- 5 INTERIOR WALL / 106, 108: Provide 2 x 3 and 2 x 4 wood studs at 16" maximum on center in locations indicated on 2/A-40. Provide finishes as noted in interior elevations, room finish schedule and specs. On Hall 106 side, provide trim per Partition Type 6. On Living 114 side, preserve or provide wainscoting per Partition Type 7.
- 6 INTERIOR WALL / 106: Preserve and refinish existing walls and existing trim as noted in Detail 4/A-42.
- 7 INTERIOR WALL / 114: Modify existing finishes and provide missing portion of wainscoting per Detail 2/A-42 to match adjacent surfaces.
- 8 INTERIOR SURFACE / 103: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 3/A-42 to match adjacent.
- 9 INTERIOR SURFACE / 102, 202: Provide sound attenuation blankets in demising partitions with adjacent rooms; blocking for bath accessories, counters, etc; veneer plaster, trim as indicated in applicable interior elevations.
- 10 INTERIOR WING WALL / 102: Provide 2 x 4 wood studs at 12" on center; blocking for bath accessories; similar construction for shower ceiling; veneer plaster and trim on north and west portions; ceramic tile on south portion (and ceiling) with waterproofed substrate per specs.
- 11 INTERIOR SHOWER / 102: Provide blocking for bath accessories; infill existing studs if less than 12" on center; ceramic tile with waterproofed substrate per specs.
- 12 MODIFIED OPENINGS / 115, 116: Retain existing trim where indicated and widen existing openings per Detail 5/A-40.
- 13 INTERIOR SURFACE / 115, 116: Provide blocking for attachment of cabinetry; veneer plaster; trim as indicated.
- 14 COAL CHUTE / 003: Retain existing board closure at exterior; provide infill on cellar side with air barrier, 3/4" exterior grade plywood, wood stud framing, batt insulation, vapor barrier, 1/2" exterior grade plywood at interior; seal perimeter and seal exterior gaps in existing boards.
- 15 INTERIOR SURFACE / 204: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 5/A-42 to match adjacent.
- 16 INTERIOR WALL / 212: Provide 2 x 4 wood studs at 16" maximum on center; blocking for shelving and coat hooks; finishes as noted in room finish schedule.
- 17 INTERIOR WALL / 205: Provide 2 x 4 wood studs at 16" maximum on center; blocking for sink and accessories; finishes as noted in drawings.
- 18 INTERIOR INFILL / 209: Infill partition in thickness to match existing and patch to blend; trim as indicated or to match adjacent.
- 19 INTERIOR KNEE WALL / 303: Provide knee wall of 2 x 4 studs at 16" on center. Install salvaged loose fill fiberglass in eave area beyond knee wall. Provide fire-taped gypsum wallboard over vapor barrier over batt insulation on room side. No trim required.
- 20 INTERIOR SURFACE / 207: On room side of partition, repair existing plaster or provide veneer plaster; trim to match adjacent.
- FIRE EXTINGUISHER (See Project Manual, Section 10 44 00)



1.1
A-12
SECOND FLOOR PLAN

MILLS WHITAKER ARCHITECTS LLC



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WHITAKER
ARCHITECTS
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fax: 617-876-6420

RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
SECOND FLOOR PLANS

PROJECT NAME:
PROJECT ADDRESS:

DATE: 4 AUGUST 2011

SHEET #:

A-12

ATTIC LEVEL PARTITION LEGEND

- 1

EXTERIOR WALL / 102, 202: Provide vapor barrier over batt insulation; veneer plaster; trim per applicable interior elevations.
- 2

EXTERIOR WALL / 208: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard and crown per Detail 8/A-42.
- 3

EXTERIOR WALL / SW OFFICE 211: Provide vapor barrier over batt insulation; veneer plaster; wood baseboard per Detail 9/A-42, plan notes and room finish schedule.
- 4

EXTERIOR WALL / 301, 302, 303: Provide vapor barrier over batt insulation; fire-taped gypsum wallboard.
- 5

INTERIOR WALL / 106, 108: Provide 2 x 3 and 2 x 4 wood studs at 16" maximum on center in locations indicated on 2/A-40. Provide finishes as noted in interior elevations, room finish schedule and specs. On Hall 106 side, provide trim per Partition Type 6. On Living 114 side, preserve or provide wainscoting per Partition Type 7.
- 6

INTERIOR WALL / 106: Preserve and refinish existing walls and existing trim as noted in Detail 4/A-42.
- 7

INTERIOR WALL / 114: Modify existing finishes and provide missing portion of wainscoting per Detail 2/A-42 to match adjacent surfaces.
- 8

INTERIOR SURFACE / 103: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 3/A-42 to match adjacent.
- 9

INTERIOR SURFACE / 102, 202: Provide sound attenuation blankets in demising partitions with adjacent rooms; blocking for bath accessories, counters, etc; veneer plaster; trim as indicated in applicable interior elevations.
- 10

INTERIOR WING WALL / 102: Provide 2 x 4 wood studs at 12" on center; blocking for bath accessories; similar construction for shower ceiling; veneer plaster and trim on north and west portions; ceramic tile on south portion (and ceiling) with waterproofed substrate per specs.
- 11

INTERIOR SHOWER / 102: Provide blocking for bath accessories; infill existing studs if less than 12" on center; ceramic tile with waterproofed substrate per specs.
- 12

MODIFIED OPENINGS / 115, 116: Retain existing trim where indicated and widen existing openings per Detail 5/A-40.
- 13

INTERIOR SURFACE / 115, 116: Provide blocking for attachment of cabinetry; veneer plaster; trim as indicated.
- 14

COAL CHUTE / 003: Retain existing board closure at exterior; provide infill on cellar side with air barrier, 3/4" exterior grade plywood, wood stud framing, batt insulation, vapor barrier, 1/2" exterior grade plywood at interior; seal perimeter and seal exterior gaps in existing boards.
- 15


INTERIOR SURFACE / 204: On room side of partition, repair existing plaster or provide veneer plaster; baseboard per Detail 5/A-42 to match adjacent.
- 16

INTERIOR WALL / 212: Provide 2 x 4 wood studs at 16" maximum on center; blocking for shelving and coat hooks; finishes as noted in room finish schedule.
- 17

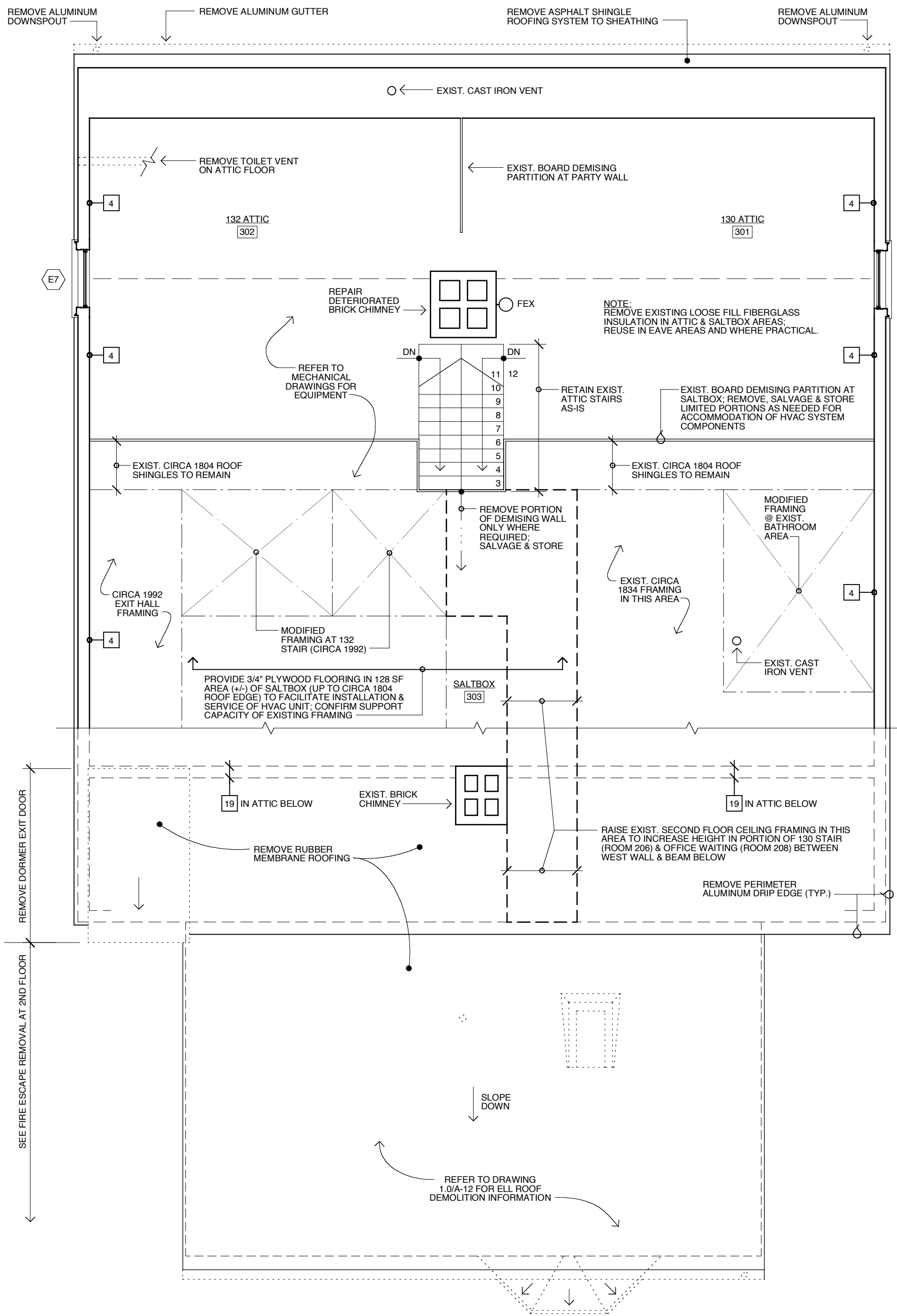
INTERIOR WALL / 205: Provide 2 x 4 wood studs at 16" maximum on center; blocking for sink and accessories; finishes as noted in drawings.
- 18

INTERIOR INFILL / 209: Infill partition in thickness to match existing and patch to blend; trim as indicated or to match adjacent.
- 19

INTERIOR KNEE WALL / 303: Provide knee wall of 2 x 4 studs at 16" on center. Install salvaged loose fill fiberglass in eave area beyond knee wall. Provide fire-taped gypsum wallboard over vapor barrier over batt insulation on room side. No trim required.
- 20

INTERIOR SURFACE / 207: On room side of partition, repair existing plaster or provide veneer plaster; trim to match adjacent.
-  FEX

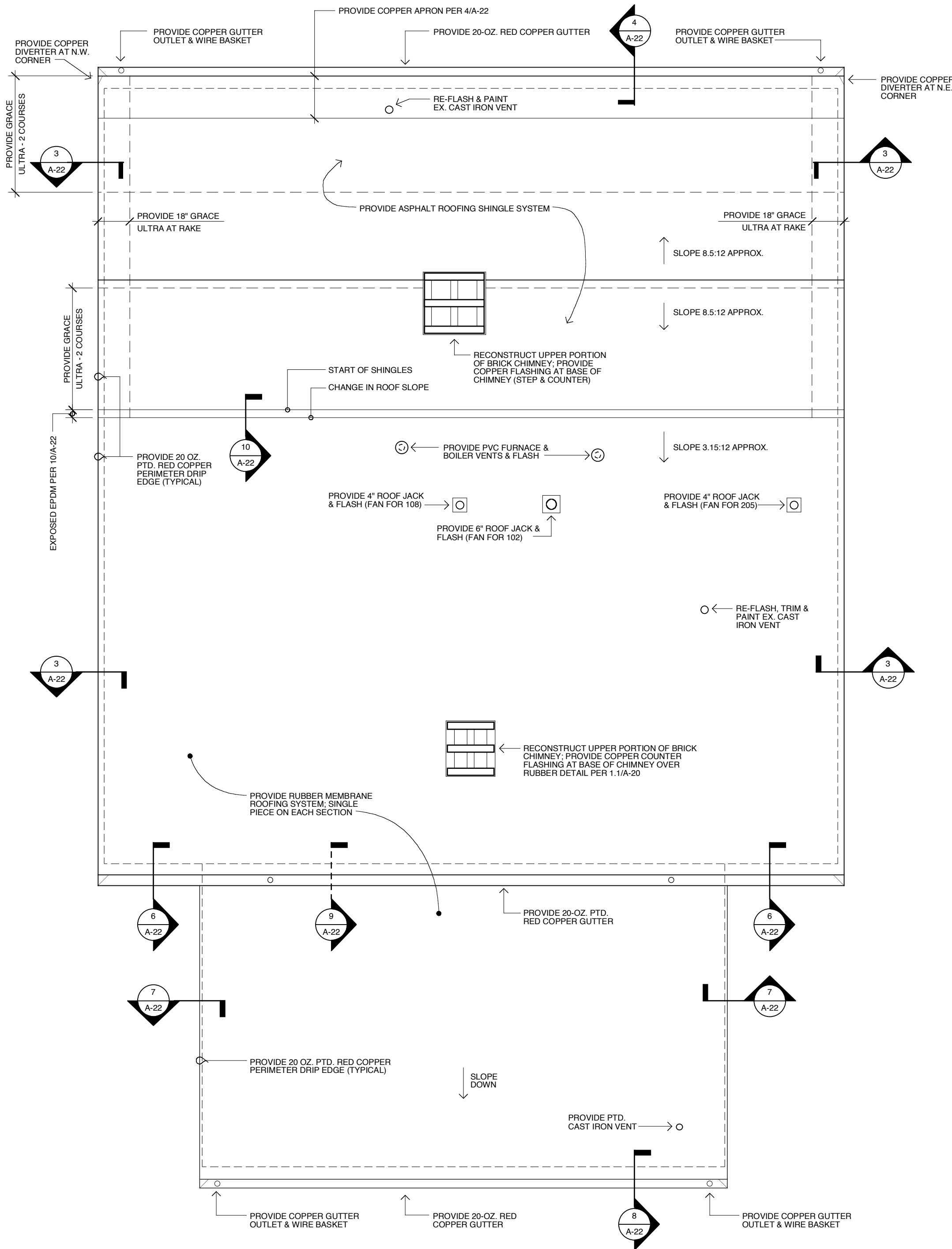
FIRE EXTINGUISHER (See Project Manual, Section 10 44 00)



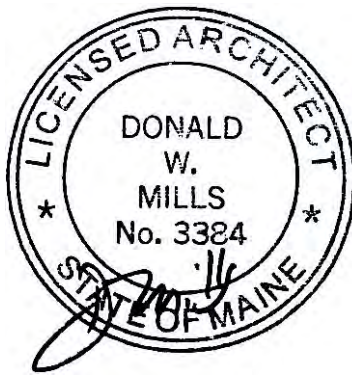
1
A-13
ATTIC PLAN

ROOF CONSTRUCTION NOTES

REFER TO ROOF PLAN, DETAILS AND PROJECT MANUAL



2
A-13
ROOF PLAN



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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
ATTIC & ROOF PLANS

PROJECT NAME:
PROJECT ADDRESS:

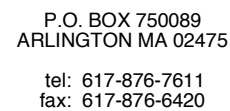
DATE: 4 AUGUST 2011

SHEET #:

A-13

THE TERM "FT GYP" FOR ATTIC AND SALTBOX AREAS = FIRE-TAPED (2 COATS, SANDED) GYPSUM DRYWALL

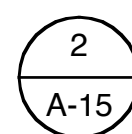
SAL = SALVAGED FINISHES
VCT = VINYL COMPOSITION TILE
VIF = VERIFY IN FIELD
W/ WD = WOOD



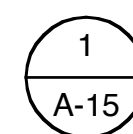
SECOND FLOOR & ATTIC CEILINGS & FINISHES

DATE: 4 AUGUST 2011

A-15

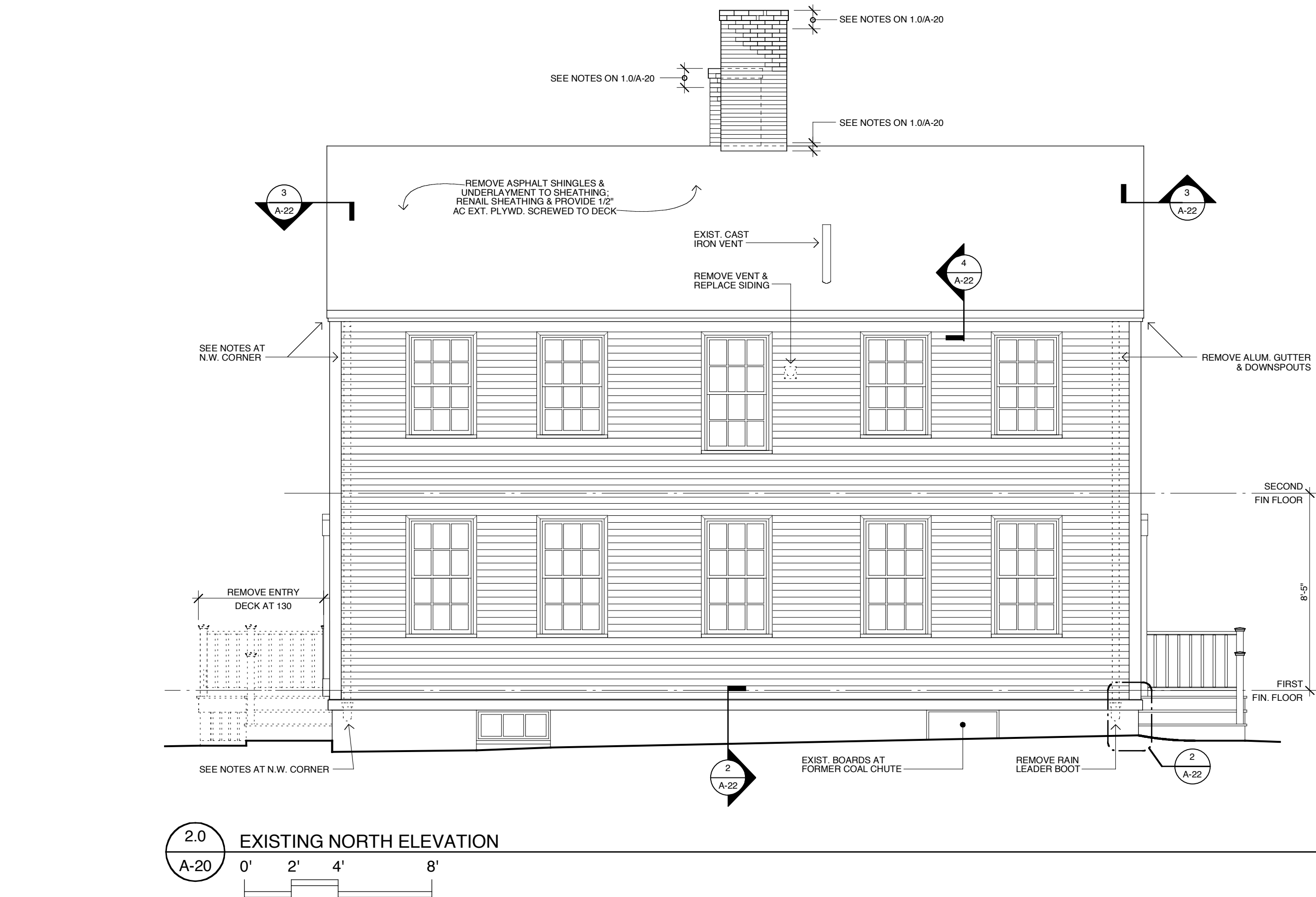
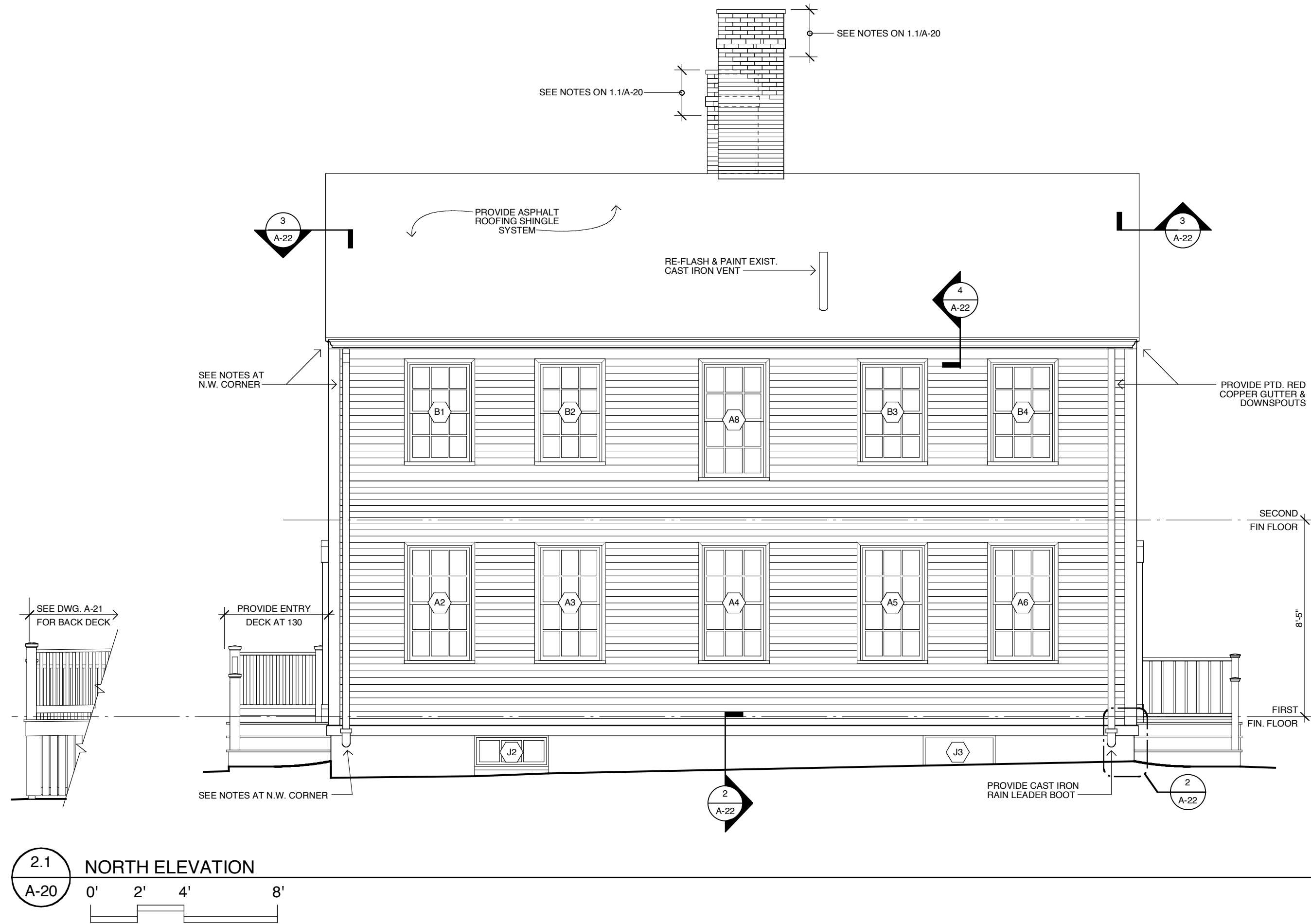


MILLS WHITAKER ARCHITECTS LLC

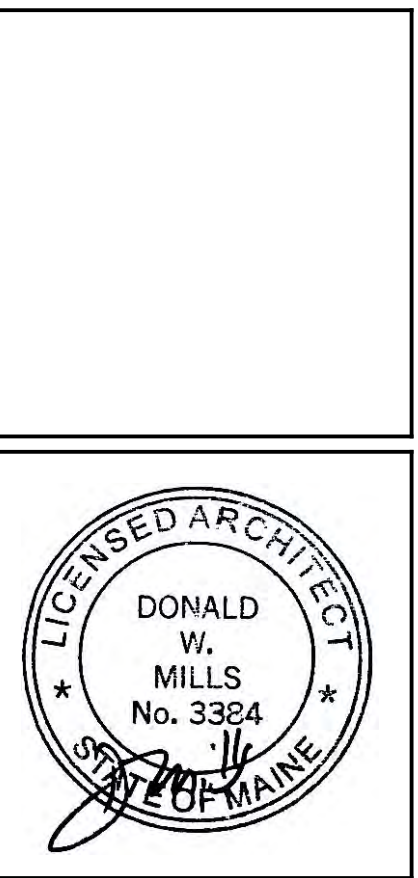
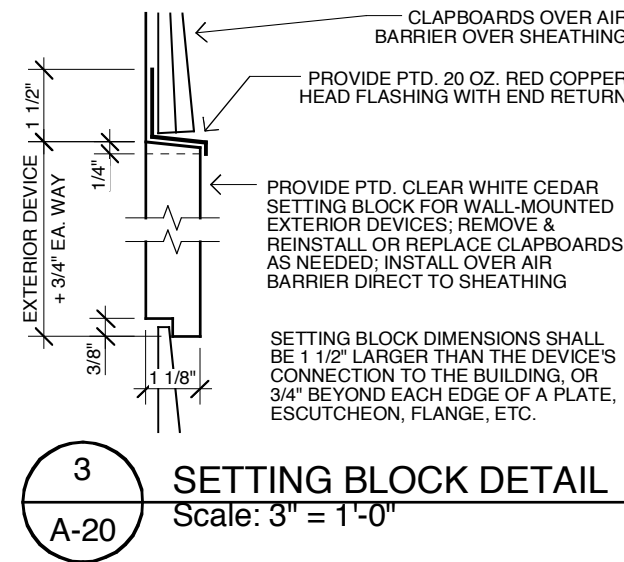
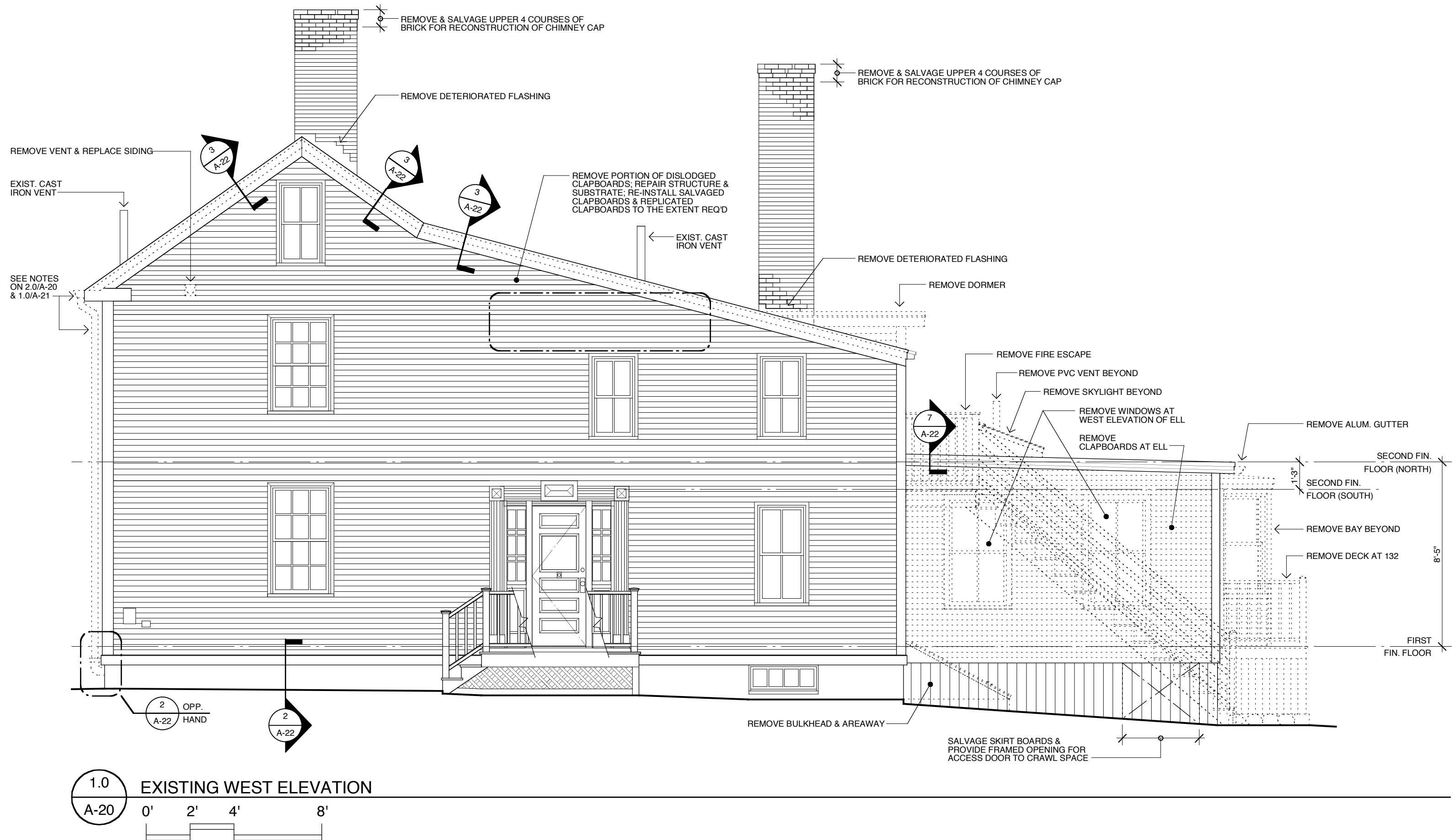
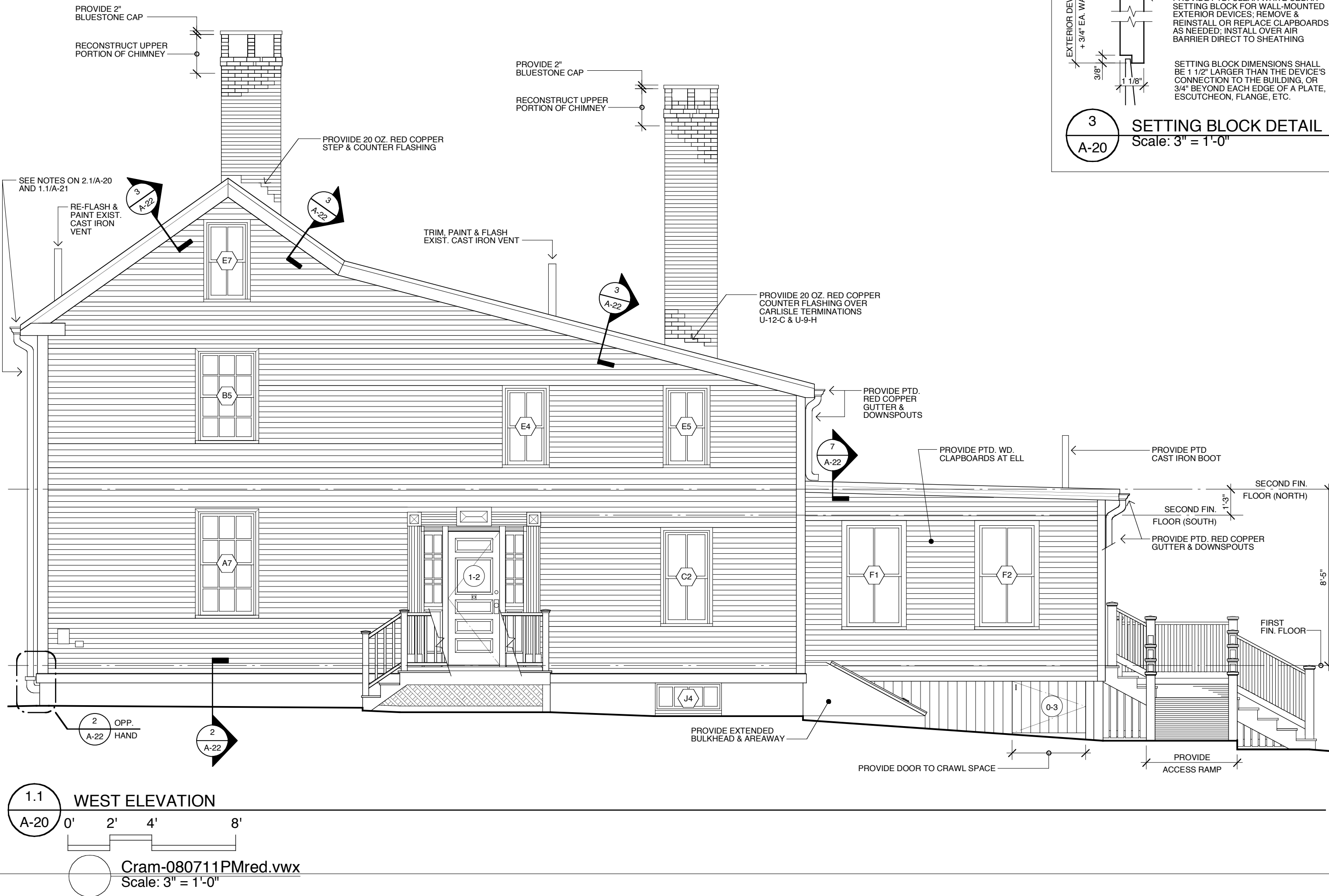


MILLS WHITAKER ARCHITECTS LLC

NOTE:
REFER TO SETTING BLOCK DETAIL 3/A-20 FOR INSTALLATION OF
EXTERIOR WALL-MOUNTED MECHANICAL, ELECTRICAL & PLUMBING
DEVICES. REFER TO P, M & E DRAWINGS FOR DEVICES AND REVIEW
LOCATION WITH ARCHITECT IN THE FIELD PRIOR TO ROUGH-IN.



NOTE:
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EXTERIOR WALL-MOUNTED MECHANICAL, ELECTRICAL & PLUMBING
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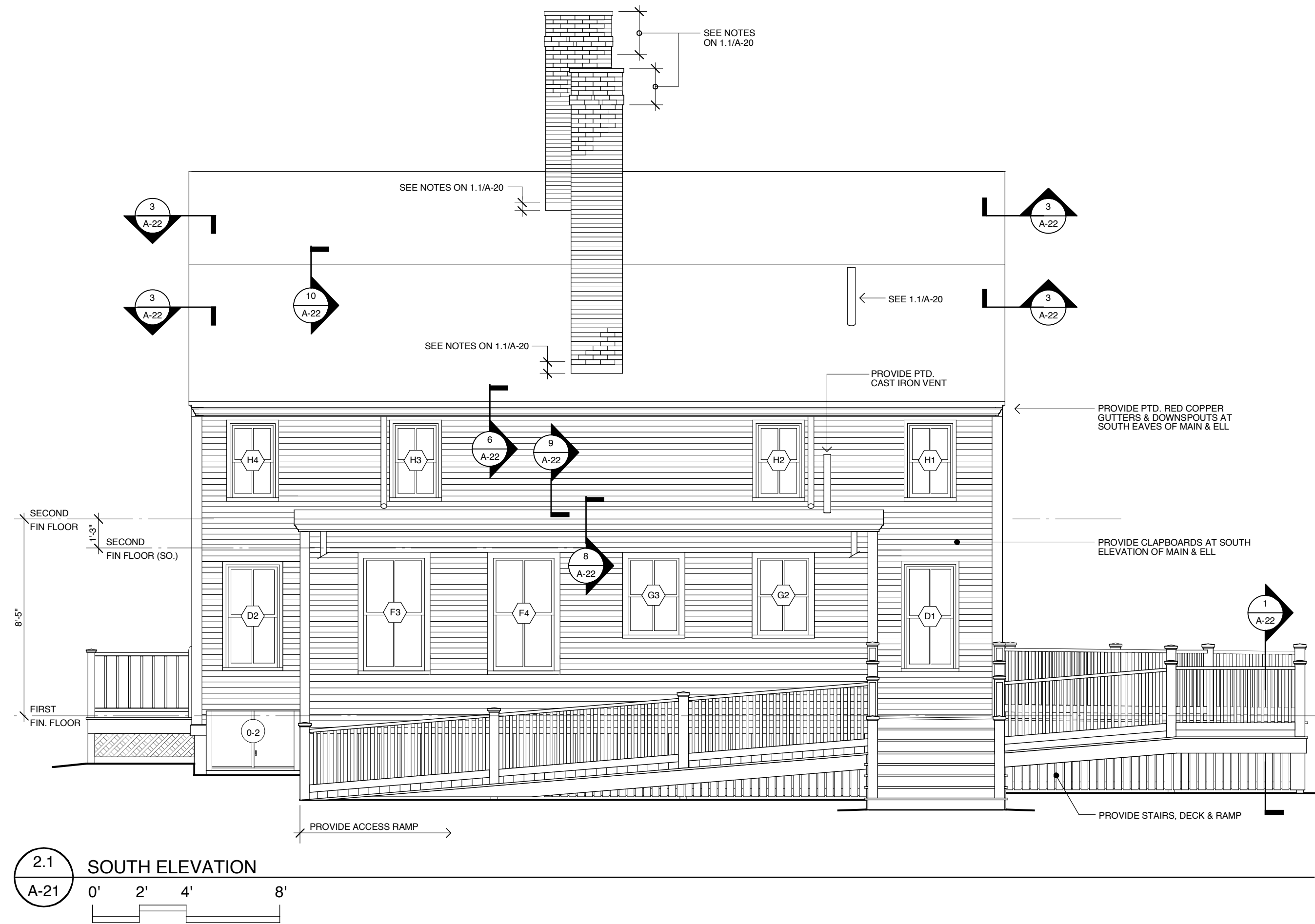
RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
NORTH & WEST ELEVATIONS

PROJECT NAME:
PROJECT ADDRESS:

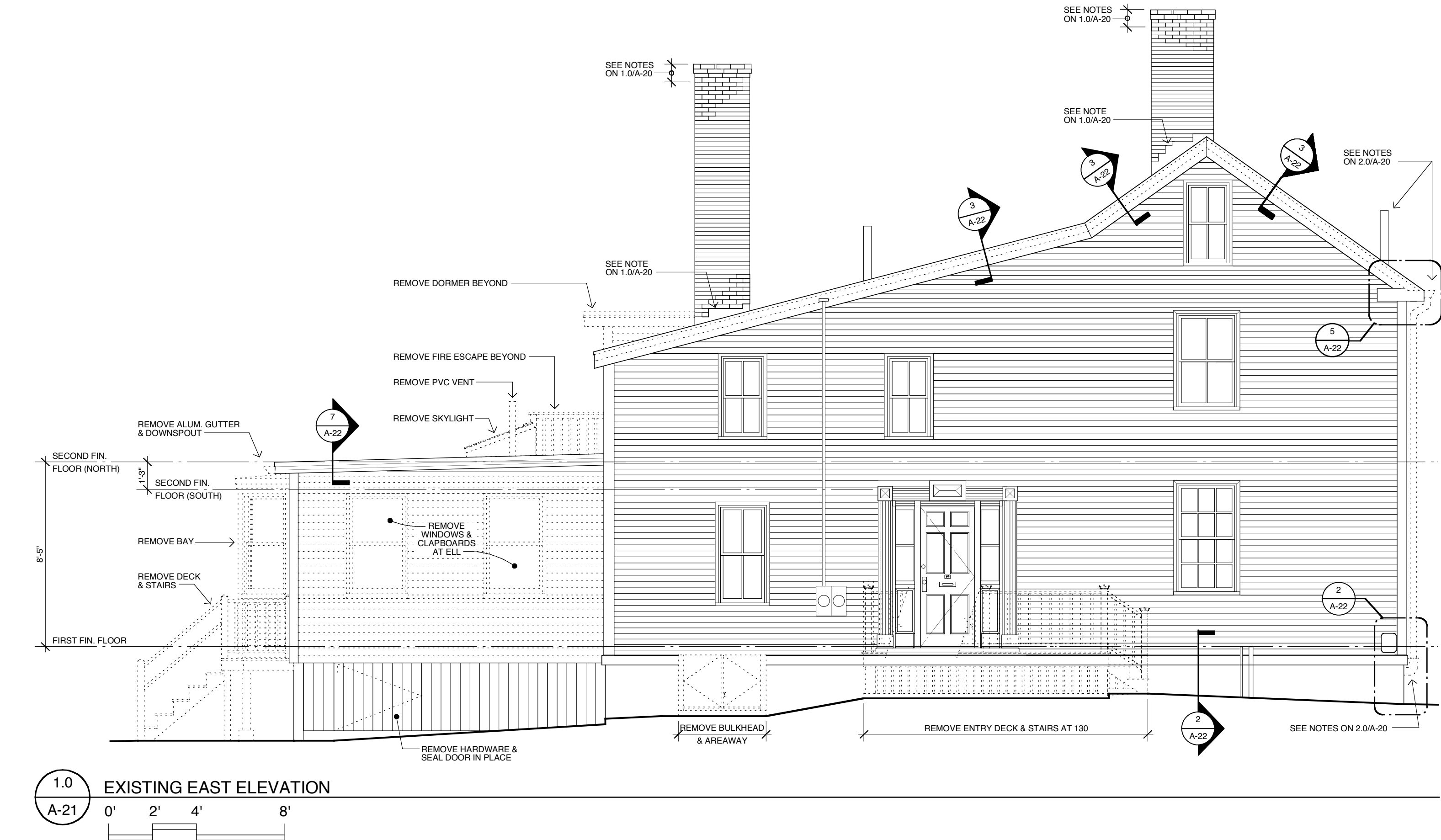
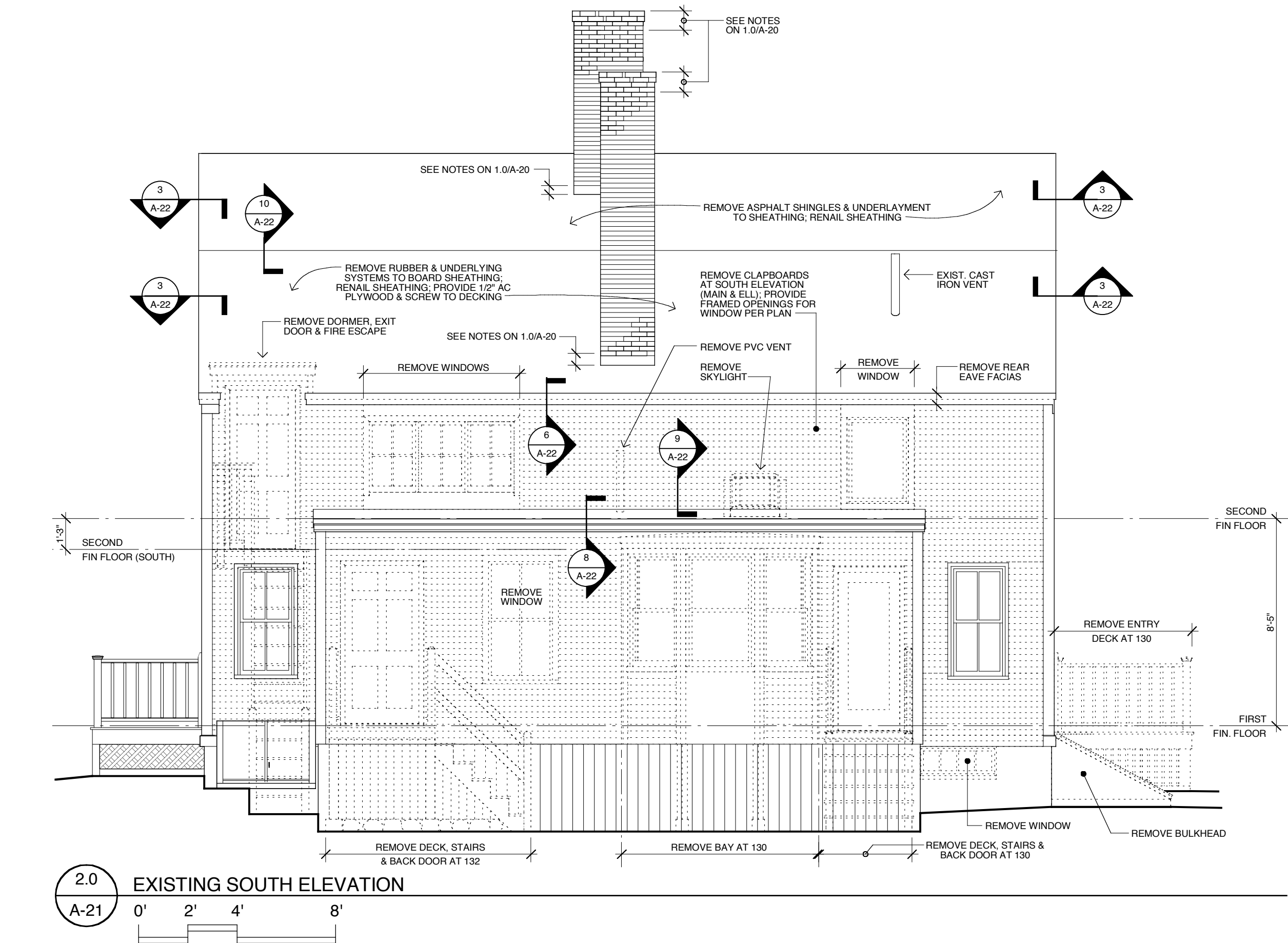
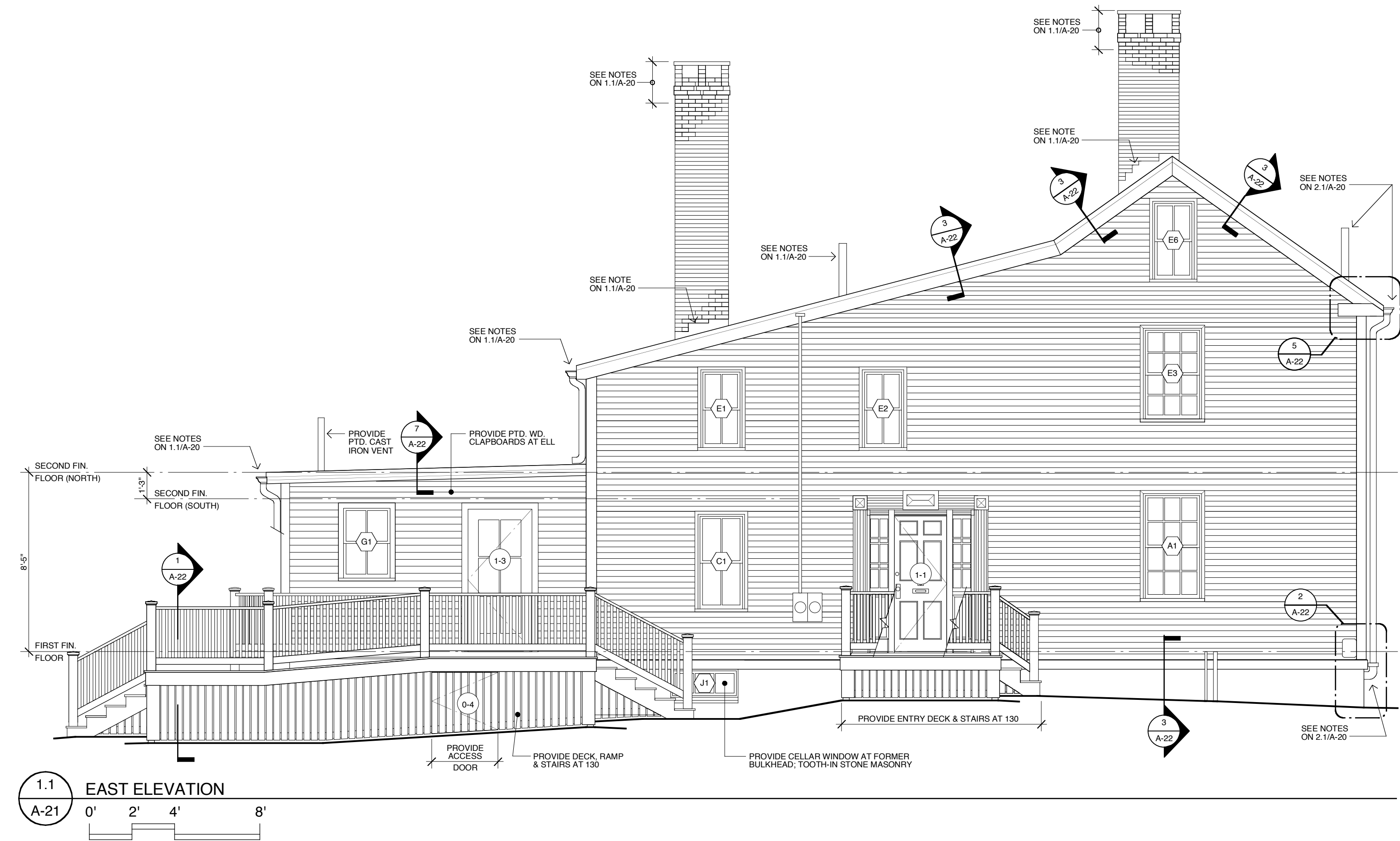
DATE: 4 AUGUST 2011

SHEET #:
A-20

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REFER TO SETTING BLOCK DETAIL 3/A-20 FOR INSTALLATION OF
EXTERIOR WALL-MOUNTED MECHANICAL, ELECTRICAL & PLUMBING
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LOCATION WITH ARCHITECT IN THE FIELD PRIOR TO ROUGH-IN.



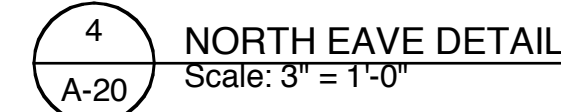
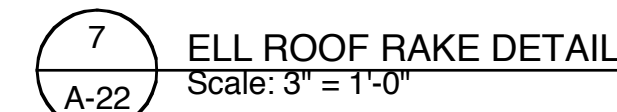
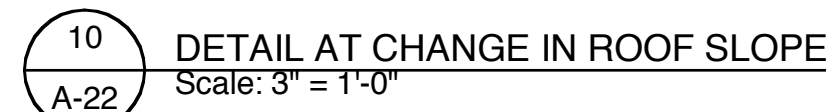
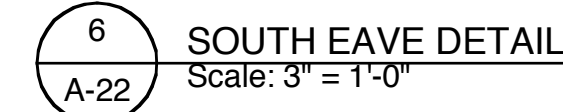
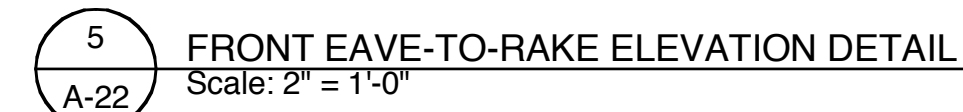
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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
SOUTH & EAST ELEVATIONS

PROJECT NAME:
PROJECT ADDRESS:

DATE: 4 AUGUST 2011

SHEET #:
A-21



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PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE

EXTERIOR DETAILS

PROJECT NAME:

DATE: 4 AUGUST 2011

DRAWING TITLE:

SHEET #:

A-22

WINDOW SCHEDULE

UNIT NO.	O.A. DIMS. AT EXTERIOR TRIM	UNIT DESCRIPTION		EXTERIOR STORM	DETAIL	REMARKS
A1	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A	
A2	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A	
A3	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A	
A4	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A-1C	
A5	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A	
A6	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A	
A7	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A	
A8	36 5/16" x 62 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1B	EX FLAT INTERIOR CASINGS
B1	36 5/16" x 54 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A-1D	
B2	36 5/16" x 54 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A-1D	
B3	36 5/16" x 54 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A-1C	
B4	36 5/16" x 54 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A-1C	
B5	36 5/16" x 54 5/8"	6-OVER-6 WD DH	RESTORE; SH	REM; PROV HTC	1-1A-1C	
C1	29 3/4" x 56 3/4"	2-OVER-2 WD SH	RESTORE; SH	REM; PROV HTC	2-2A	
C2	29 3/4" x 56 3/4"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2-2A	
D1	30 7/8" x 56"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2-2A	SEE DETAIL 5/A-30
D2	30 7/8" x 56"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2-2A	
E1	26 3/4" x 47 1/8"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2-2B	EX. APRON 7/8 x 5/8 OVER 3 x 1/2 FLAT
E2	26 3/4" x 47 1/8"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2-2B-2C	
E3	36 5/16" x 54 5/8"	2-OVER-2 WD DH	REPL 6/6 WD; SH	REM; PROV HTC	1-1A-1D	REPLACE SASH & RESTORE FRAME
E4	26 3/4" x 47 1/8"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2-2A-2C	INT CASINGS SIMILAR TO 2C
E5	26 3/4" x 47 1/8"	2-OVER-2 WD SH	RESTORE; SH	REM; PROV HTC	2-2A-2D	
E6	29 3/4" x 46 5/8"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2 SIM.	ADD FLAT STOCK INTERIOR CASINGS
E7	30 3/4" x 46 5/8"	2-OVER-2 WD DH	RESTORE; SH	REM; PROV HTC	2 SIM.	ADD FLAT STOCK INTERIOR CASINGS
F1	37 1/8" x 62 1/2"	---	ASW 2-OVER-2 DH	---	3	ASW UNIT 31.5 x 57.5
F2	37 1/8" x 62 1/2"	---	ASW 2-OVER-2 DH	---	3	ASW UNIT 31.5 x 57.5
F3	37 1/8" x 62 1/2"	---	ASW 2-OVER-2 DH	---	3	ASW UNIT 31.5 x 57.5
F4	37 1/8" x 62 1/2"	---	ASW 2-OVER-2 DH	---	3	ASW UNIT 31.5 x 57.5
G1	32 1/8" x 44"	---	ASW 2-OVER-2 DH	---	3-3A	ASW UNIT 26.5 x 39"
G2	32 1/8" x 44"	---	ASW 2-OVER-2 DH	---	3-3A	ASW UNIT 26.5 x 39"
G3	32 1/8" x 44"	---	ASW 2-OVER-2 DH	---	3-3A	ASW UNIT 26.5 x 39"
H1	26 5/8" x 40"	---	ASW 2-OVER-2 DH	---	3-3B	ASW UNIT 21" x 35"
H2	26 5/8" x 40"	---	ASW 2-OVER-2 DH	---	3-3B	ASW UNIT 21" x 35"
H3	26 5/8" x 40"	---	ASW 2-OVER-2 DH	---	3-3C	ASW UNIT 21" x 35"
H4	26 5/8" x 40"	---	ASW 2-OVER-2 DH	---	3-3C	ASW UNIT 21" x 35"
J1	MATCH UNIT J2	---	PROVIDE UNIT	PROV FW		TEMPERED FIXED STORM + SCREEN
J2	SASH 36" x 13" x 1.25"	4-LITE THI	RESTORE	XS; PROV FW		TEMPERED FIXED STORM + SCREEN
J3	OPNG 37.125" x 16"	BOARD INFILL	SEE FLOOR PLAN	N.A.		
J4	SASH 36" x 13" x 1.25"	4-LITE THI	RESTORE	XS; PROV FW		TEMPERED FIXED STORM + SCREEN

NOTES:

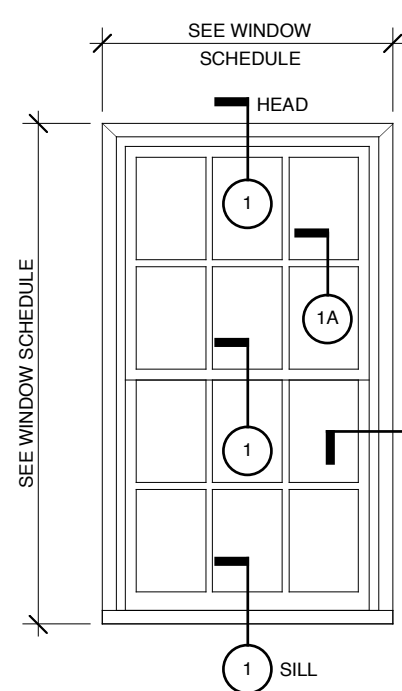
- REFER TO PROJECT MANUAL FOR RESTORATION SCOPE AND WINDOW SPECIFICATION
- FIELD VERIFY DIMENSIONS OF OPENINGS AND EXISTING DETAILS OF HISTORIC UNITS.

ABBREVIATIONS:

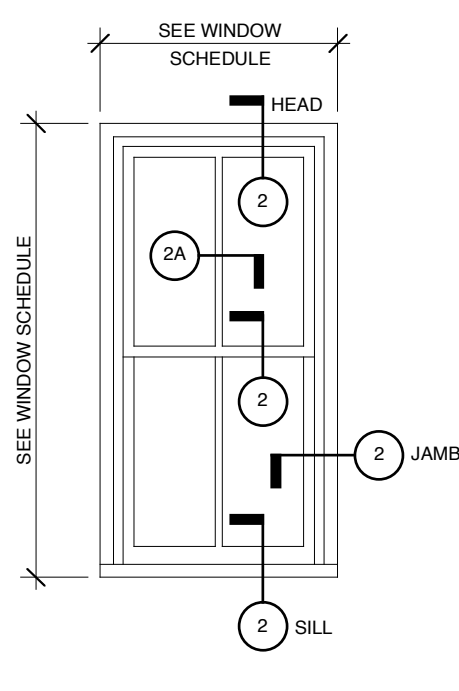
ASW - PELLA ARCHITECT SERIES WOOD
CM - CASEMENT
DH - DOUBLE HUNG
EX - EXISTING
EXT - EXTERIOR
FW - FIXED WINDOW (NON-OPERABLE)
HTC - HARVEY TRUCHANNEL STORM

INT - INTERIOR
LT - LITE OF GLASS
N.A. - NOT APPLICABLE
OPNG - OPENING
ORIG - ORIGINAL
PROV - PROVIDE
PTD - PAINTED

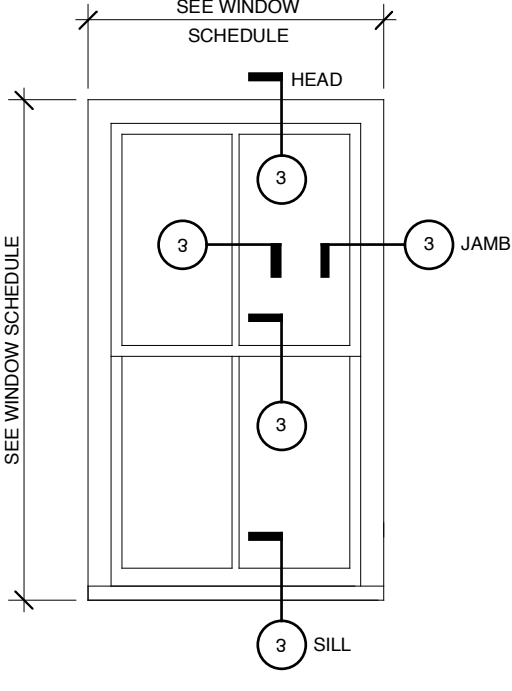
REM - REMOVE EXISTING
REPL - REPLICATE UNIT
THI - TOP HINGED INSING
SH - SINGLE HUNG
VIN - VINYL OR PVC
WD - WOOD
XS - REMOVE SCREEN



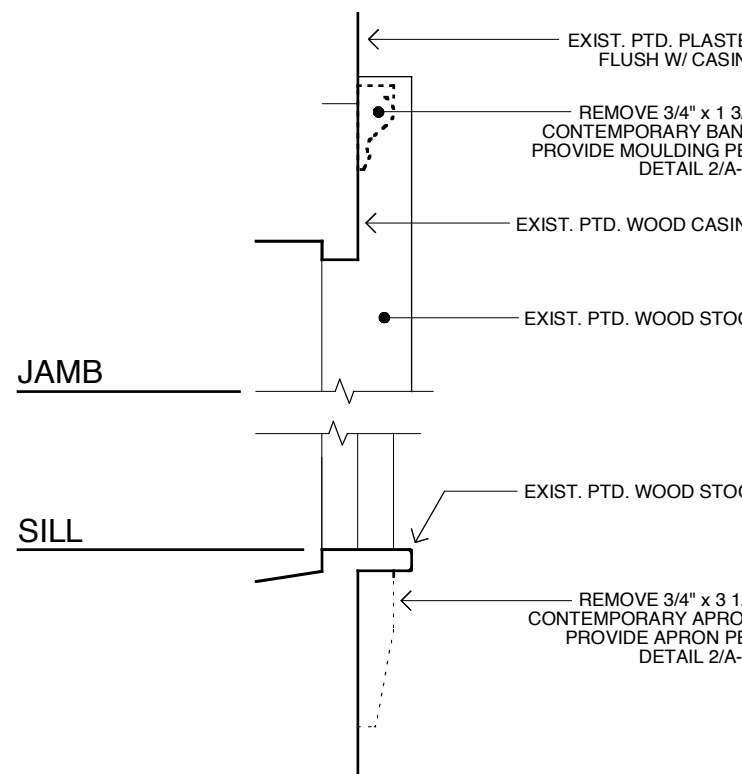
WINDOW TYPES A & B
Scale: 1/2" = 1'-0"



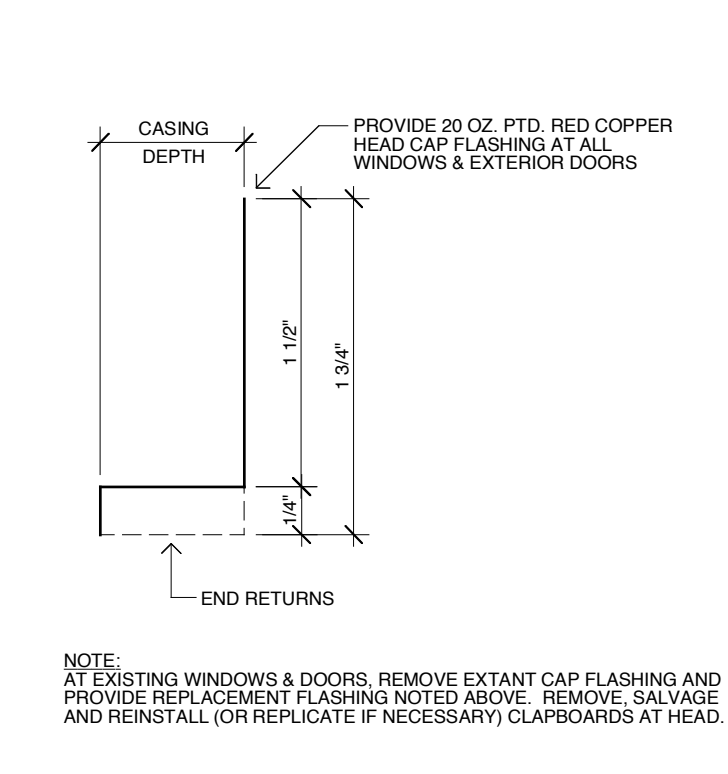
WINDOW TYPES C, D & E
Scale: 1/2" = 1'-0"



WINDOW TYPES F, G & H
Scale: 1/2" = 1'-0"

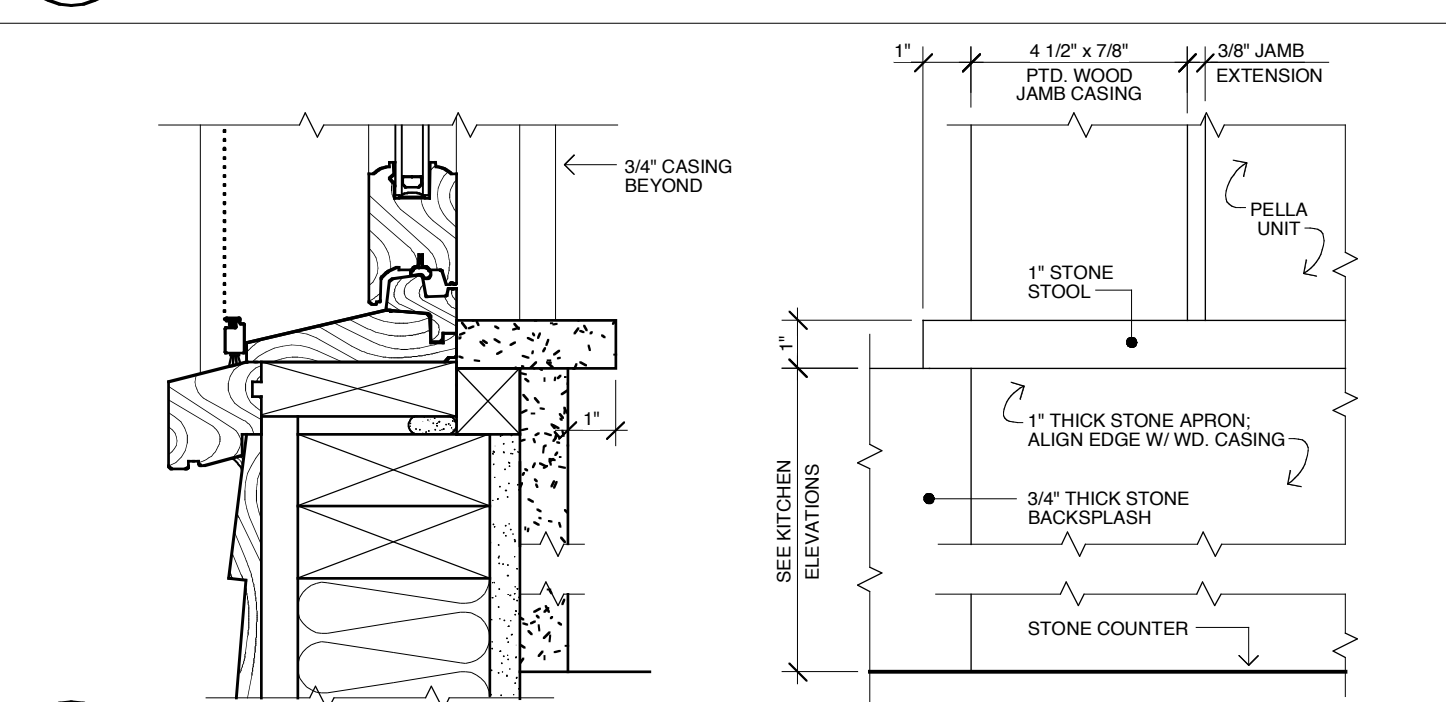


EXISTING DETAILS AT UNIT D1
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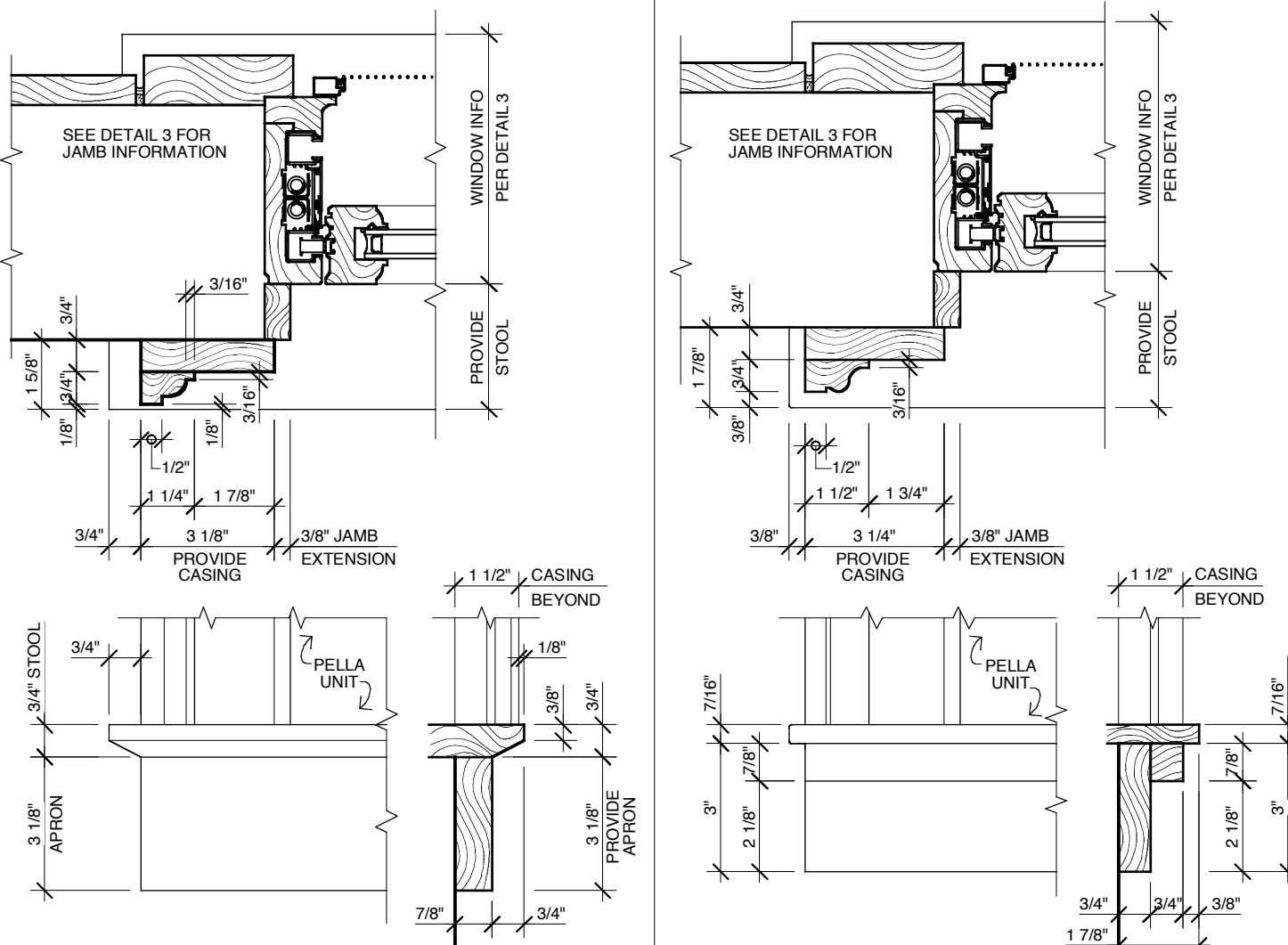


WINDOW HEAD CAP FLASHING
Scale: Actual Size

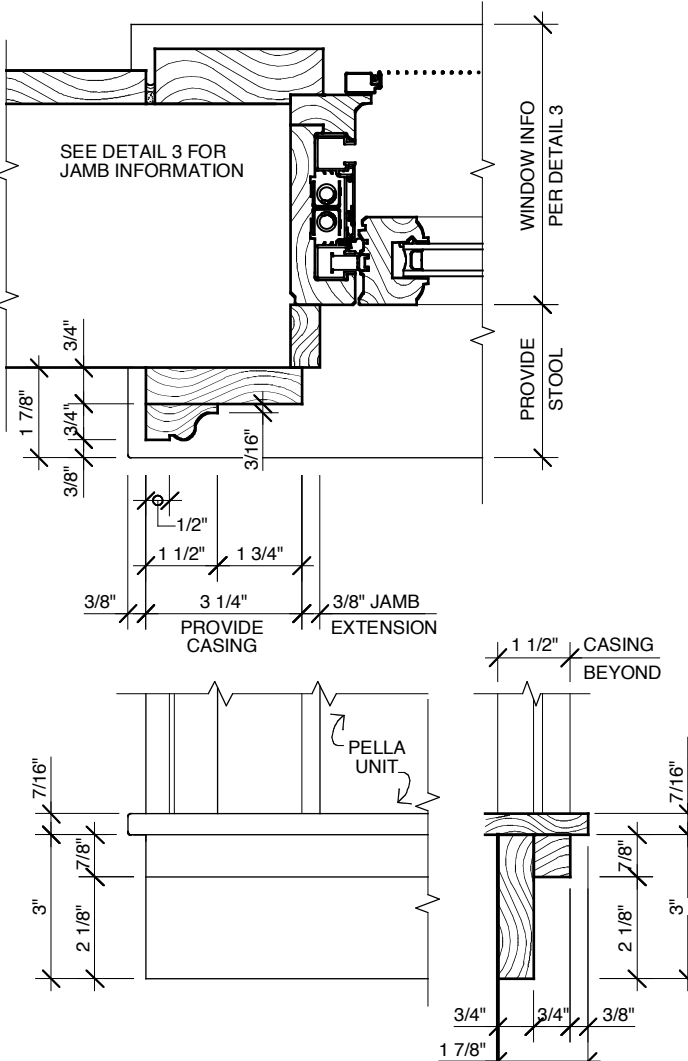
2/2 CONTEMPORARY WINDOWS
Scale: 3" = 1'-0"



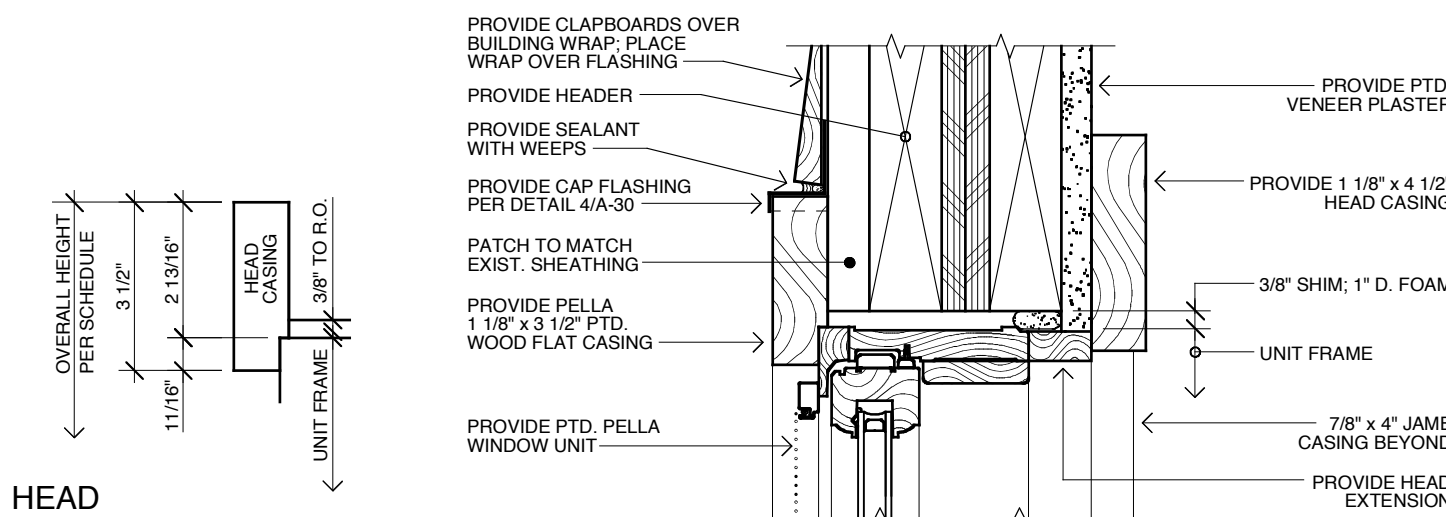
INTERIOR CASINGS AT KITCHEN
Scale: 3" = 1'-0"



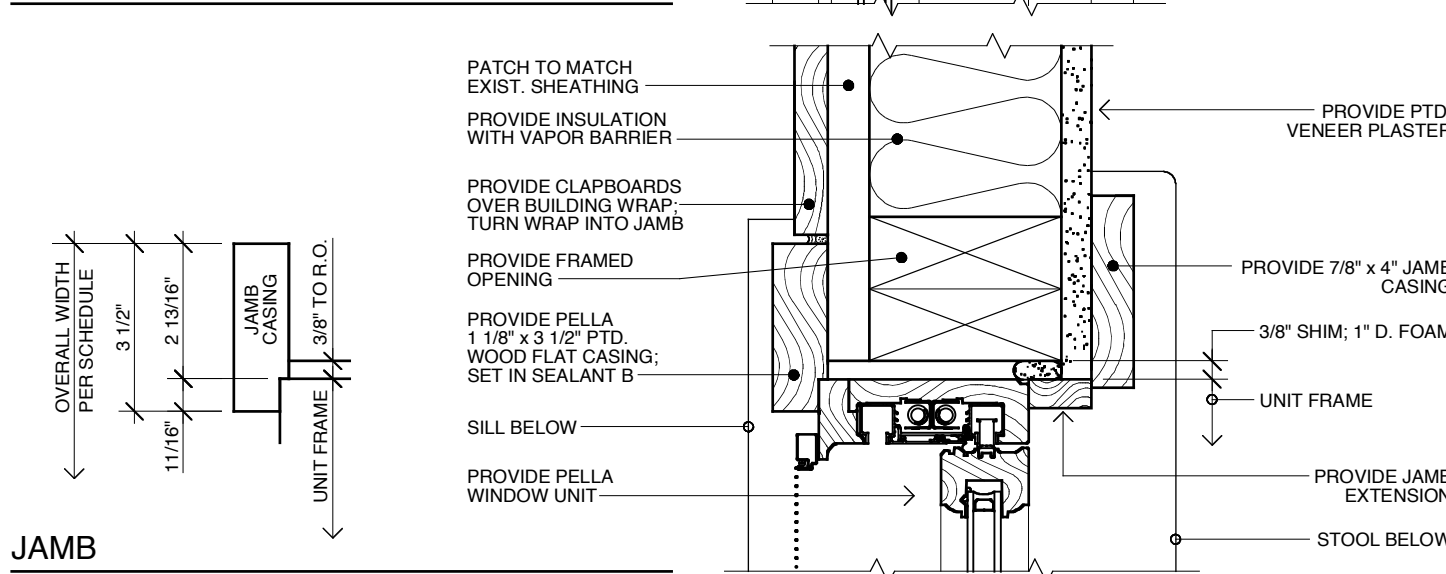
INTERIOR CASINGS AT H3-H4
Scale: 3" = 1'-0"



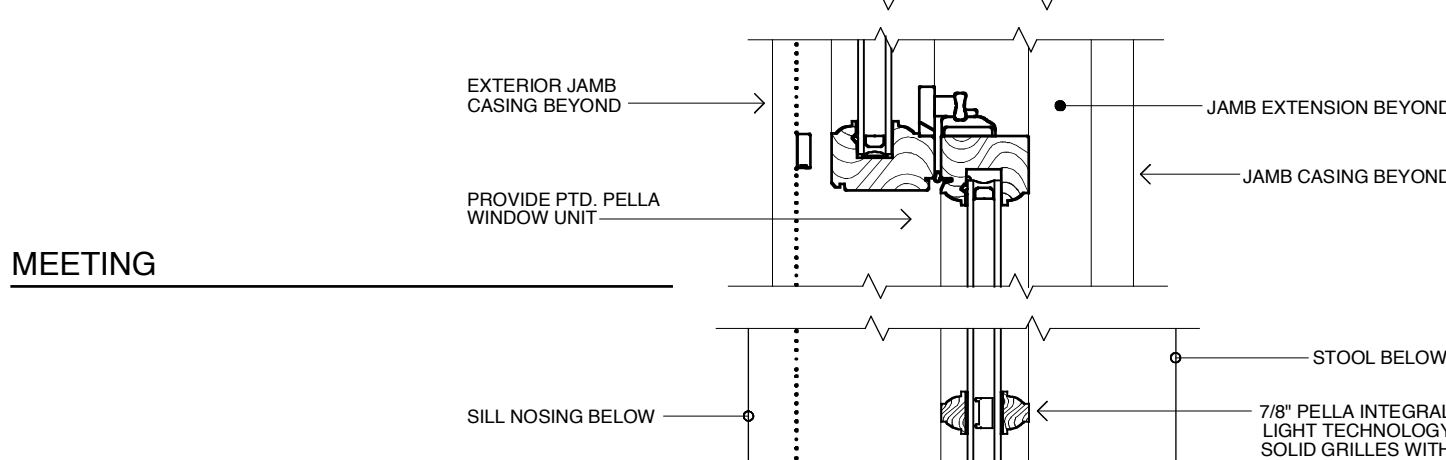
INTERIOR CASINGS AT H1-H2
Scale: 3" = 1'-0"



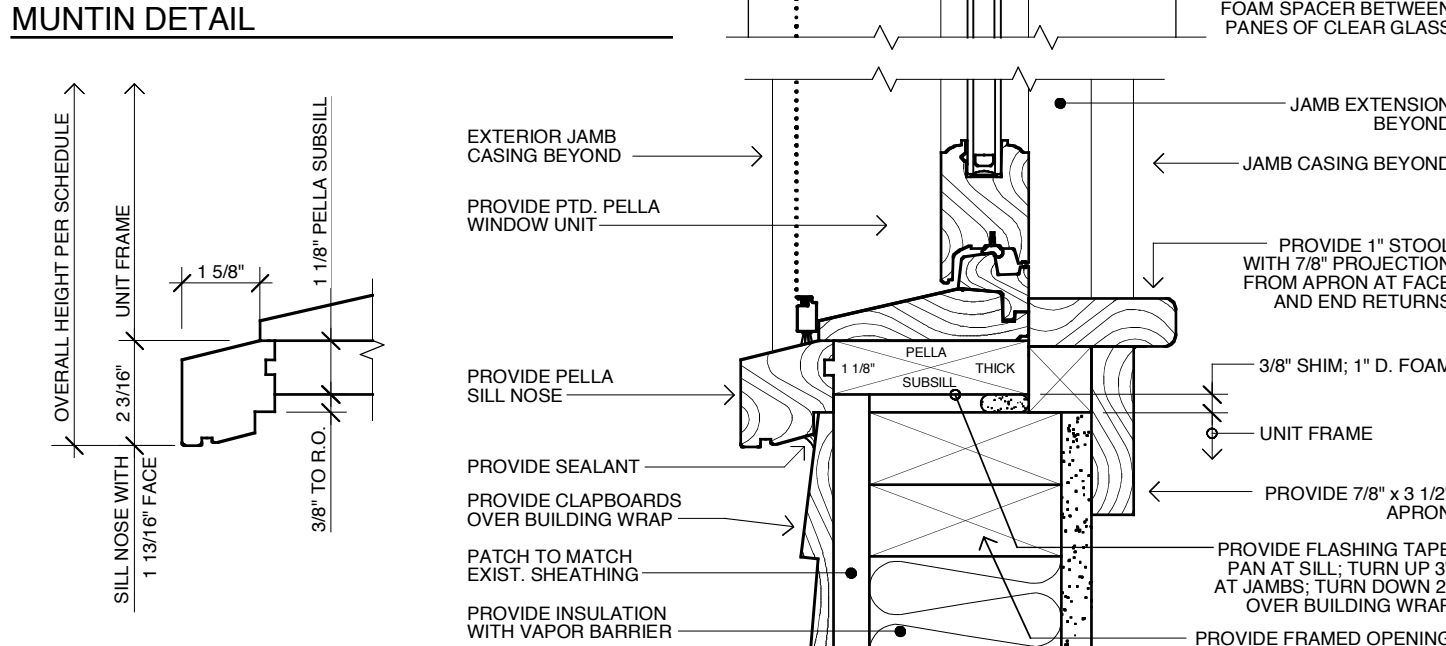
HEAD



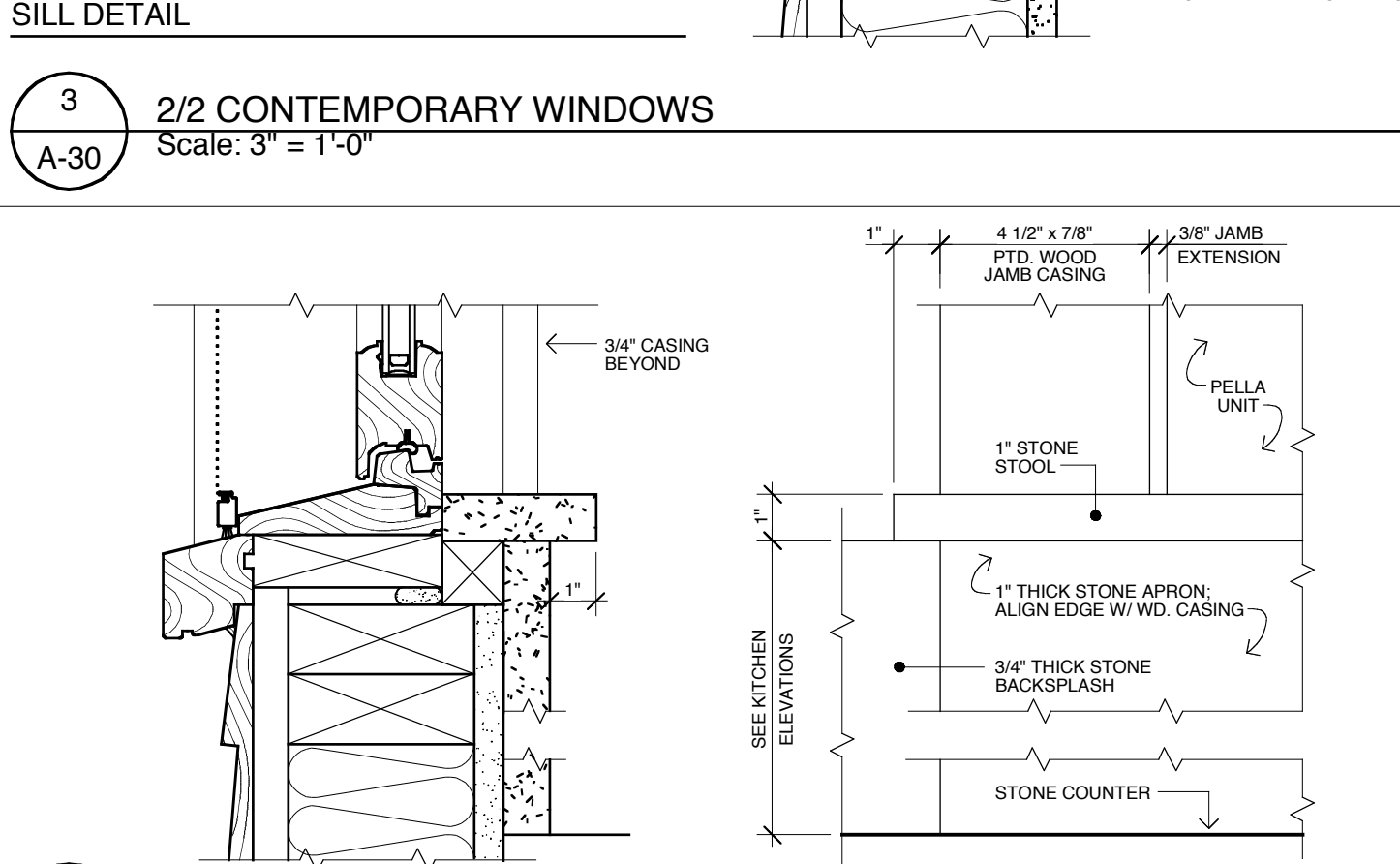
JAMB



MEETING

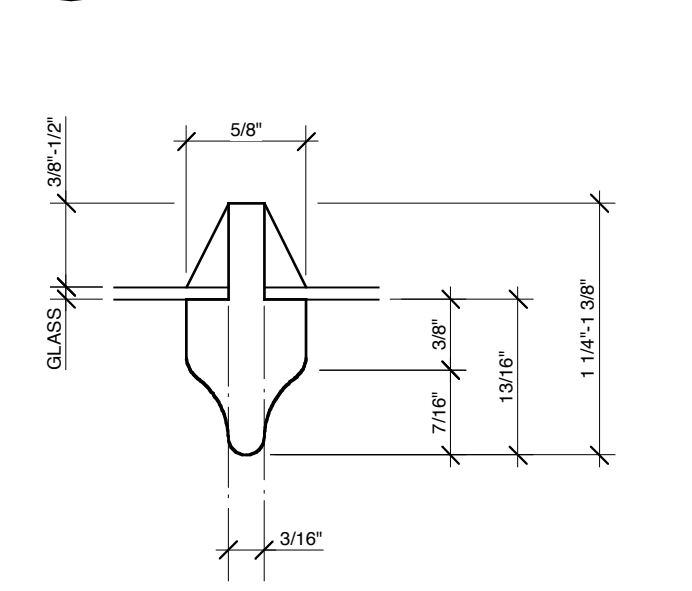


MUNTIN DETAIL

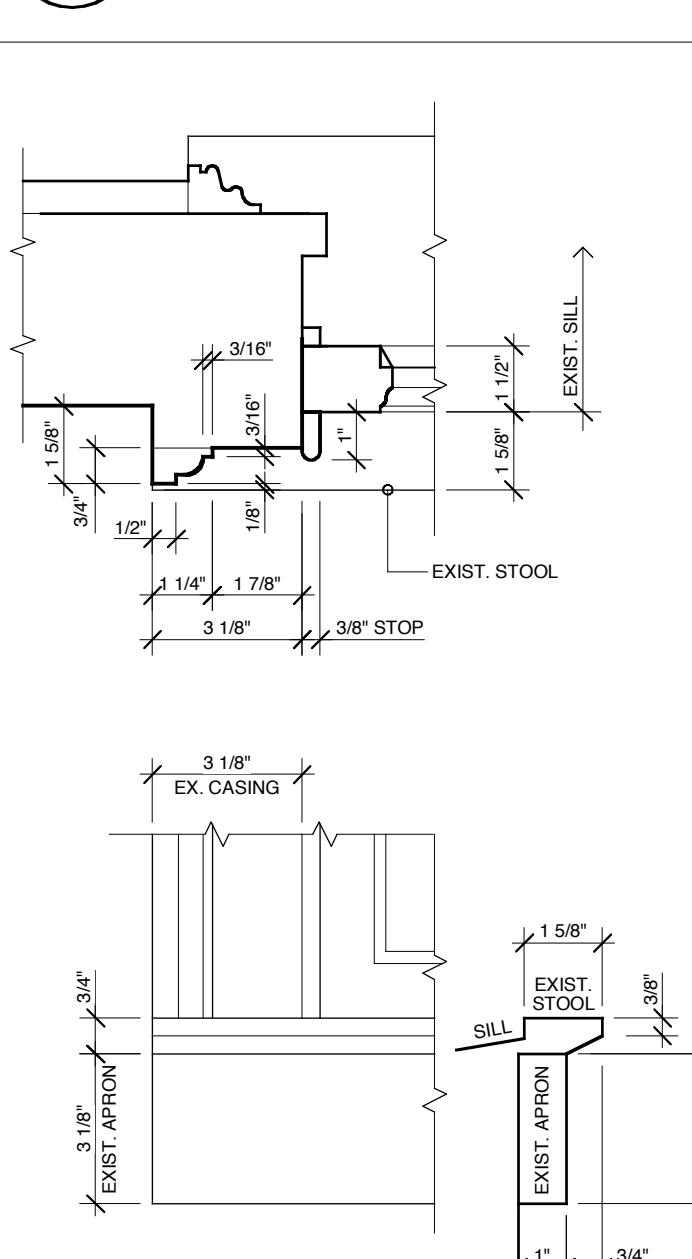


SILL DETAIL

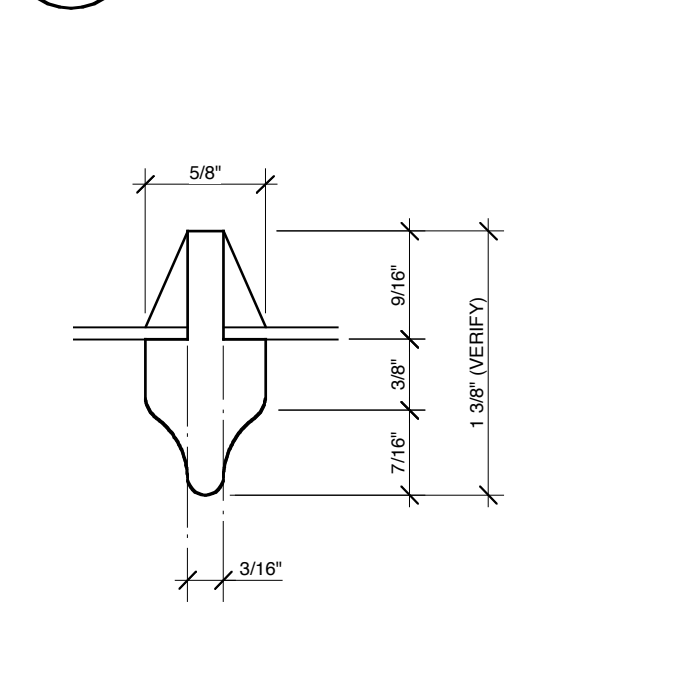
1D INTERIOR CASING VARIATION
Scale: 3" = 1'-0"



1B 6/6 MUNTIN AT UNIT A8
Scale: Actual Size

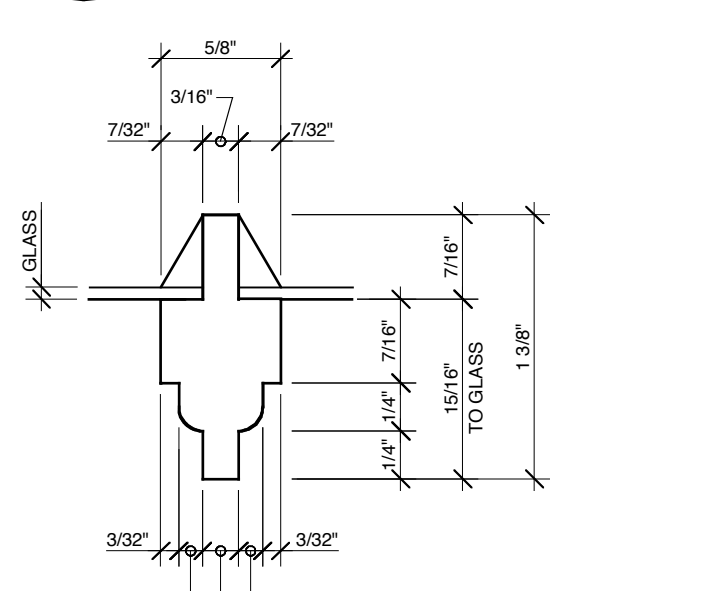


2D INTERIOR CASING VARIATION
Scale: 3" = 1'-0"

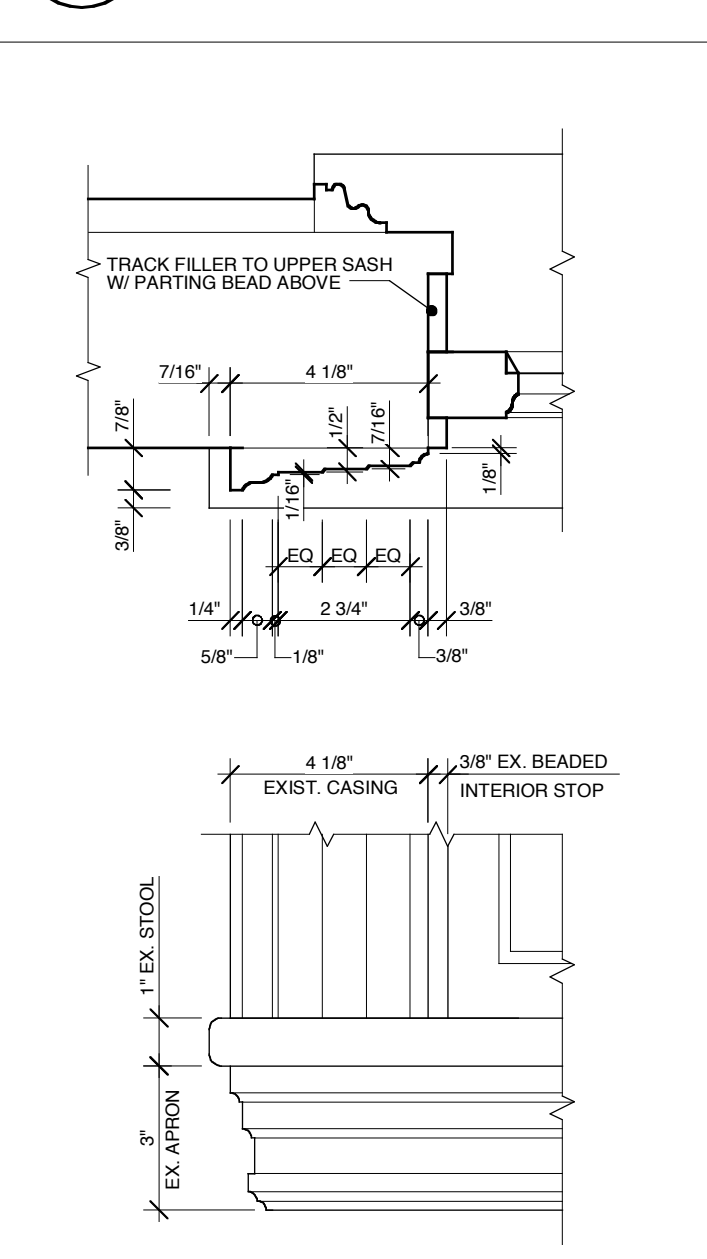


2/2 MUNTIN AT UNITS E1, E2
Scale: Actual Size

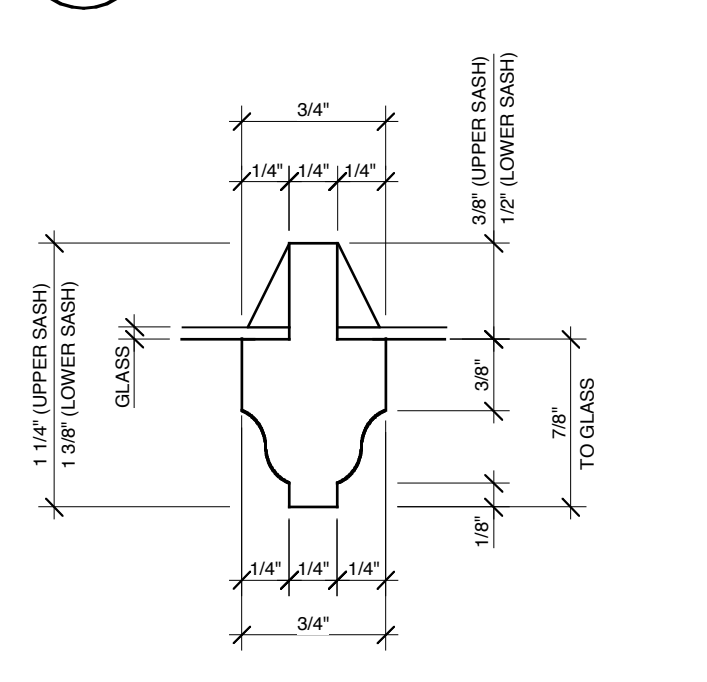
1C INTERIOR CASING VARIATION
Scale: 3" = 1'-0"



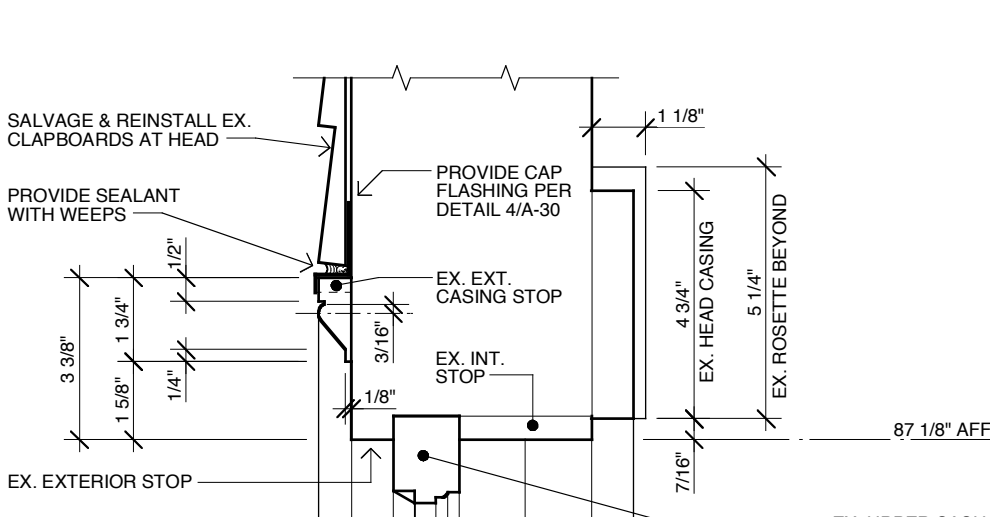
1A TYPICAL 6/6 MUNTIN
Scale: Actual Size



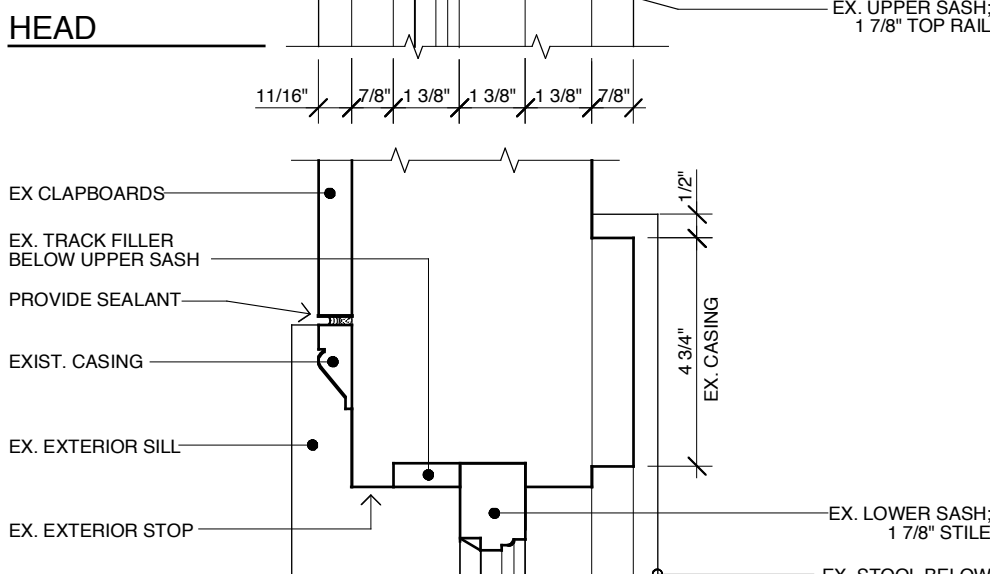
2C INTERIOR CASING VARIATION
Scale: 3" = 1'-0"



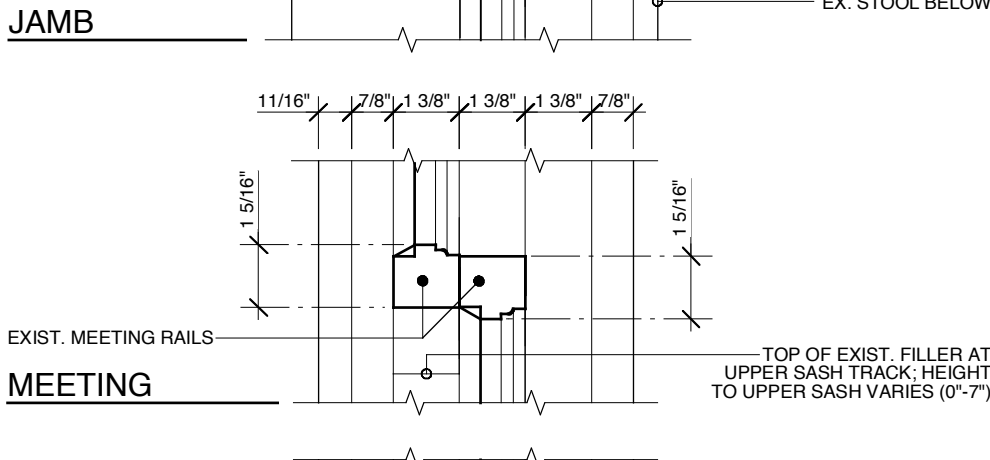
TYPICAL 2/2 MUNTIN
Scale: Actual Size



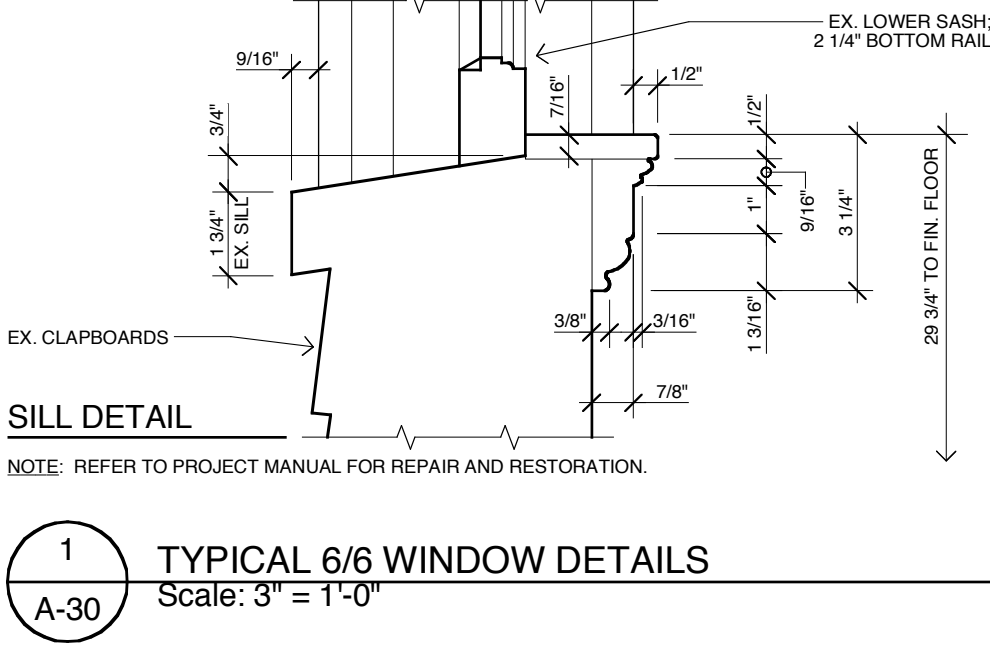
HEAD



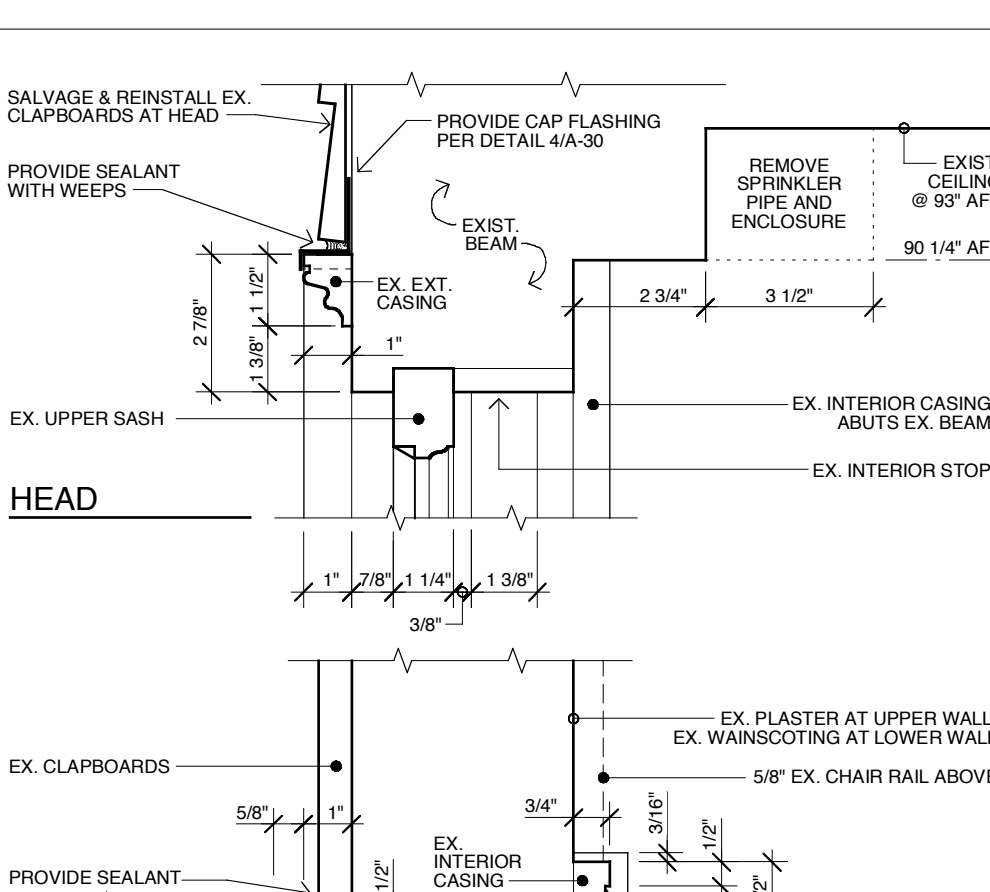
JAMB



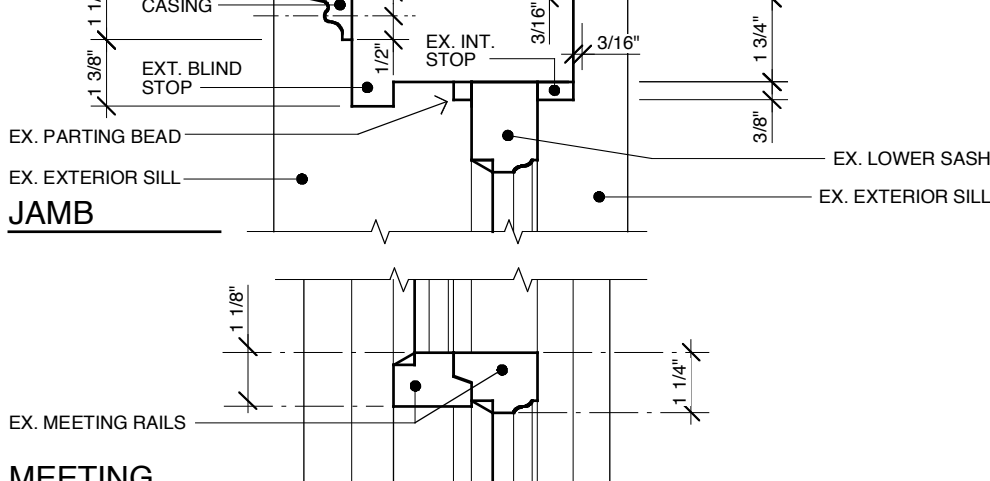
MEETING



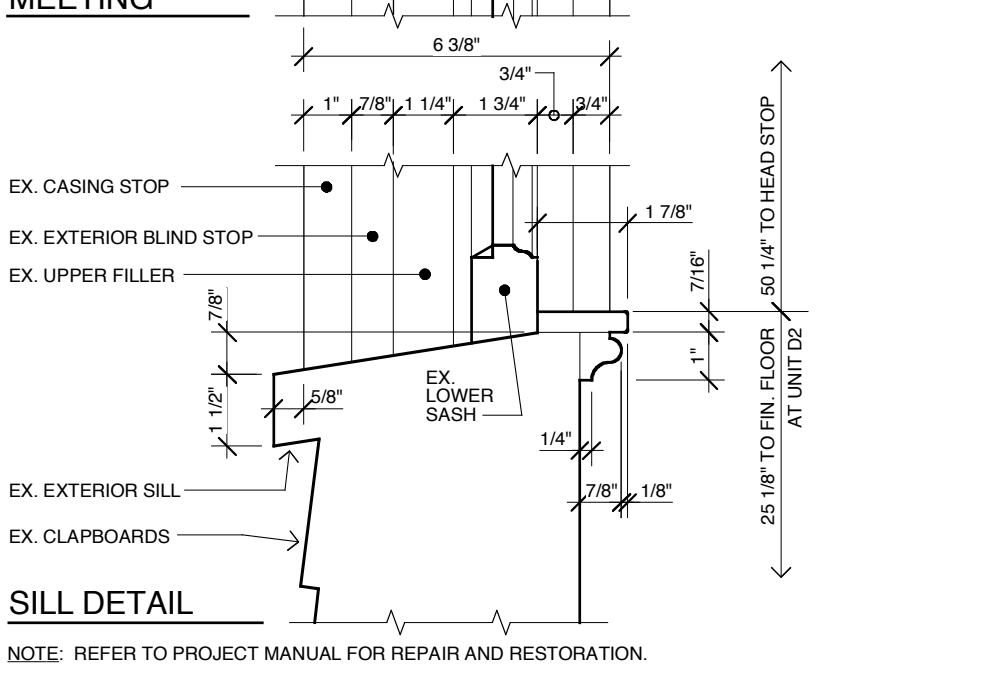
SILL DETAIL



HEAD



JAMB



MEETING



SILL DETAIL



MILLS
WHITAKER
ARCHITECTS
LLC

P.O. BOX 750089
ARLINGTON MA 02475
tel: 617-876-7611
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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE

PROJECT NAME:
PROJECT ADDRESS:

DATE: 4 AUGUST 2011

SHEET #:

A-30

WINDOW INFORMATION

DRAWING TITLE:

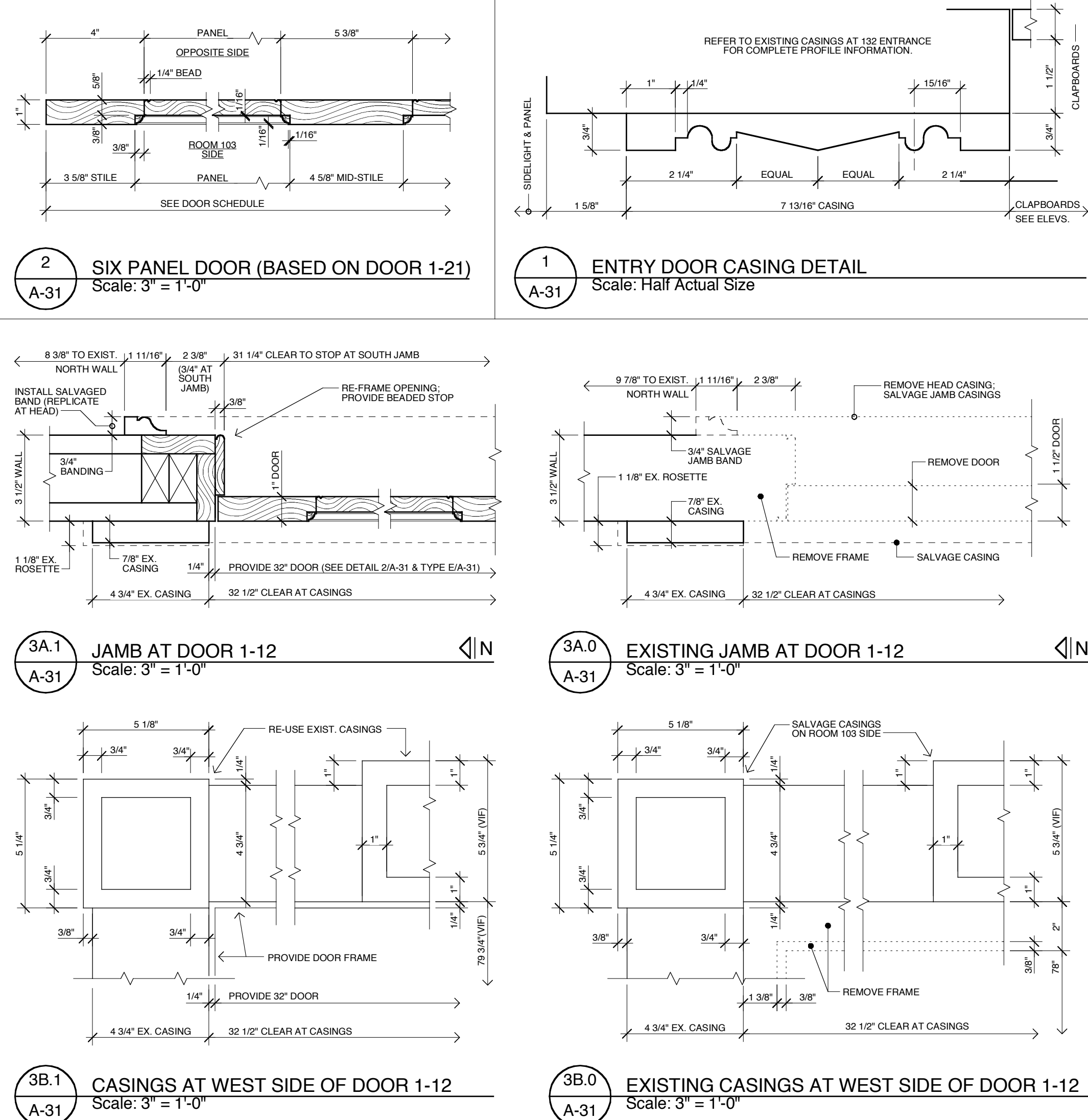
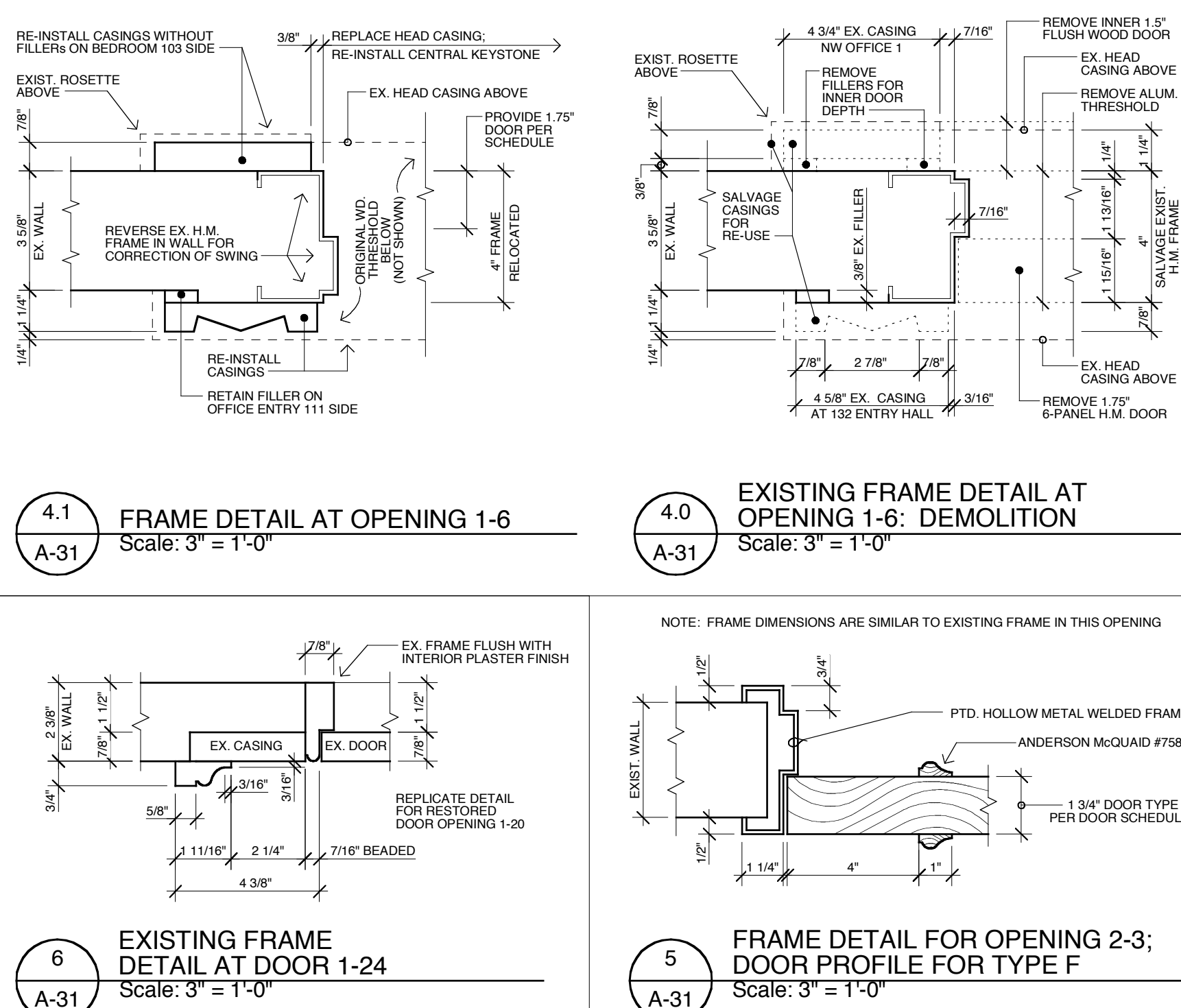
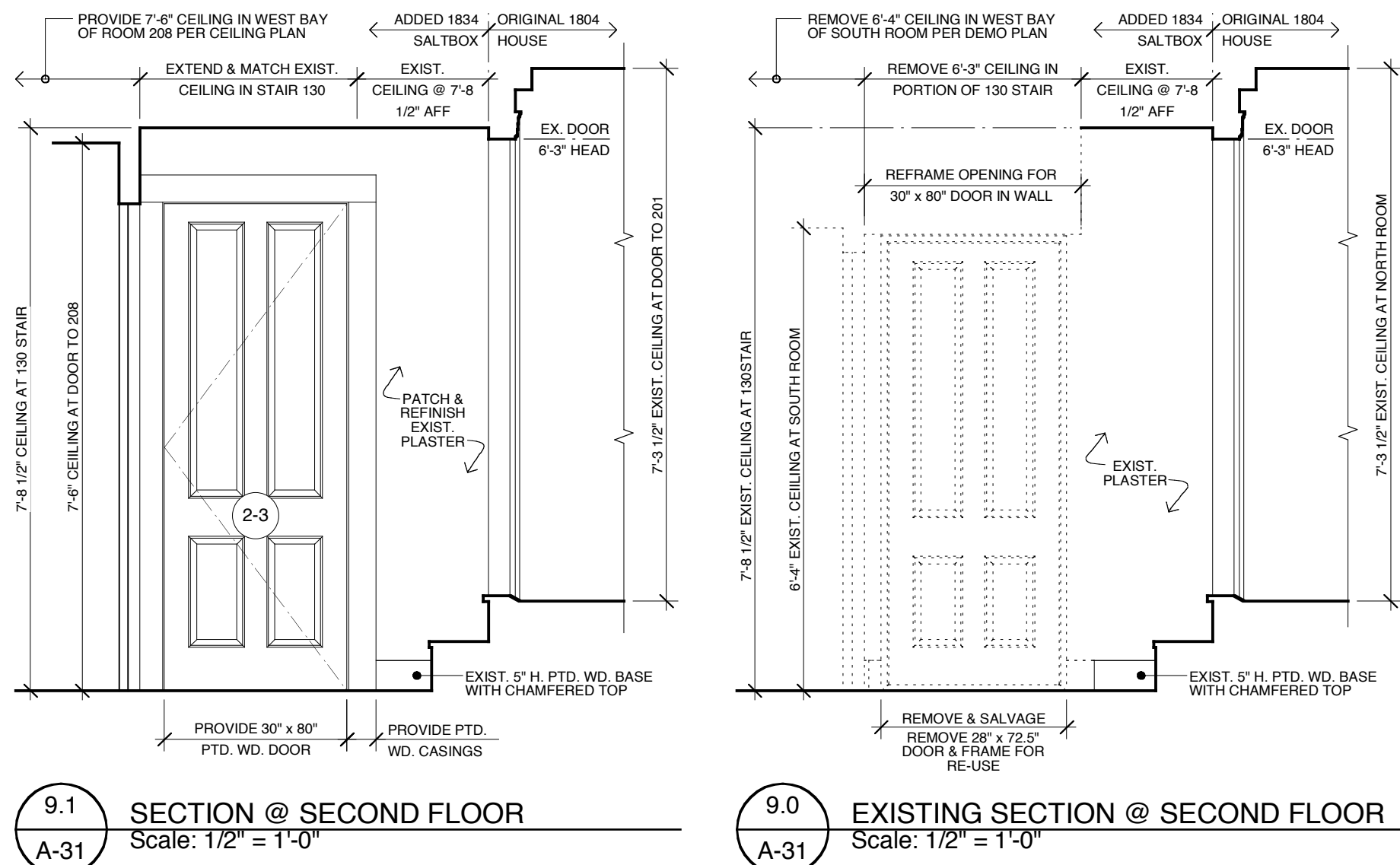
DOOR AND FRAME SCHEDULE									
DOOR DATA					HDWR SET	FRAME MAT'L	DETAIL INFO	REMARKS	
NO.	TYPE	SIZE	MTR'L	LABEL	MISC INFO				
0-1	FL	32" x 66" x 1.5"	WD	---	---	H0.01	WD	---	
0-2	---	VERIFY IN FIELD	STL	---	BILCO SIZE O	H0.02	STL	---	CLASSIC STEEL; PTD; 12" EXTEND
0-3	---	42" x 30" x 4"	WD	---	MATCH CRAWL SKIRT	H0.03	WD	---	SEE 1.1/A-20
0-4	---	40" x 36" x 2.25"	WD	---	MATCH DECK SKIRT	H0.04	WD	---	SEE 1.1/A-21
1-1	A + C	30" x 77" x 1.5"	EX WD	---	EX DR; REP FR-SL-TR	H1.01	EX WD	1/A-31	REPAIR EXISTING STORM DOOR
1-2	B + C	30" x 78" x 1.375"	EX WD	---	EX DR-FR-SL-TR	H1.02	EX WD	1/A-31	REPAIR EXISTING STORM DOOR
1-3	D	36" x 80" x 1.75"	WD	---	PELLA ASC	H1.03	MANU	3/A-30	SIMILAR DETAIL TO ELL WINDOWS
1-4	EX 4P	30.5" x 78.625" x 1.125"	EX WD	SR-TF	EX DR-FR-TR	H1.04	EX WD	EX	
1-5	EX 4P	29.75" x 77.25" x 1.125"	EX WD	SR-TF	EX DR-FR-TR	H1.05	EX WD	EX	
1-6	F	32" x 80" x 1.75"	WD	C	SEE DETAILS	H1.06	REL HM	4/A-31	REVERSE EX FR FOR INSWING
1-7	F	32" x 80" x 1.75"	WD	C	SEE DETAILS	H1.07	EX HM	4/A-31	
1-8	---	OPENING 36.25" x 76"	---	---	---	---	WD	5/A-40	
1-9	---	OPENING 34" x 76"	---	---	---	---	WD	8/A-31	
1-10	---	OPENING 34" x 76"	---	---	---	---	WD	8/A-31	
1-11	G	32" x 80" x 1.375"	WD	---	---	H1.11	WD	---	FLAT 4" CASINGS
1-12	E	32" x 80" x 1"	WD	---	SEE DETAILS	H1.12	WD	2 & 3/A-31	
1-13	EX 4P	28.625" x 78" x 1"	EX WD	---	EX DR-FR-TR	H1.13	EX WD	EX	
1-14	E	34" x 78" x 1"	WD	---	SEE DETAILS	H1.14	WD	2 & 3/A-31	
1-15	EX 4P	31" x 75" x .9375"	EX WD	---	EX DR-FR-TR	H1.15	EX WD	EX	SEAL DOOR IN PLACE
1-16	EX 4P	28.5" x 71.25" x .875"	EX WD	---	EX DR-FR-TR	H1.16	EX WD	EX	
1-17	EX 4P	29" x 79" x .7"	EX WD	---	EX DR-FR-TR	H1.17	EX WD	EX	PROVIDE TRIM @ BASEMENT SIDE
1-18	---	OPENING 35.5" x 76"	---	---	---	---	WD	5/A-40	
1-19	EX 4P	29.75" x 78.25" x 1"	EX WD	---	EX DR-FR-TR	H1.19	EX WD	EX	
1-20	EX 2V	18" x 69" x .875"	EX WD	---	EX DR-FR-TR	H1.20	EX WD	EX	MODEL FOR DOOR TYPE J
1-21	EX 6P	31.5" x 79" x 1"	EX WD	---	EX DR-FR-TR	H1.21	EX WD	EX	MODEL FOR DOOR TYPE E
1-22	---	NOT USED	---	---	---	---	---	---	
1-23	G (2P)	24" x 80" x 1.375"	WD	---	SEE A-40	H1.23	WD	---	FLAT 4" CASINGS
1-24	J	18" x 69" x .875	WD	---	REP DR #1-20	H1.24	WD	6/A-31	
2-1	H	30" x 80" x .875"	WD	SR-TF	REP DR-FR-TR	H2.01	WD	7/A-31	MATCH EXISTING CASING
2-2	F	32" x 80" x 1.75"	WD	C	REP EX TR	H2.02	REL HM	EX	USE "FILES" FRAME FOR INSWING
2-3	F	30" x 80" x 1.75"	WD	C	REP TR	H2.03	HM	5/A-31	
2-4	EX 4V	29" x 75" x .875"	EX WD	SR-TF	EX DR-FR-TR	H2.04	EX WD	EX	MODEL FOR DOOR TYPE H
2-5	EX 2V	19.75" x 75.5" x .75"	EX WD	---	EX DR-FR-TR	H2.05	EX WD	EX	
2-6	F	32" x 80" x 1.75"	WD	C	EX FR-TR	H2.06	EX HM	EX	
2-7	EX 4P	28" x 72.5" x 1.25"	REL WD	SR-TF	REL FROM 2-3	H2.07	REL WD	---	FLAT 4" CASINGS
2-8	EX 3V	28" x 73" x .875"	EX WD	SR-TF	EX DR-FR-TR	H2.08	EX WD	EX	
2-9	H	29.75" x 75.5" x .875"	WD	SR-TF	REP MISSING DOOR	H2.09	EX WD	EX	
2-10	EX 4P	29.75" x 77.5" x .875"	EX WD	SR-TF	REP TR	H2.10	EX WD	EX	
2-11	G	32" x 78" x 1.375"	WD	---	SEE A-41	H2.11	WD	---	FLAT 4" CASINGS
2-12	EX 2V	23" x 70" x .875"	EX WD	---	REL DR-FR-TR	H2.12	EX WD	REL EX	TRIM EX. FRAME HT. 4" (+/-)
2-13	EX 6P	31" x 79" x 1.5625"	EX WD	---	EX DR-FR-TR	H2.13	EX WD	EX	
2-14	EX 4P	28" x 76" x 1.25"	EX WD	---	EX DR-FR-TR	H2.14	EX WD	EX	
2-15	EX 2P	22.75" x 71.375" x 1"	EX WD	---	EX DR-FR-TR	H2.15	EX WD	EX	SEAL DOOR IN PLACE

ABBREVIATIONS:
 ASW = ARCHITECT SERIES WOOD
 EX = EXISTING
 ETR = EXISTING TO REMAIN
 DR = DOOR
 FL = FLUSH

FR = FRAME
 SL = SIDELIGHT
 P = DOOR PANELS
 PR = PAIR
 REL = RELOCATE

REP = REPLICATE
 SR = SMOKE RESISTIVE (*)
 STL = STEEL
 TF = TIGHT FITTING (*)

TR = TRIM
 V = VERTICAL PLANKS
 WD = WOOD
 (*) PER IEBC 2009 - 1103.6



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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
 130-132 PLEASANT STREET
 PORTLAND MAINE

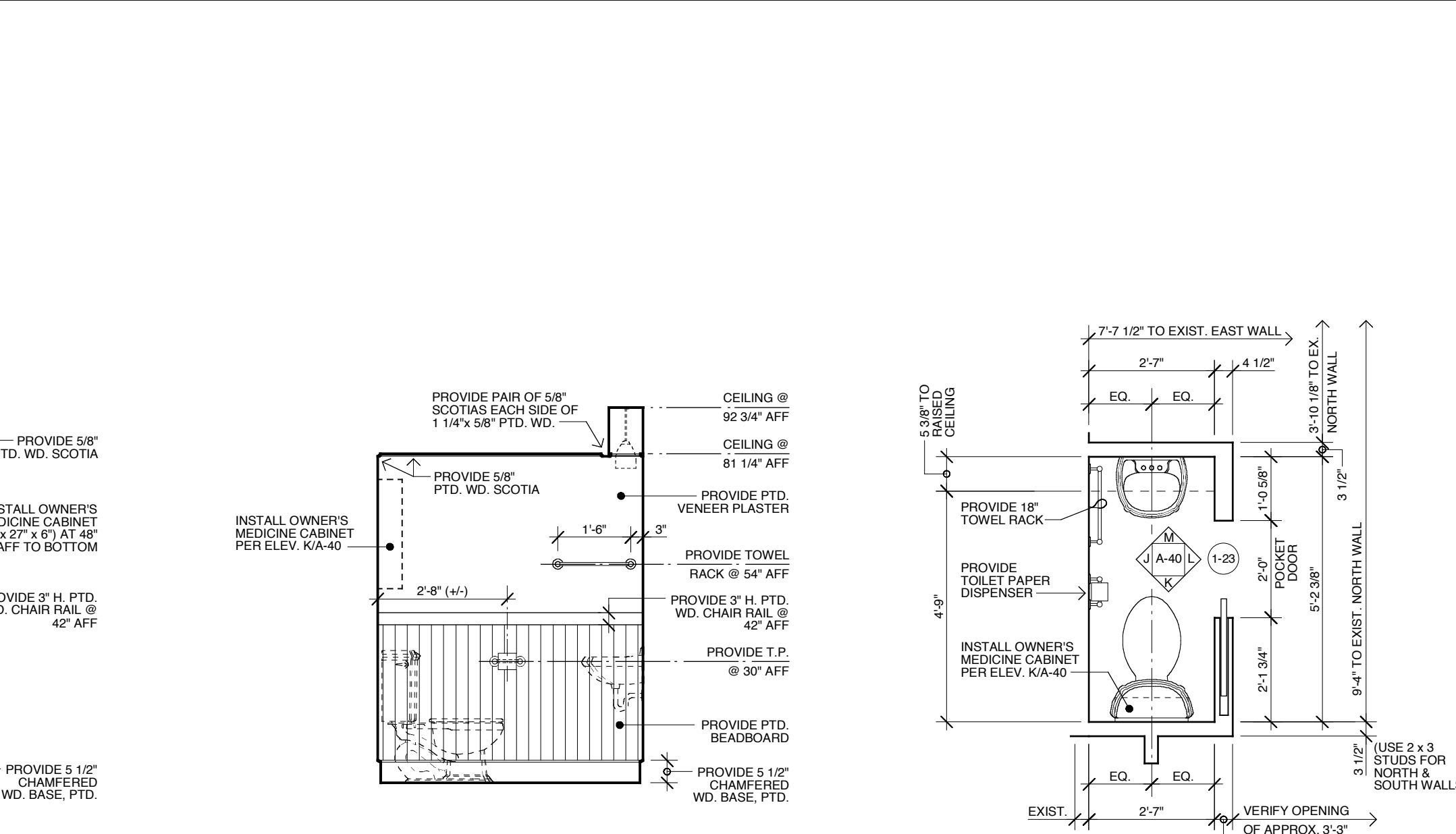
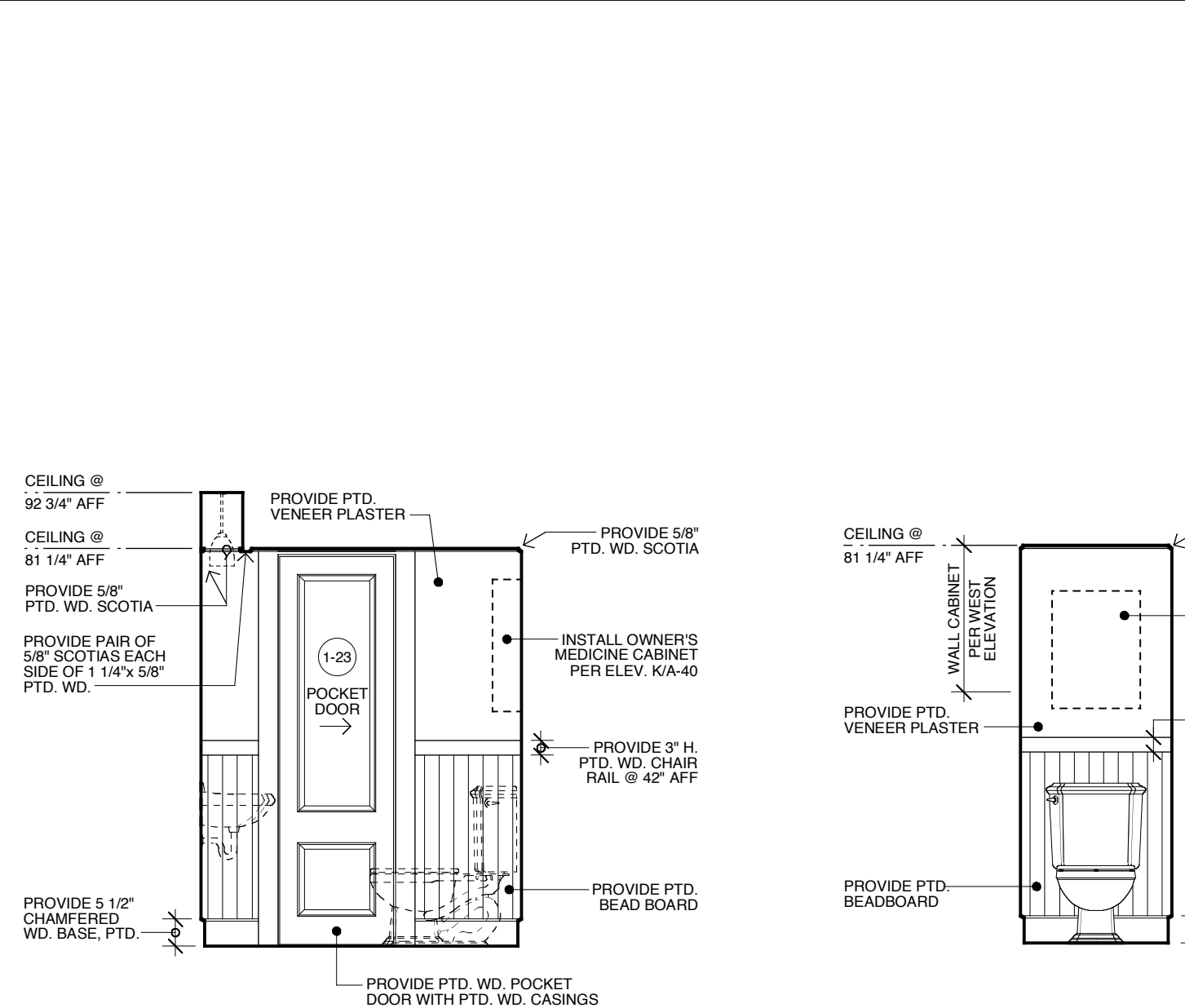
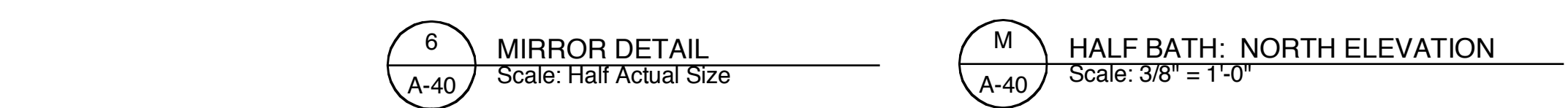
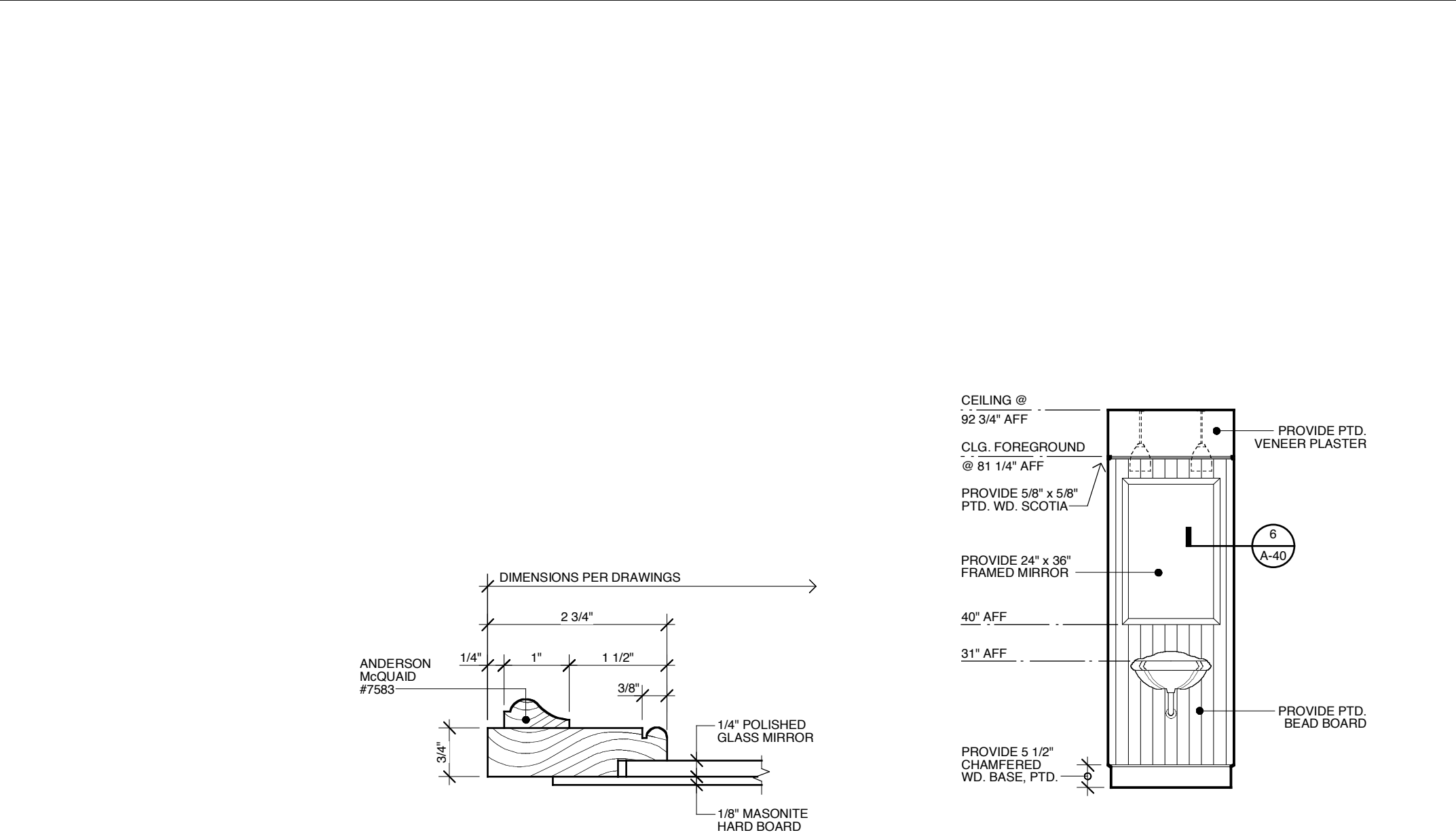
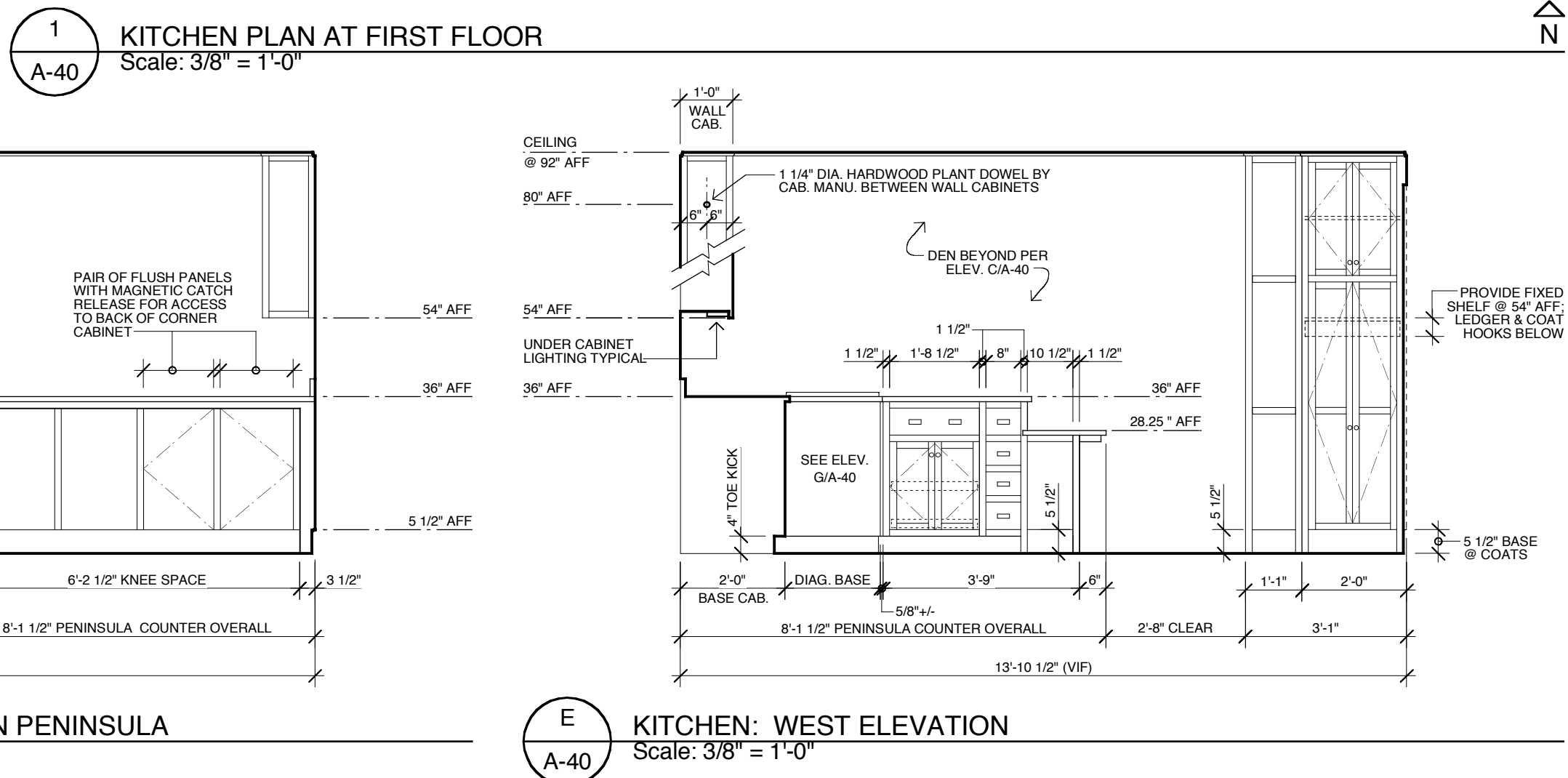
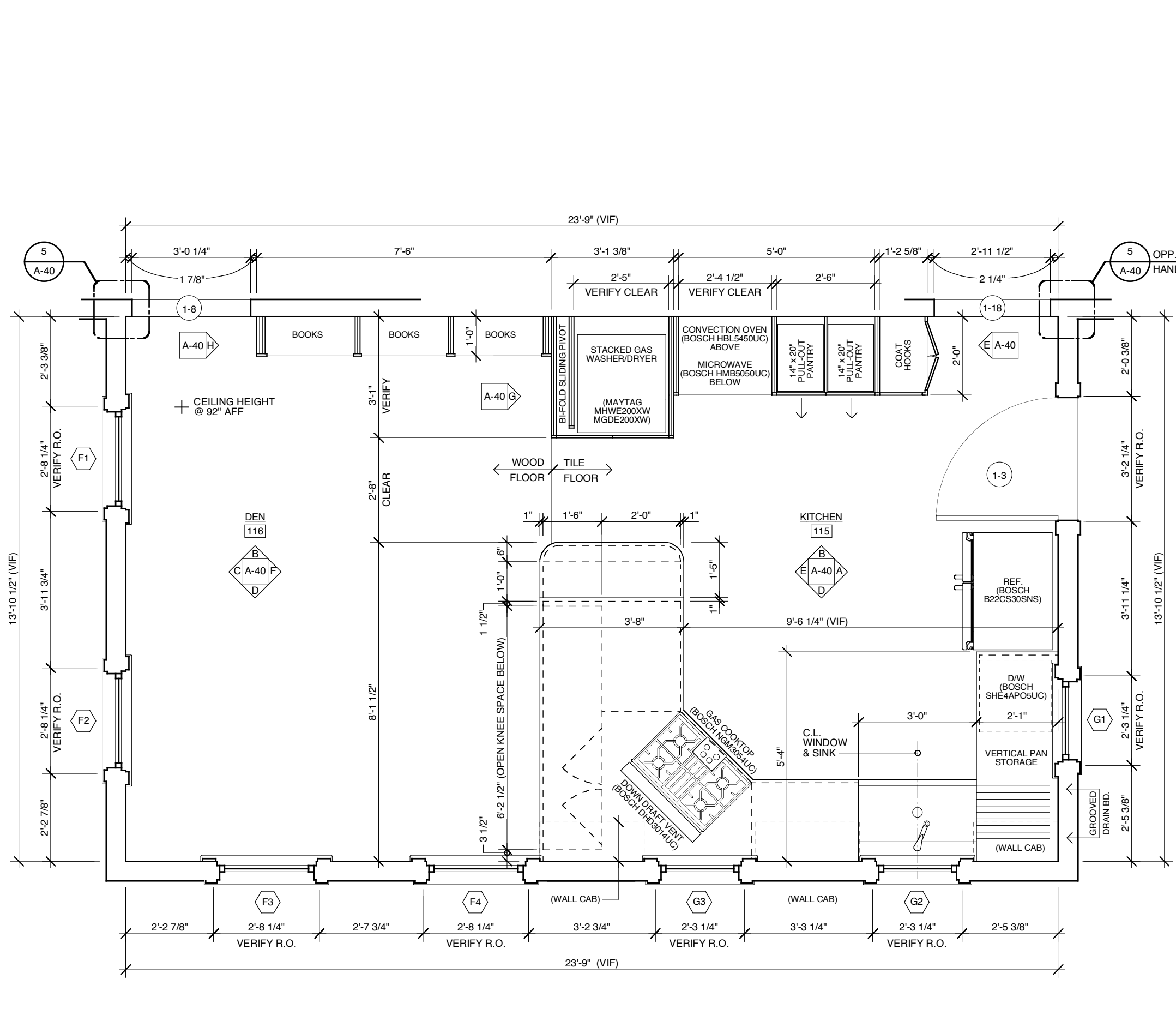
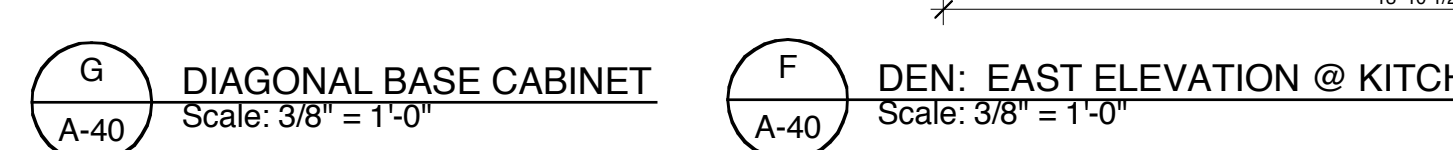
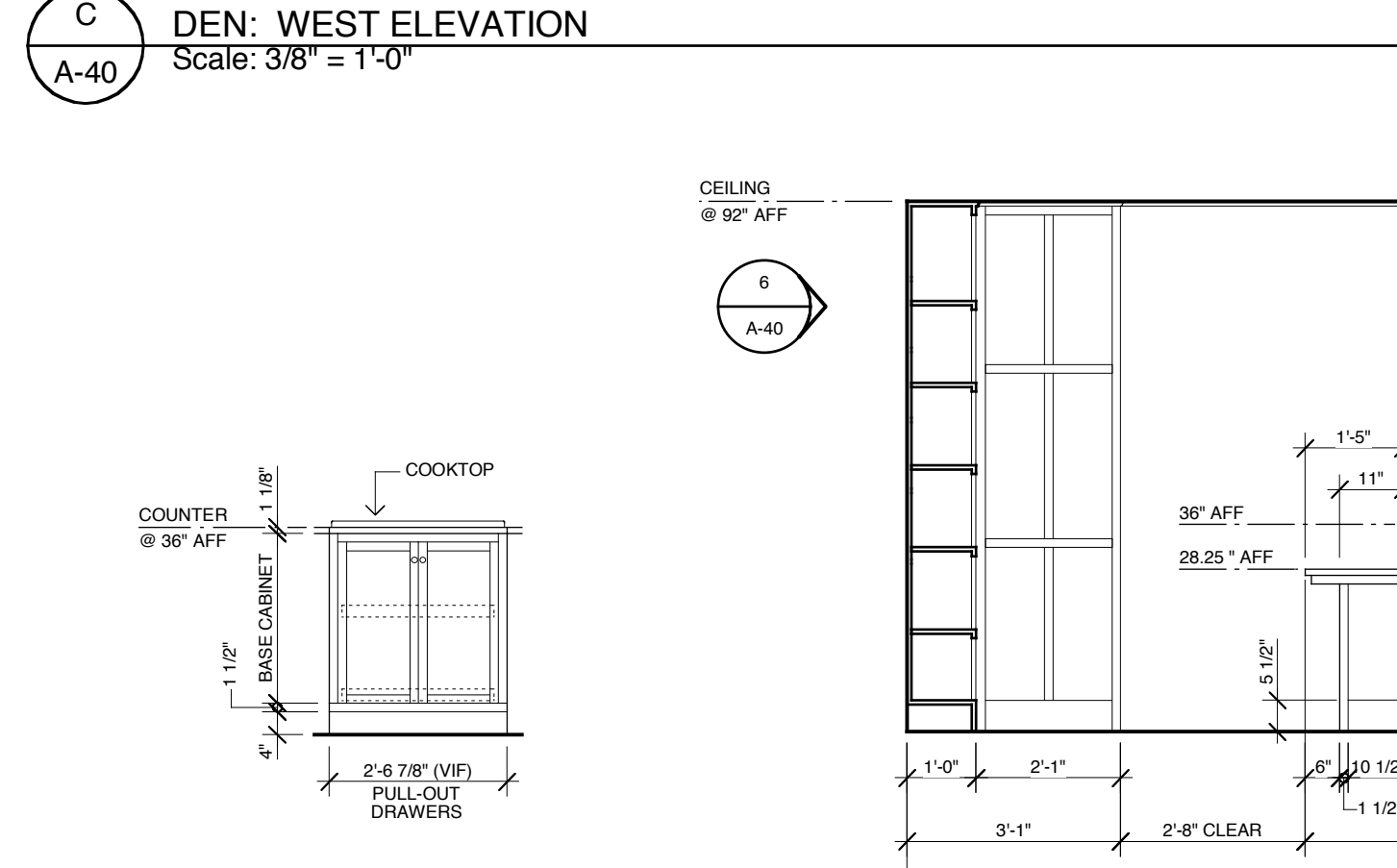
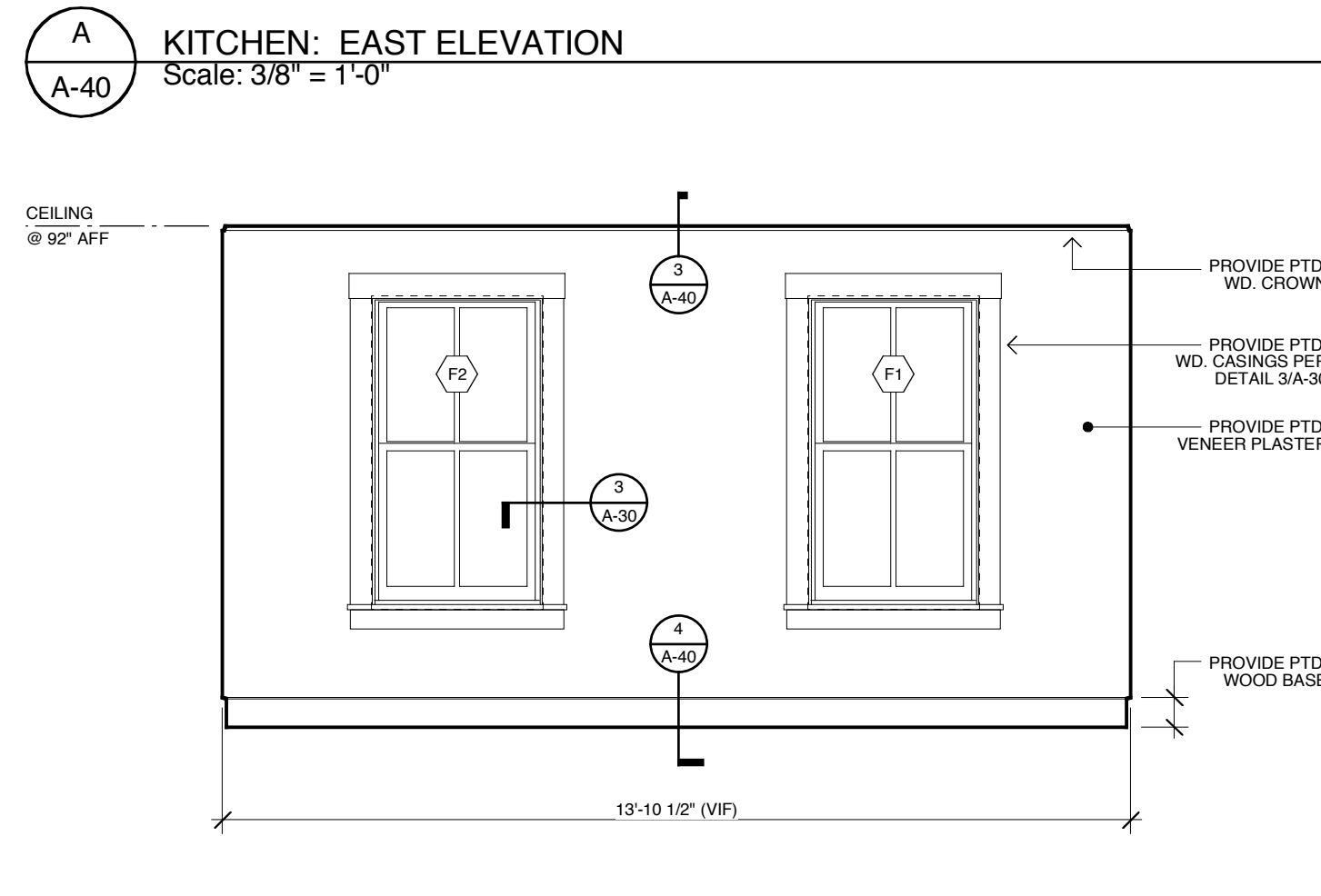
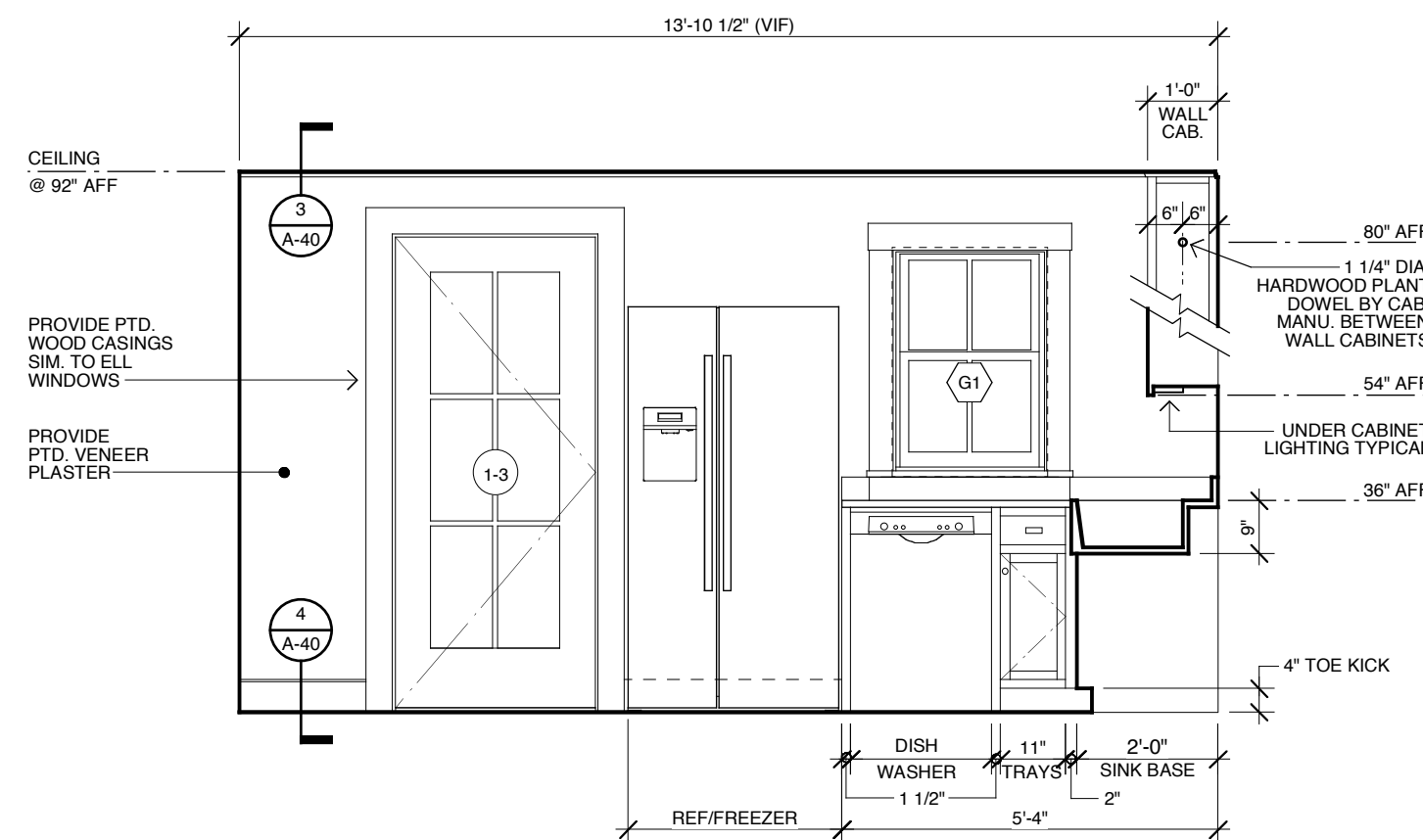
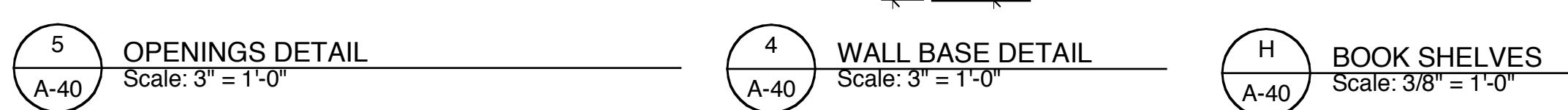
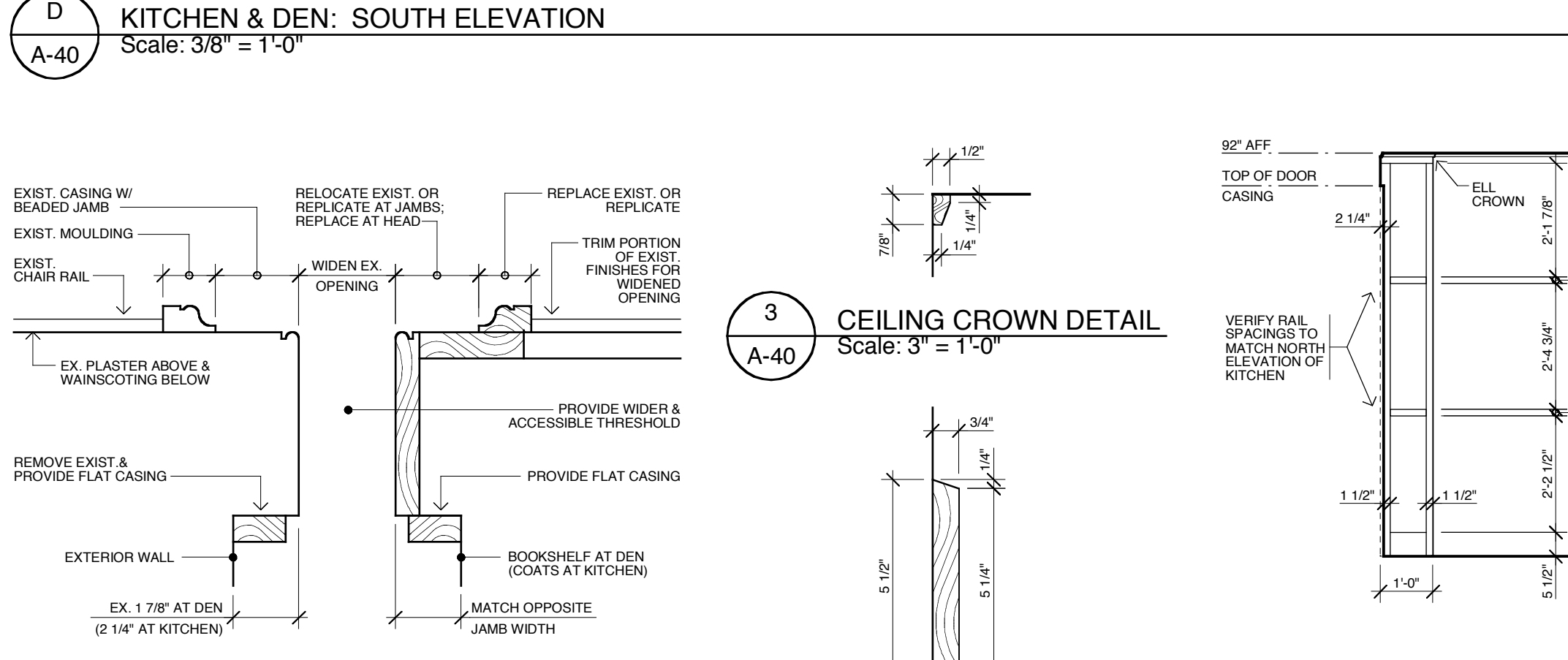
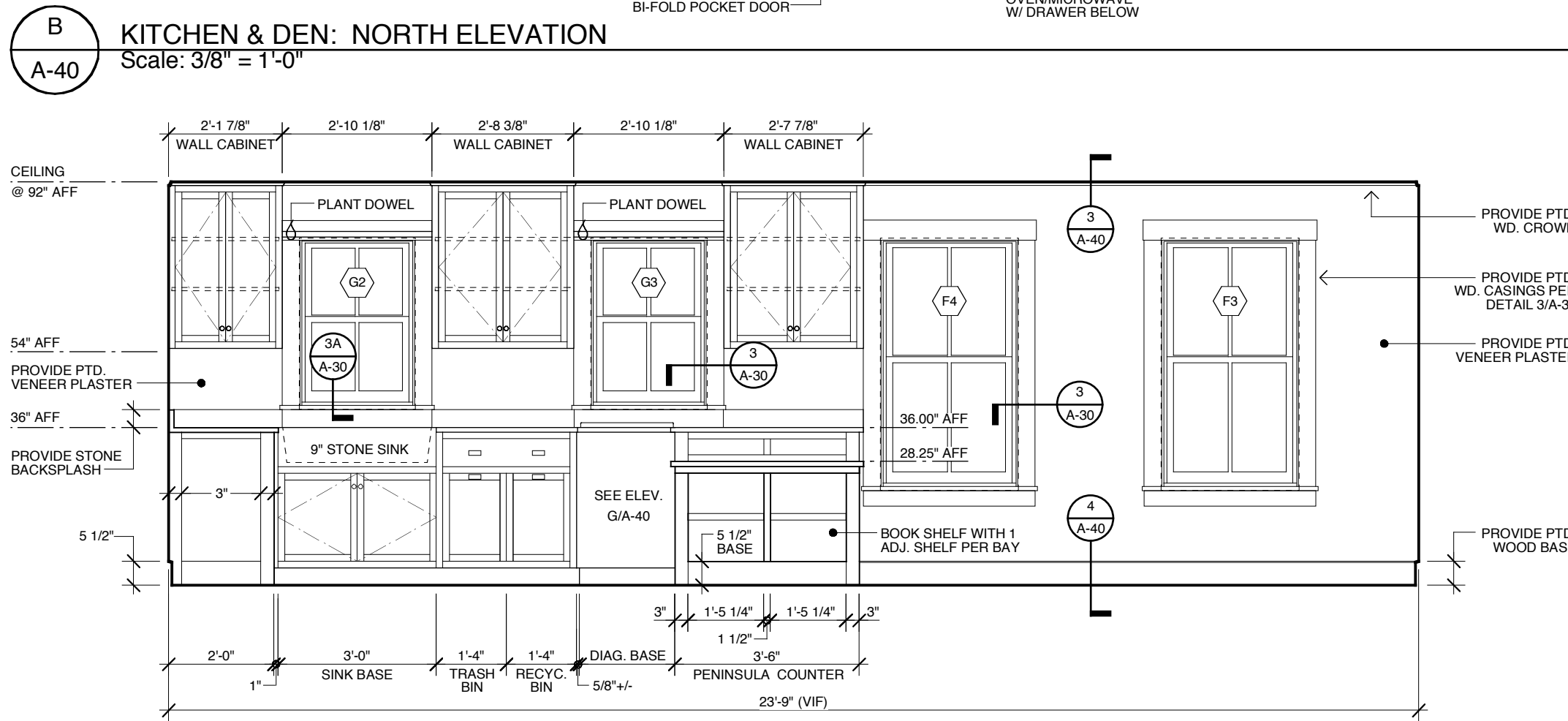
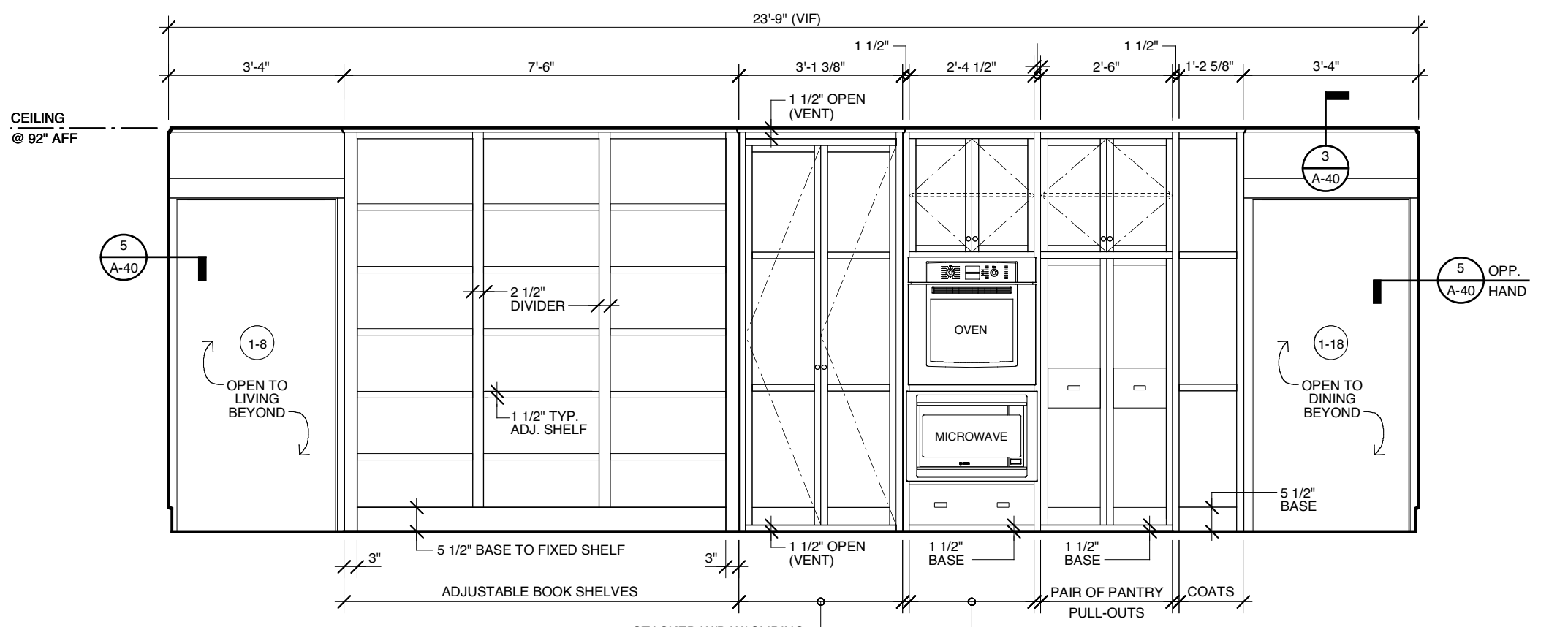
DOOR INFORMATION

PROJECT NAME:
PROJECT ADDRESS:

DATE: 4 AUGUST 2011

SHEET #:

A-31



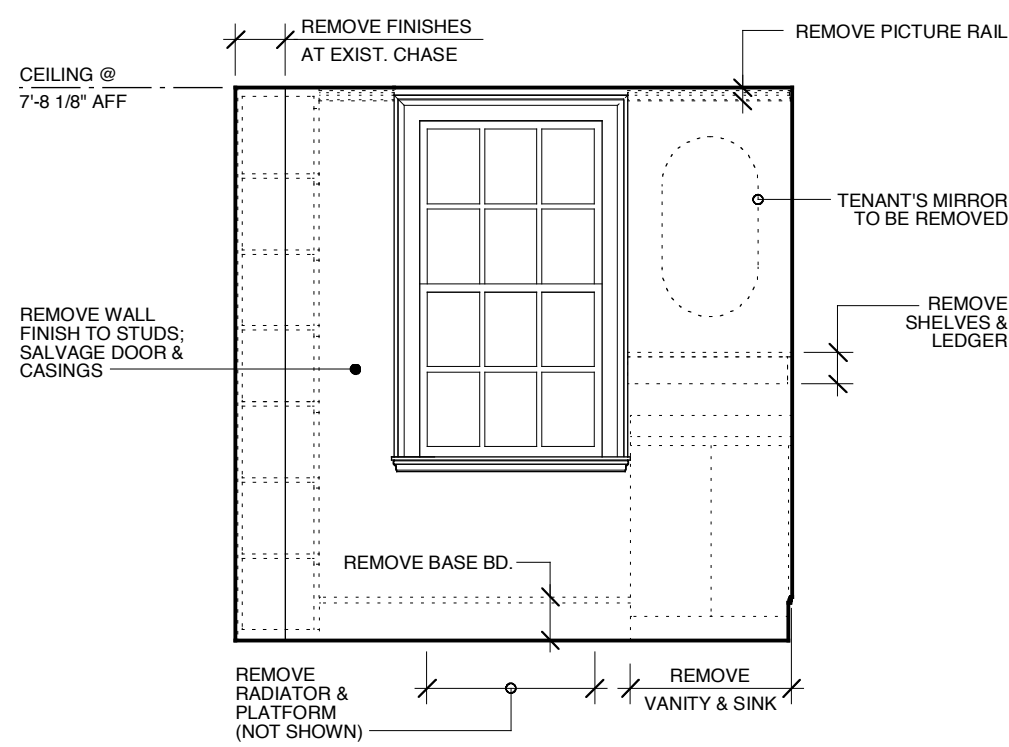
DONALD W. MILLS
No. 3324
STATE OF MAINE

MILLS WHITAKER ARCHITECTS LLC
P.O. BOX 750089
ARLINGTON MA 02475
tel: 617-876-7611
fax: 617-876-6420

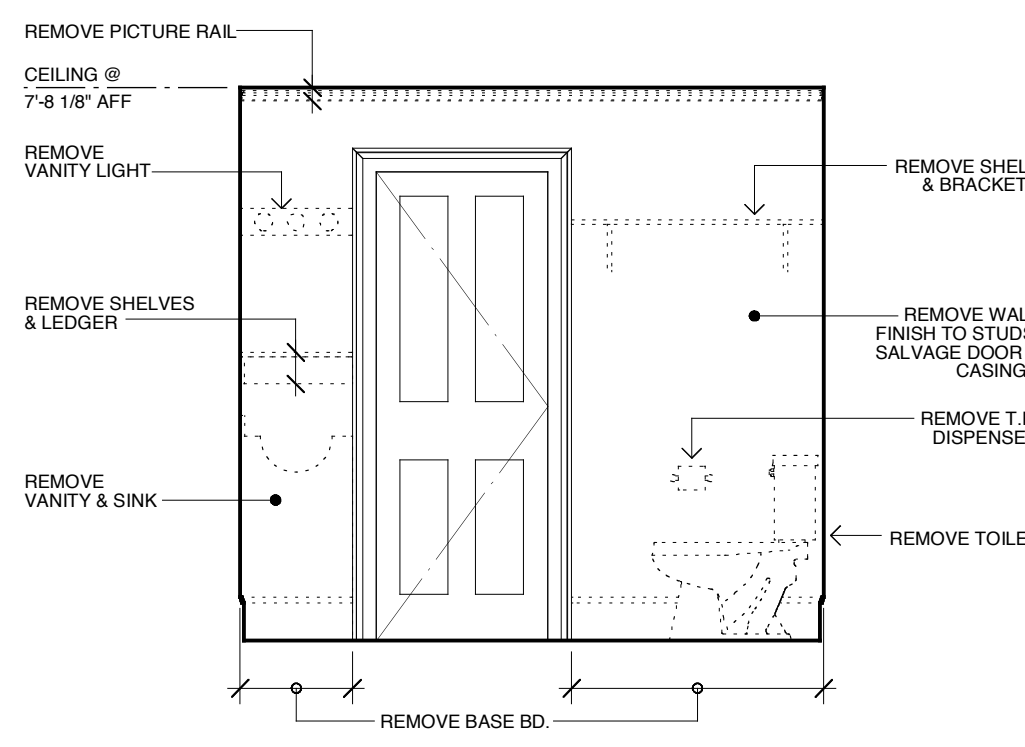
RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE

INTERIORS: KITCHEN, DEN & HALF BATH

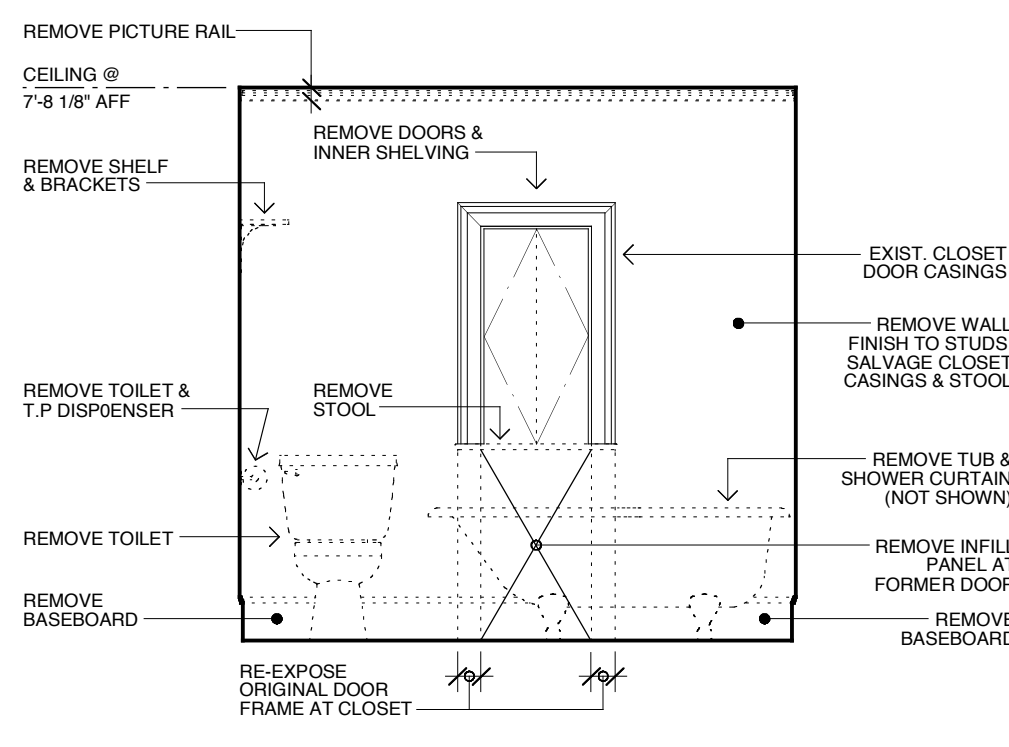
PROJECT NAME:
PROJECT ADDRESS:
DATE: 4 AUGUST 2011
SHEET #: **A-40**



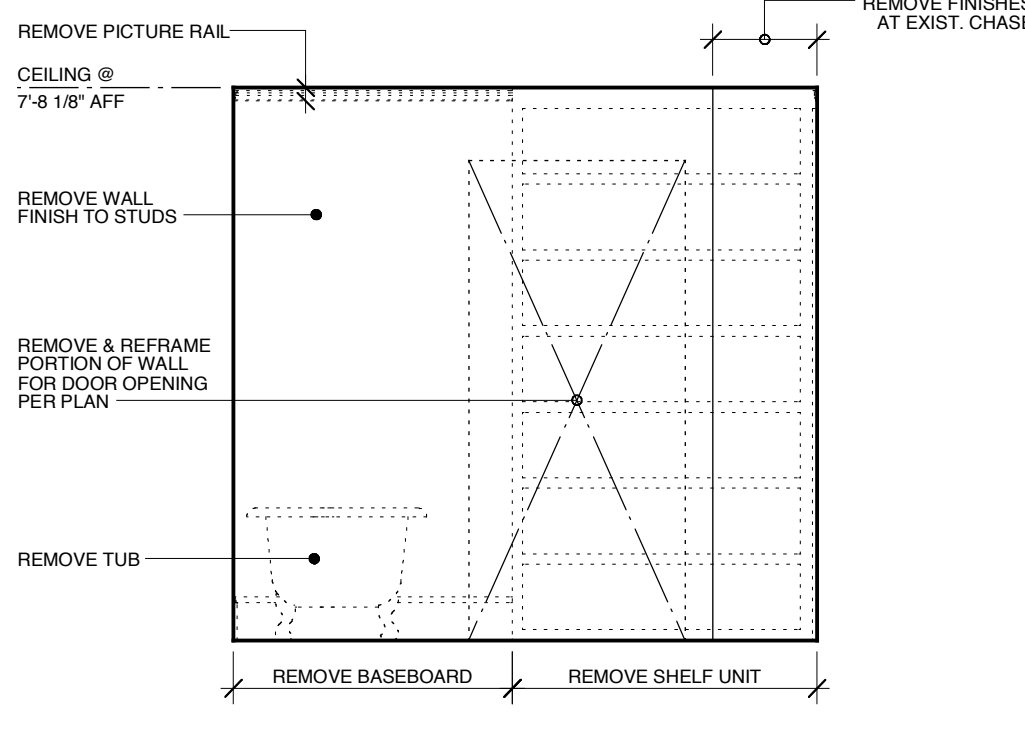
D.0
A-41 EXISTING NORTH ELEVATION
AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



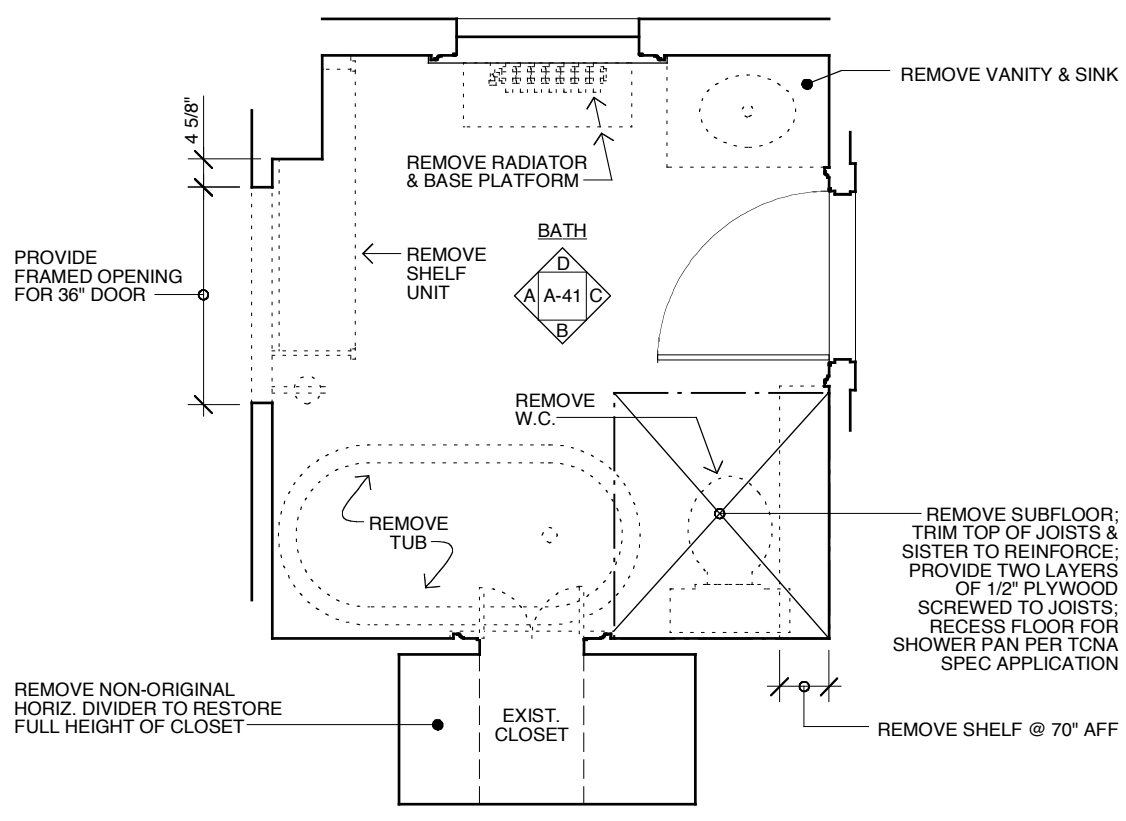
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A-41 EXISTING EAST ELEVATION
AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



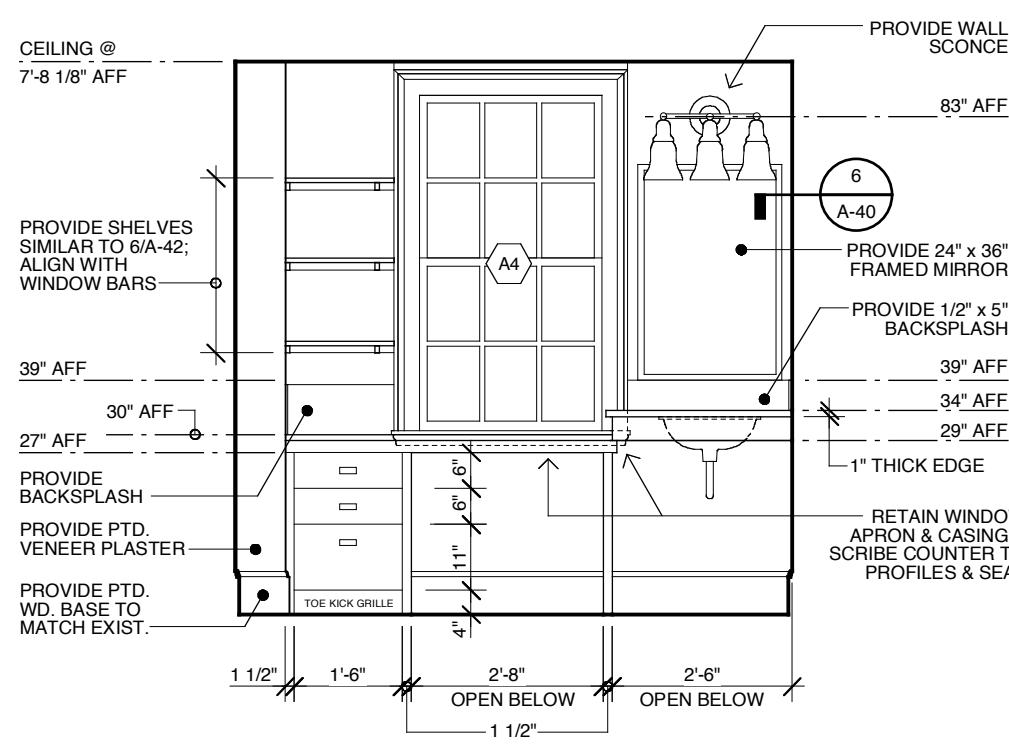
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A-41 EXISTING SOUTH ELEVATION
AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



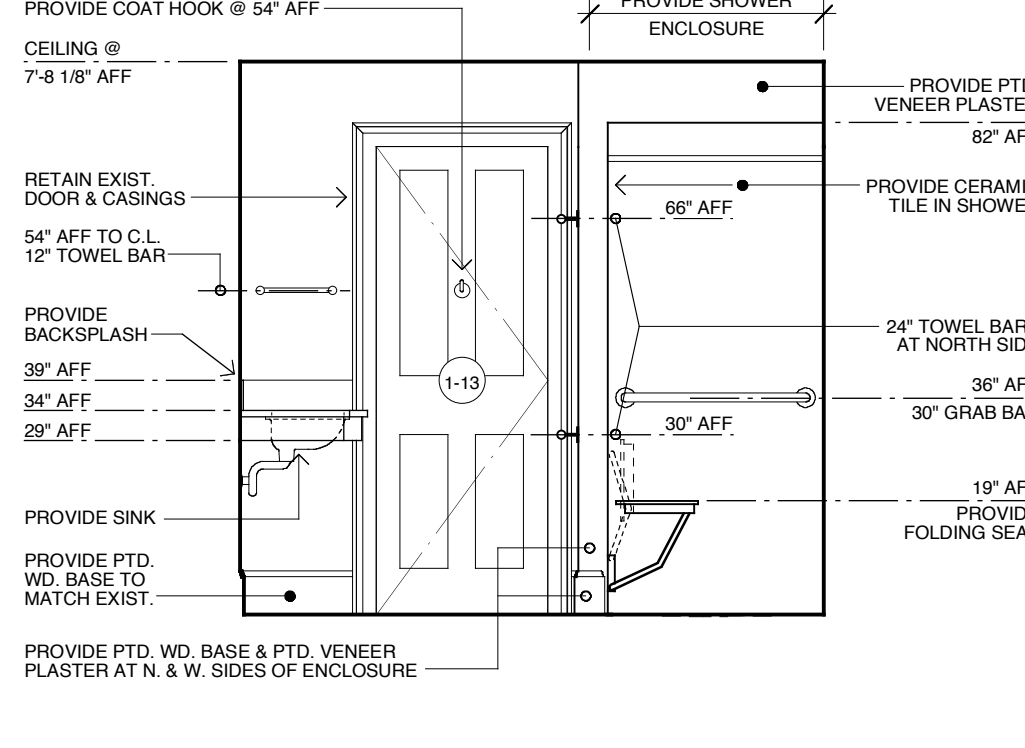
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AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



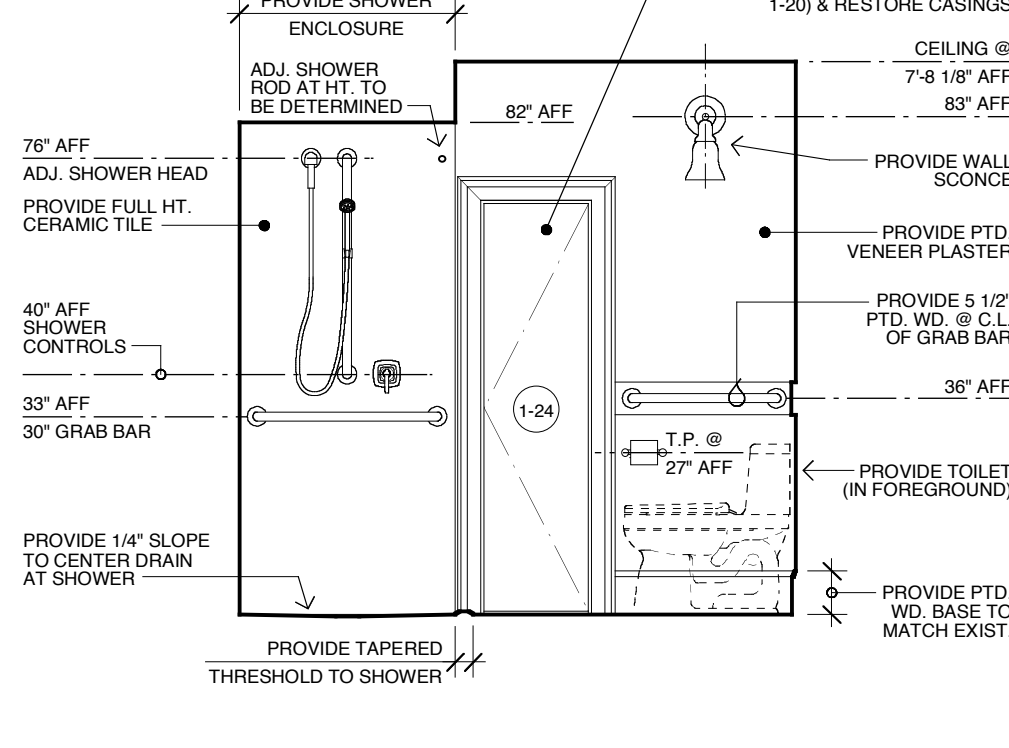
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A-41 EXISTING FIRST FLOOR BATHROOM PLAN
Scale: 3/8" = 1'-0"



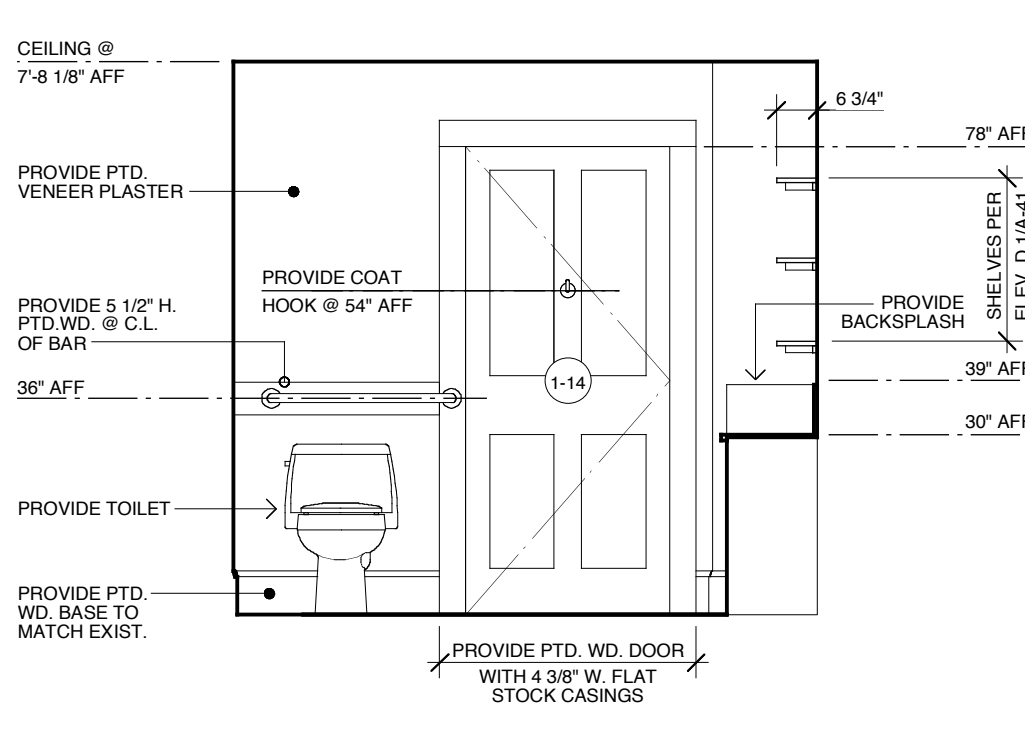
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A-41 NORTH ELEVATION
AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



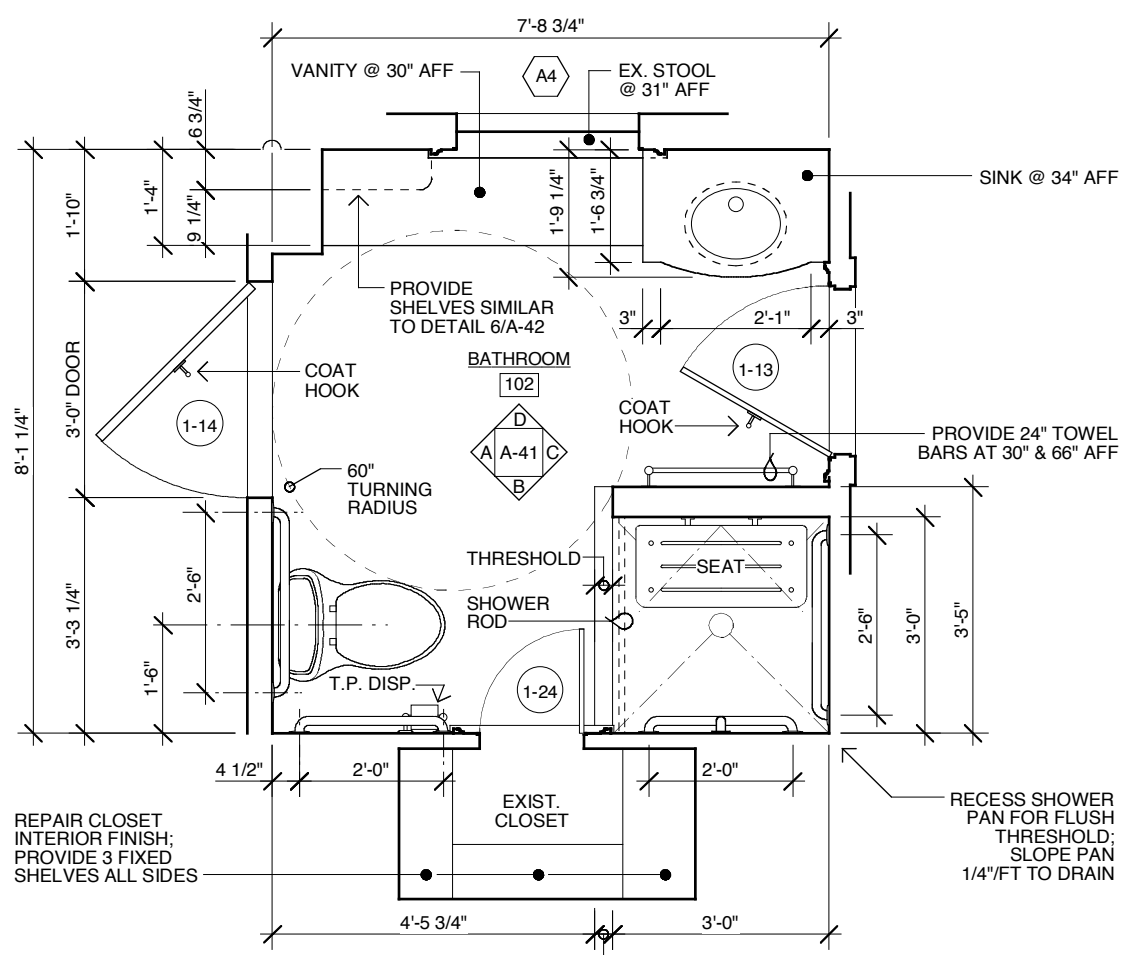
C.1
A-41 EAST ELEVATION
AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



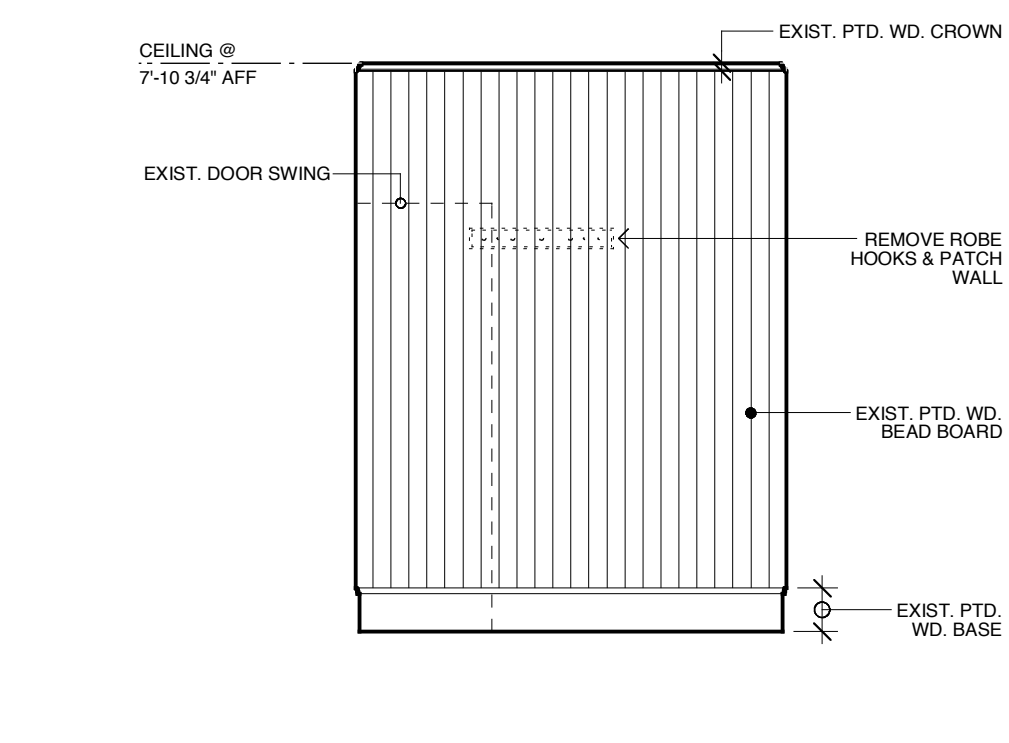
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AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



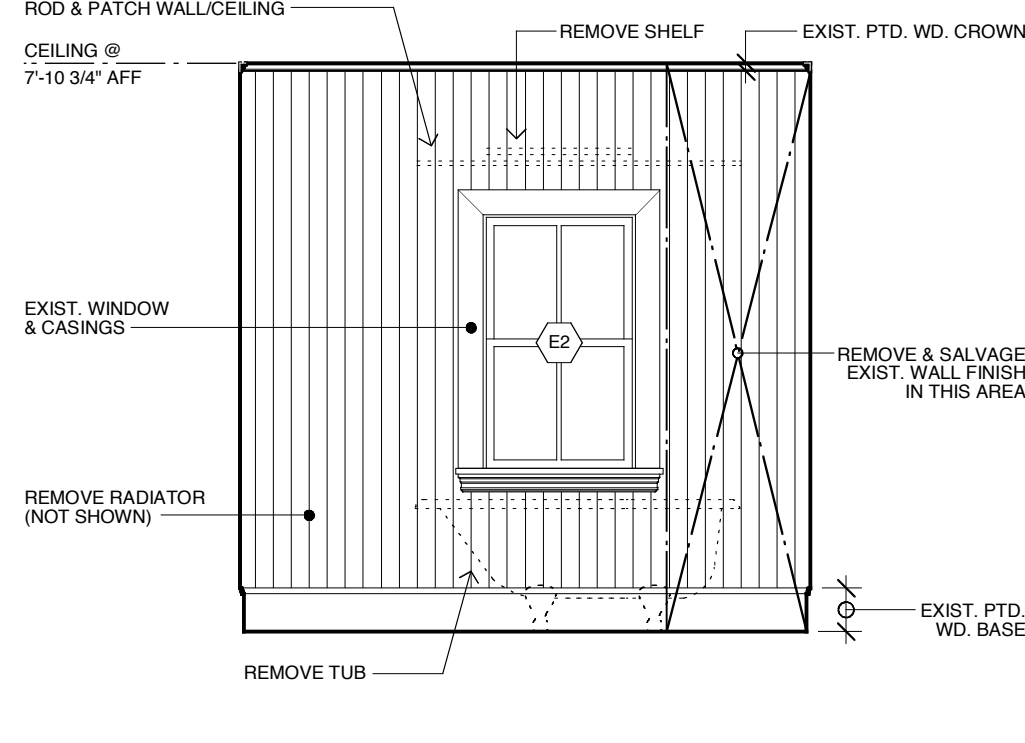
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A-41 WEST ELEVATION
AT FIRST FLOOR BATHROOM
Scale: 3/8" = 1'-0"



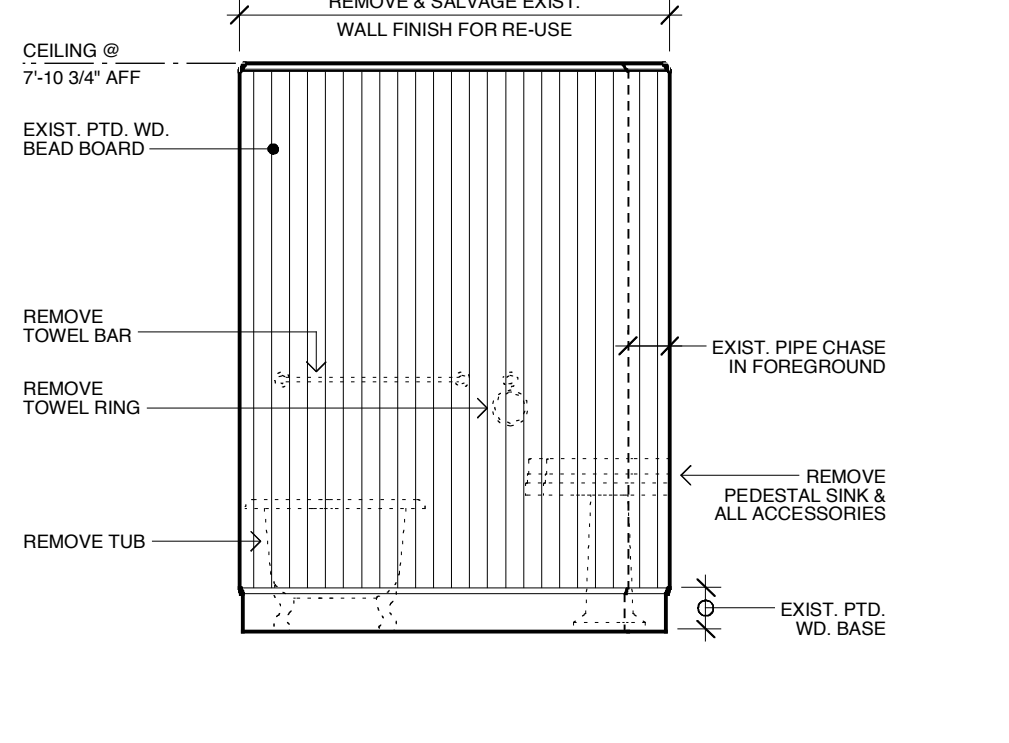
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A-41 FIRST FLOOR BATHROOM PLAN
Scale: 3/8" = 1'-0"



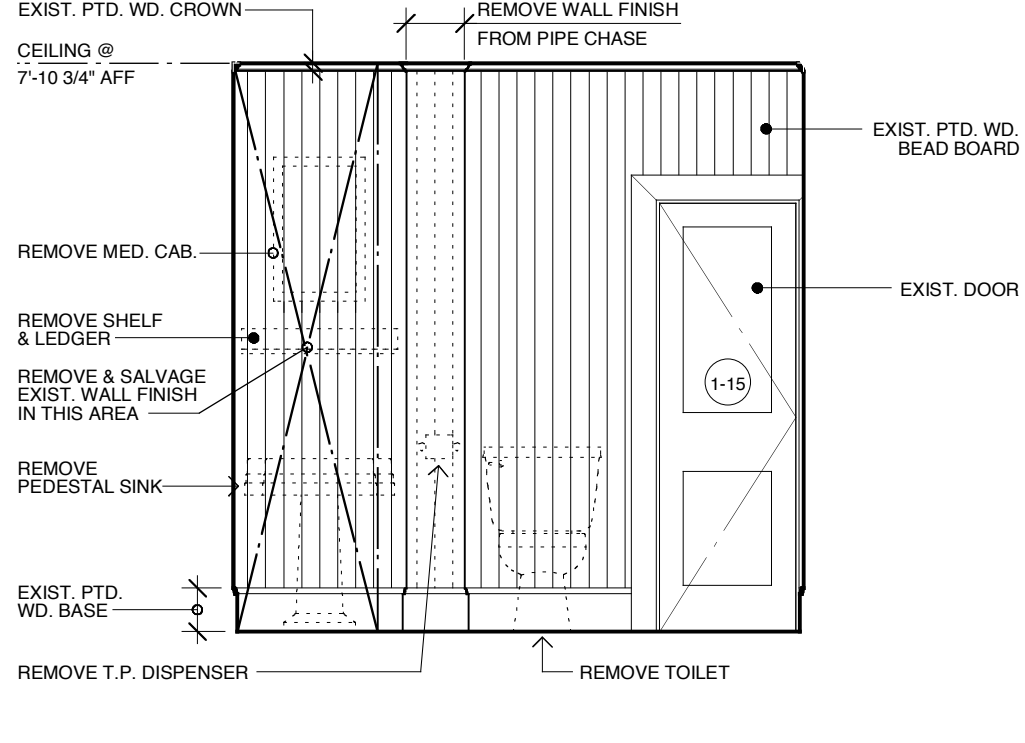
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A-41 EXISTING NORTH ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



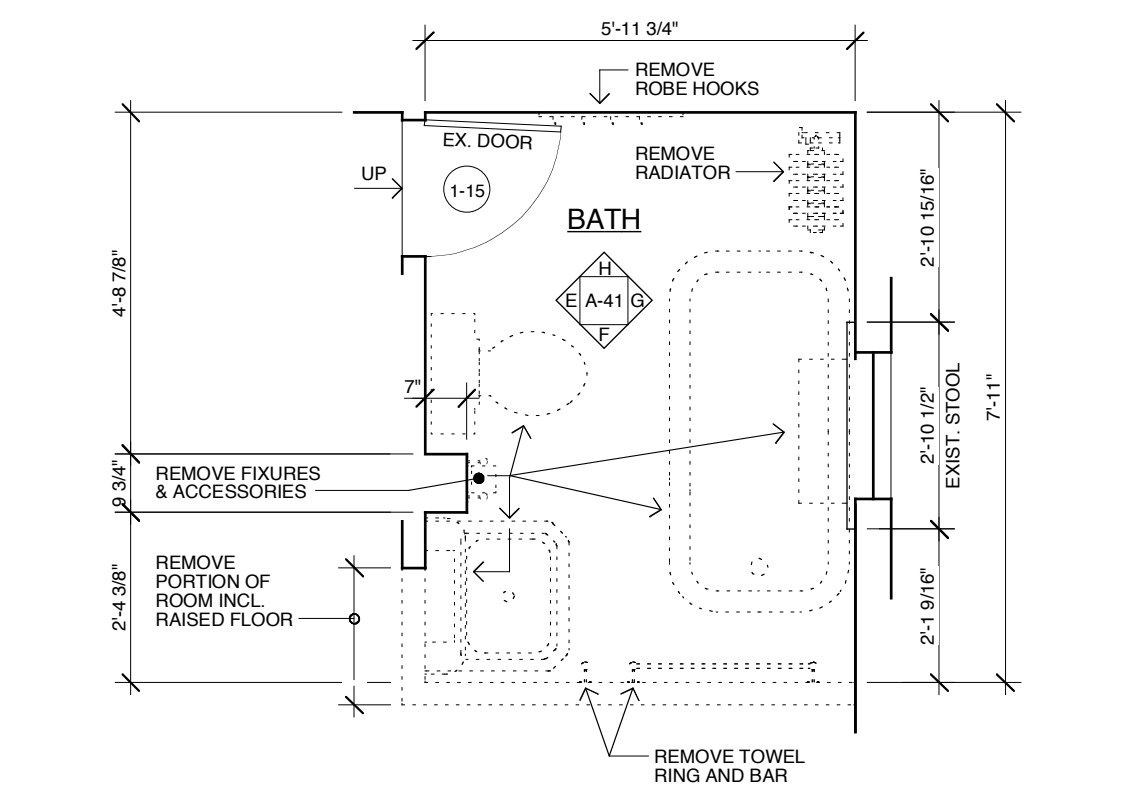
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A-41 EXISTING EAST ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



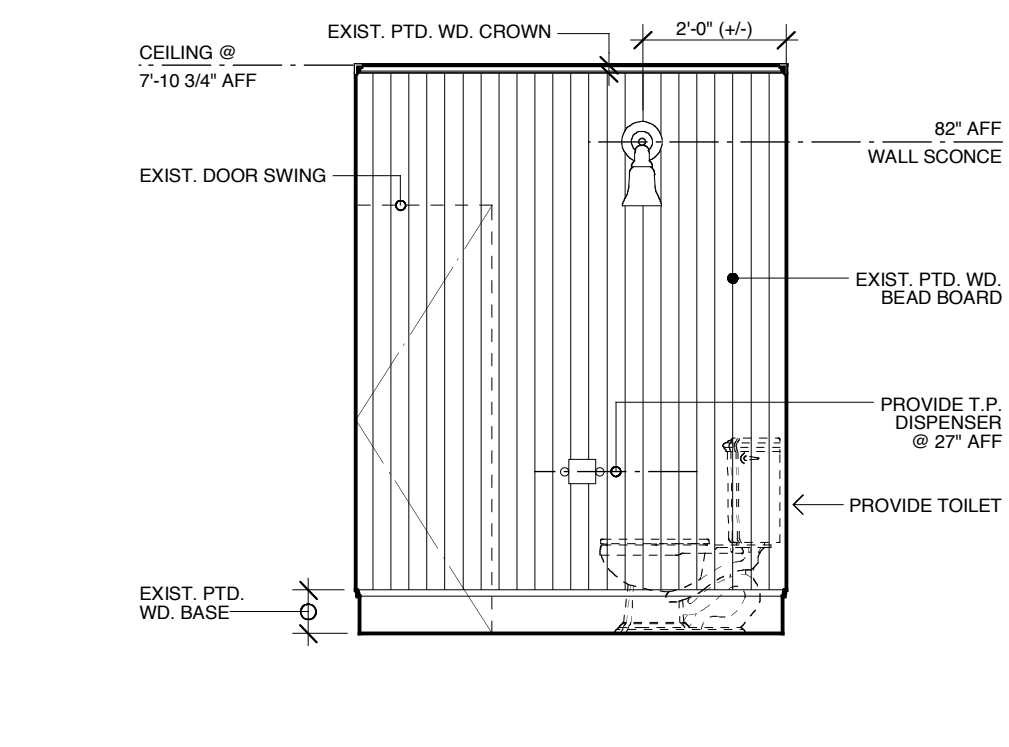
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A-41 EXISTING SOUTH ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



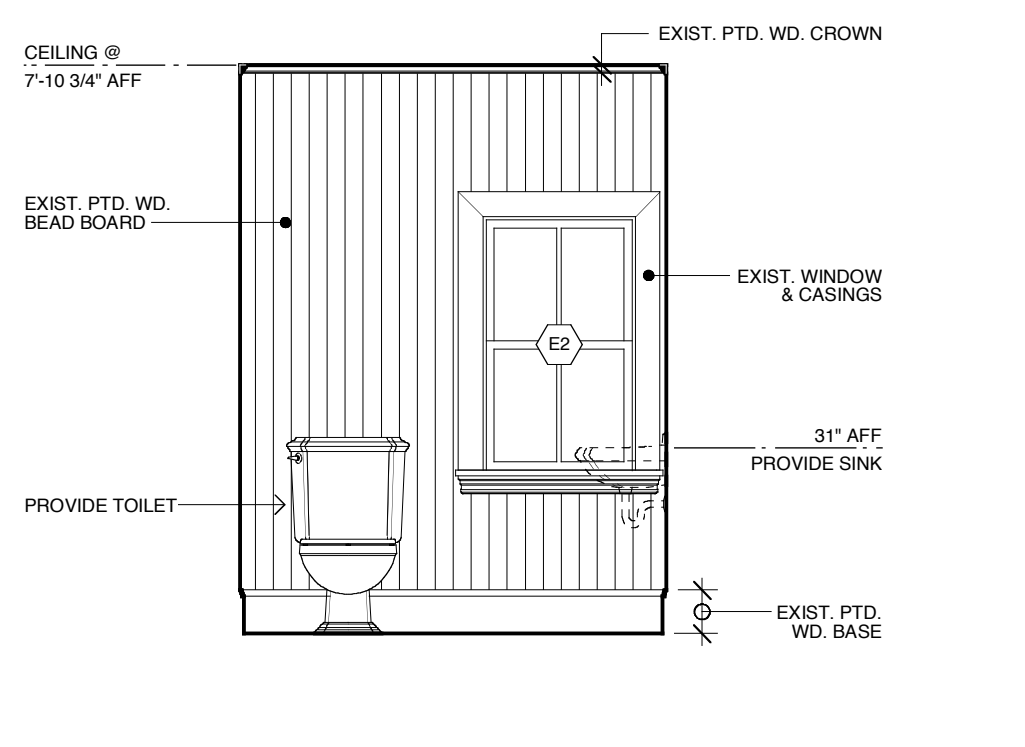
E.0
A-41 EXISTING WEST ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



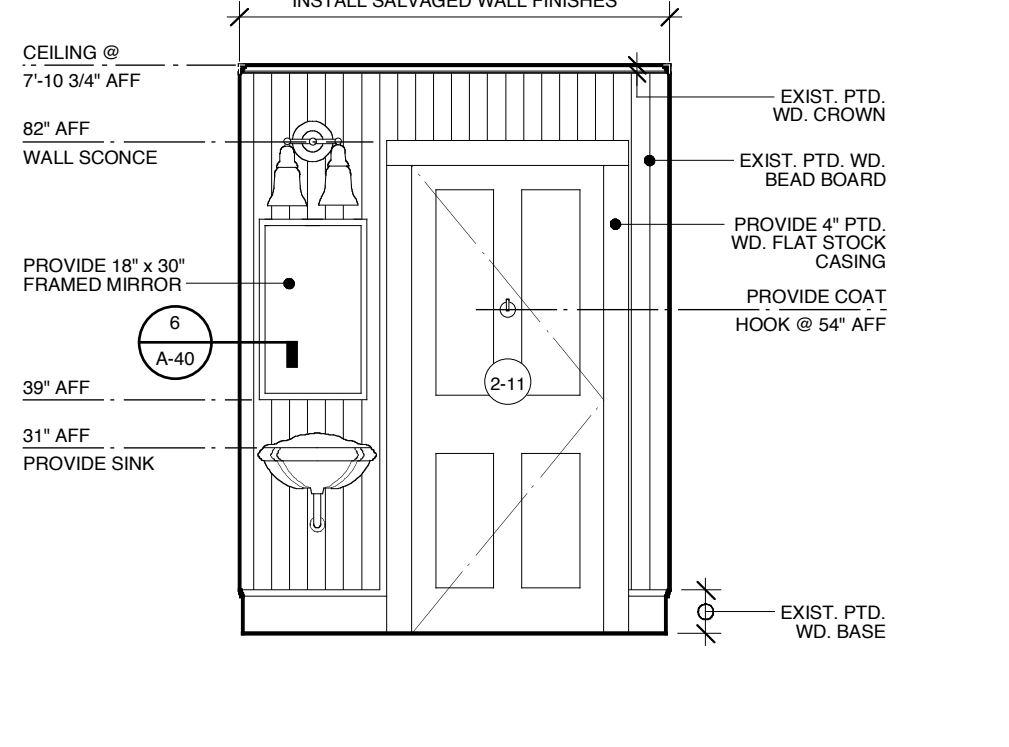
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A-41 EXISTING SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



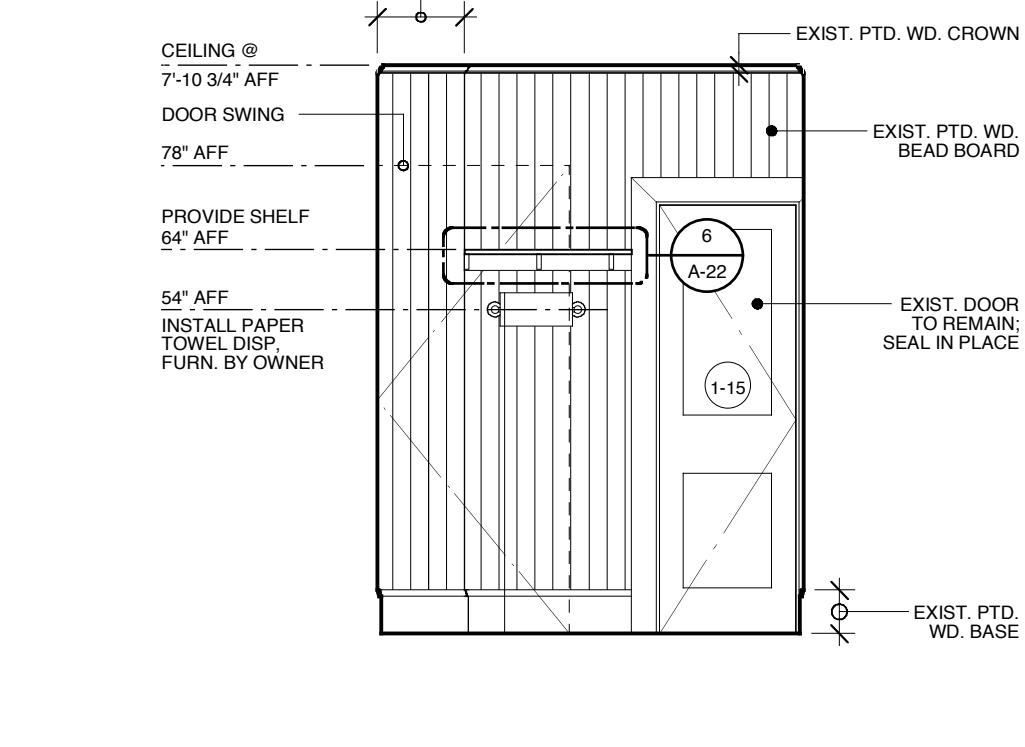
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A-41 NORTH ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



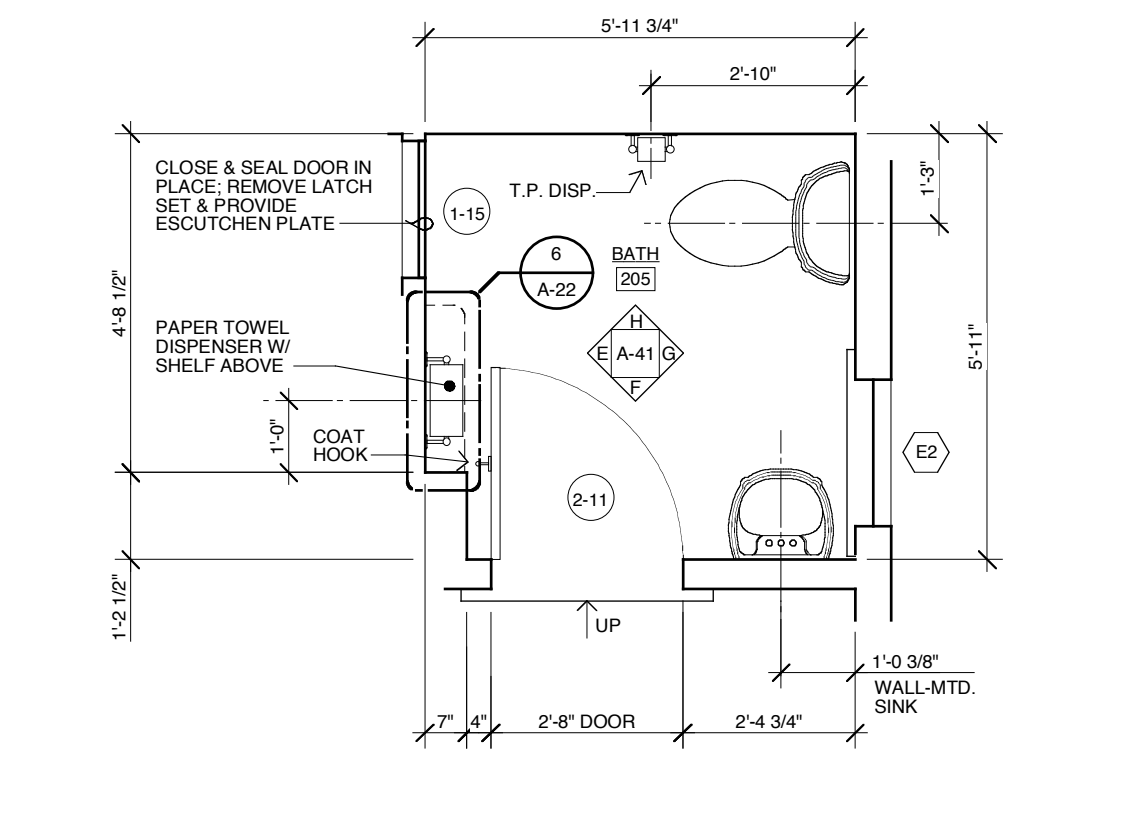
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A-41 EAST ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



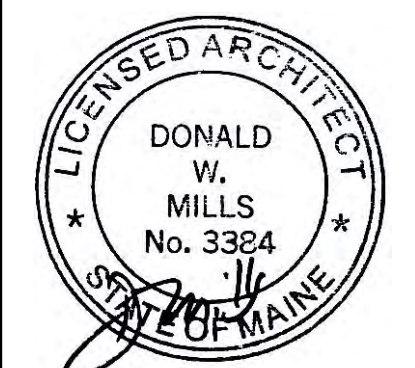
F.1
A-41 SOUTH ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



E.1
A-41 WEST ELEVATION
AT SECOND FLOOR BATHROOM
Scale: 3/8" = 1'-0"



2.1
A-41 SECOND FLOOR BATHROOM PLAN
Scale: 3/8" = 1'-0"

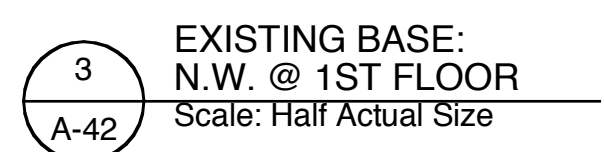
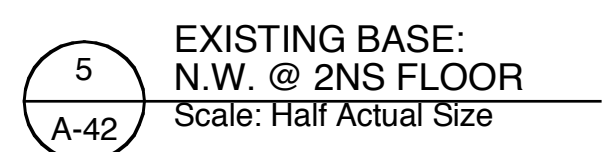
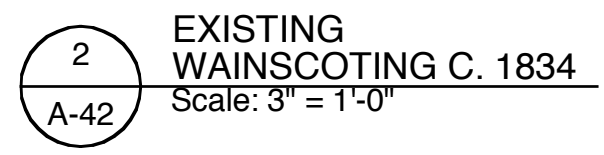
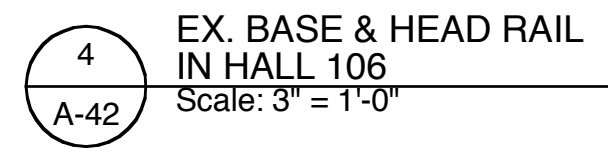
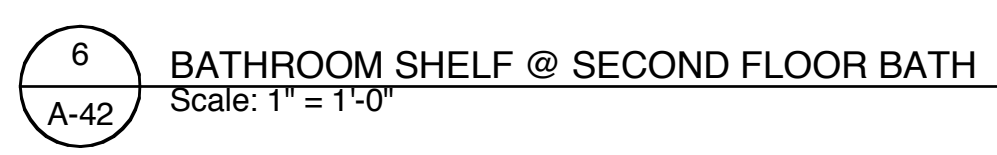
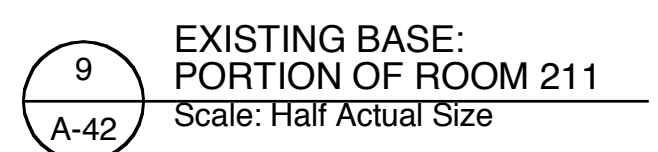
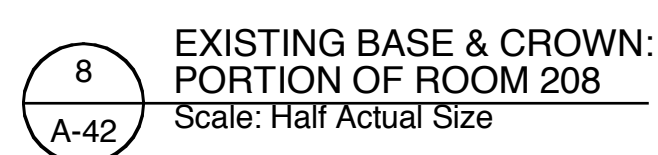
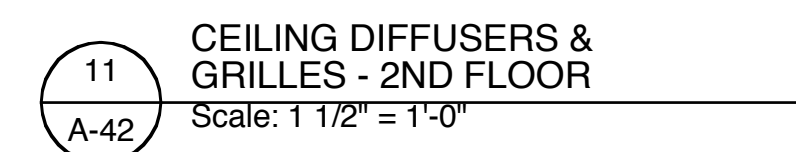
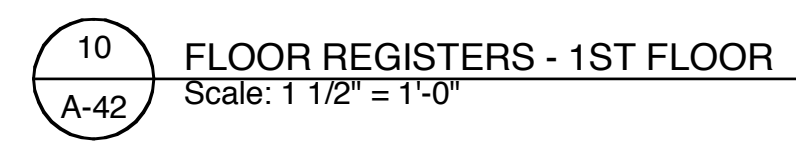
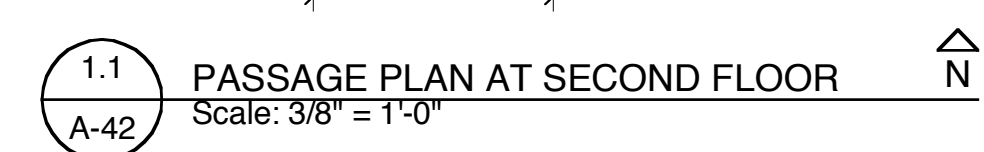
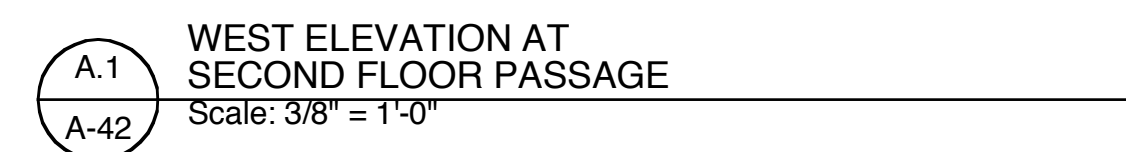
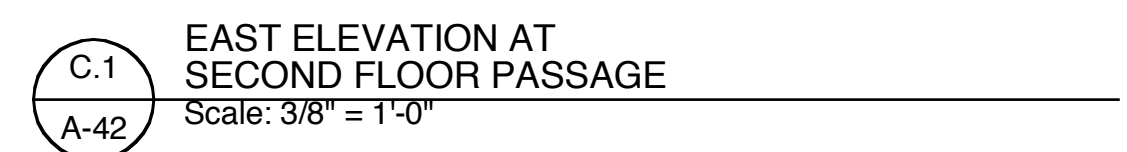


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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
INTERIORS: FIRST & SECOND FLOOR BATHROOMS

PROJECT NAME:
PROJECT ADDRESS:
DATE: 4 AUGUST 2011

SHEET #:
A-41



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PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE

INTERIORS: MISCELLANEOUS

PROJECT NAME:

PROJECT ADDRESS:

DATE: 4 AUGUST 2011

SHEET #:

A-42



MILLS
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fax: 617-876-6420

RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130 - 132 PLEASANT STREET
PORTLAND MAINE

BASEMENT AND FIRST FLOOR PLUMBING PLANS

PROJECT NAME:
PROJECT ADDRESS:

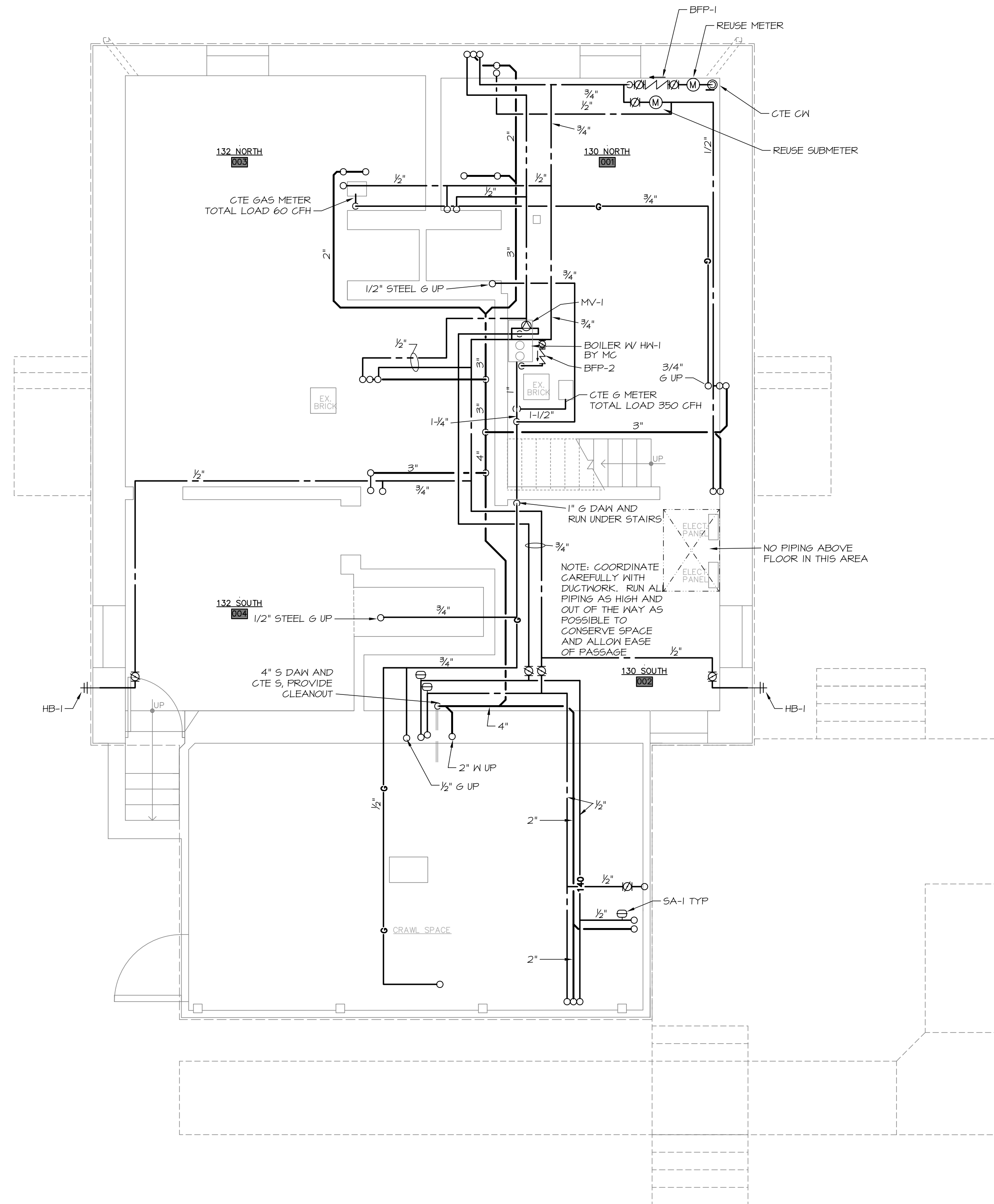
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DATE: 4 AUGUST 2011

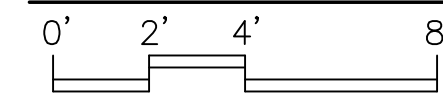
CONSTRUCTION
DRAWINGS

SHEET #:

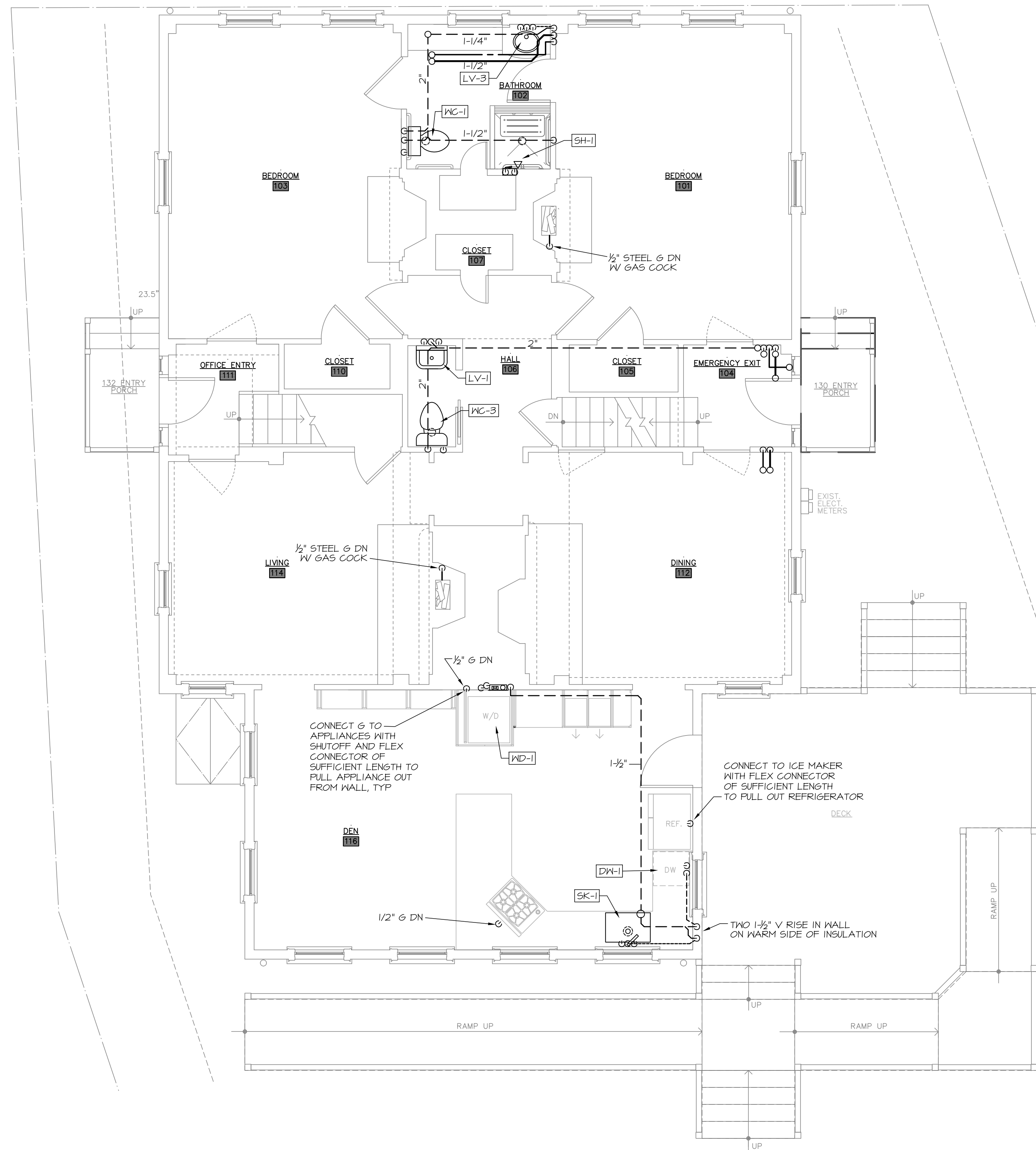
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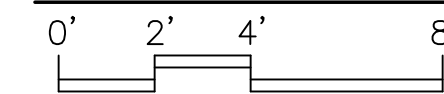
BASEMENT PLUMBING PLAN



Scale 1/4" = 1'-0"



FIRST FLOOR PLUMBING PLAN



Scale 1/4" = 1'-0"



1/4" = 1'-0"



MECHANICAL SYSTEMS ENGINEERS
ROYAL RIVER CENTER, UNIT #10
10 FOREST FALLS DRIVE
YARMOUTH, MAINE 04096
207-346-1441
MSE # 1112



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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130 - 132 PLEASANT STREET
PORTLAND MAINE

SECOND FLOOR AND ROOF PLUMBING PLANS

PROJECT NAME:
PROJECT ADDRESS:

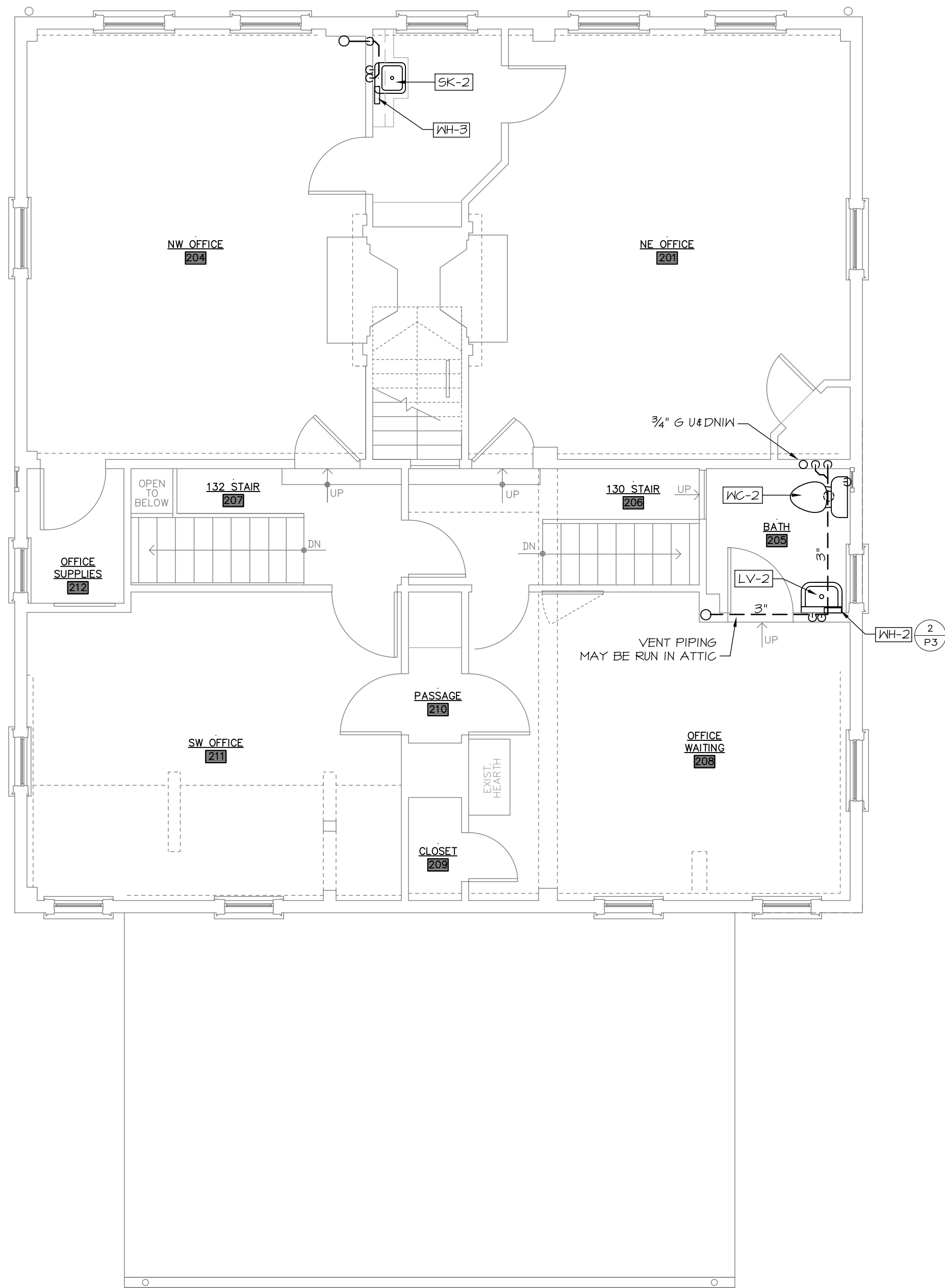
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DATE: 4 AUGUST 2011

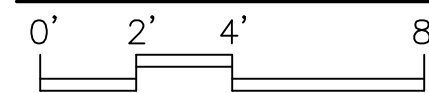
CONSTRUCTION
DRAWINGS

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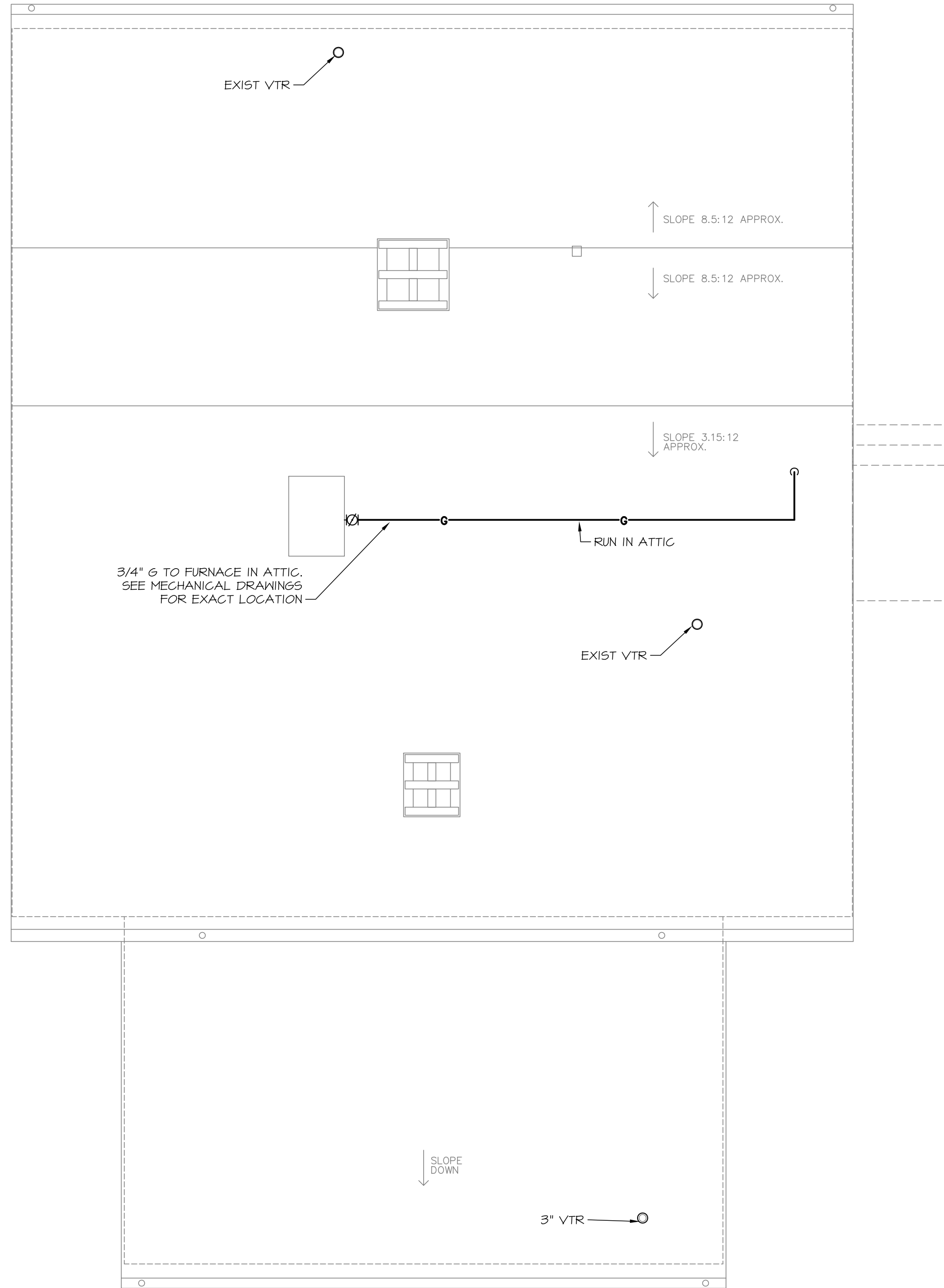
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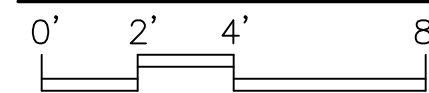
SECOND FLOOR PLUMBING PLAN



Scale 1/4" = 1'-0"



ATTIC & ROOF PLUMBING PLAN



Scale 1/4" = 1'-0"



1/4" = 1'-0"



MECHANICAL SYSTEMS ENGINEERS
ROYAL RIVER CENTER, UNIT #10
10 FOREST FALLS DRIVE
YARMOUTH, MAINE 04096
207-346-1441
MSE # 1112

GENERAL NOTES

1. All work shall be in accordance with the State Plumbing Code, state and local laws, codes and ordinances, National Fire Code (NFFA), or these plans or specifications, whichever is more strict.

2. All drawings are schematic only, and are intended to indicate the intent, extent, and general arrangement of work. They are not meant to show every fitting, change of direction or every situation. Verify locations in the field. Work indicated shall be furnished complete to perform the function intended.

3. Carefully coordinate the space requirements and location of piping with the other trade contractors. Priority given to ductwork and gravity drainage piping. Do not run piping through duct chases. If coordination fails, conflicts will be decided in favor of the other contractors with this contractor relocating his piping and equipment at no expense to the Owner.

4. For pipe sizes not shown on the floor plans, refer to fixture schedules and details as well as adjacent floors plans. As a minimum use equipment connection sizes and Plumbing Code requirements. For otherwise indeterminate pipe segments, the size shall be the same as the largest known adjacent segment. Where pipe sizes are erroneously shown to decrease then increase, the smaller segment shall be increased to match the larger segment. When a conflict exists, the larger size shall govern. Pipe sizes are nominal (not O.D.) unless specifically noted otherwise.

5. All plumbing fixtures shall be vented.

6. This contractor shall make all final plumbing connections to equipment/ fixtures provided by other contractors.

7. All piping in finished areas shall run concealed above ceilings, in walls, in soffits and in chases unless noted otherwise. Special care shall be taken when dropping 3" nominal waste pipe in 3-1/2" wall cavities to ensure correct fit and alignment. Piping in unfinished spaces shall be run as high or out of the way as possible to conserve space and facilitate access.

8. No structural members shall be cored or cut without approval of the Architect or Structural Consultant.

9. All plumbing shall be supported from the building structure, not other pipes or objects. All piping drops to fixtures shall be anchored solid to walls with a steel support bracket with adjustable clip.

10. All water piping shall be installed parallel to building lines and pitched to low points. Provide draw-offs at low points. Piping shall be run neatly grouped together. Also group with heating piping when practical.

11. All piping through roofs, masonry walls and exterior walls shall have pipe sleeves. Openings between pipes and sleeves shall be caulked and sealed smoke and water tight. All pipe penetrations through a fire rated wall or floor shall have a U.L. Listed fire stopping system rated to match the rating of the wall, as per the NFFA.

12. All wall fixtures shall be carrier mounted unless otherwise specified.

13. Run all piping on warm side of the building insulation. No water, or waste lines shall be run in exterior walls, unless directly indicated.

14. Provide shock absorbers (water hammer arresters) where shown on drawings and on individual runouts feeding clothes waters and dish washers.

15. All sanitary waste piping 3" and less shall pitch down at 1/4" per L.F. All 4" and larger piping shall pitch at 1/4" per L.F. whenever possible. The piping main from where it enters the building to the furthest point in the system may pitch down at 3/8" per L.F. unless indicated otherwise. No sanitary/ waste piping under slab shall be less than 2" in diameter.

PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE	COLD WATER	HOT WATER	SAN/ WASTE	VENT	REMARKS
DX-1	DISHWASHER RESIDENTIAL	-	1/2" 140°	1-1/2"	1-1/2"	APPLIANCE BY OTHERS
LV-1	LAVATORY, WALL MTD RESIDENTIAL	1/2"	1/2"	1-1/4"x 1-1/2"	1-1/2"	V.C., 4" CENTERS. LEVER DECK MOUNTED FAUCET, POP-UP DRAIN. CHROME P-TRAP AND CHROME SUPPLIES W/ WHEEL HANDLE STOPS & ESCUTCHEONS. PROVIDE WALL HANGER OR CARRIER AND SECURE SOLIDLY.
LV-2	LAVATORY, WALL MTD OFFICE	1/2"	1/2"	1-1/4"x 1-1/2"	1-1/2"	V.C., 4" CENTERS. LEVER DECK MOUNTED FAUCET, POP-UP DRAIN. CHROME P-TRAP AND CHROME SUPPLIES W/ WHEEL HANDLE STOPS & ESCUTCHEONS. PROVIDE WALL HANGER OR CARRIER AND SECURE SOLIDLY.
LV-3	LAVATORY, COUNTER MTD	1/2"	1/2"	1-1/4"x 1-1/2"	1-1/2"	UNDERMOUNT OVAL BOWL, V.C.. LEVER DECK MOUNTED FAUCET 8" CENTERS, POP-UP DRAIN. CHROME P-TRAP AND CHROME SUPPLIES W/ WHEEL HANDLE STOPS & ESCUTCHEONS. COUNTER 6" G.C.
SH-1	SHOWER, SENIOR	1/2"	1/2"	2"	1-1/2"	PROVIDE AND INSTALL DRAIN. SINGLE HANDLE SHOWER VALVE INTEGRAL STOPS, HAND HELD SHOWER HEAD, TILE, SEAT, GRAB BARS AND OTHER ACCESSORIES BY G.C.
SK-1	SINK, SINGLE BOWL, KITCHEN CUSTOM	1/2"	1/2" 140°	1-1/2"	1-1/2"	SOAPSTONE BOWL BY G.C. GARBAGE DISPOSER. DECK MOUNTED SINGE HANDLE GOOSENECK PULLOUT FAUCET. P-TRAP WITH SLIP JOINTS AND CLEANOUT, CHROME WHEEL HANDLE SUPPLIES.
SK-2	SINK, BAR, COUNTER MNTD	1/2"	1/2" 140°	1-1/2"	1-1/2"	COUNTERMOUNT BAR SINK, 19 GA S.S., SINGLE HOLE, BASKET DRAIN. DECK MOUNTED SINGLE HANDLE BAR FAUCET. P-TRAP, CHROME WHEEL HANDLE SUPPLIES.
WC-1	WATER CLOSET, TANK TYPE, ADA	1/2"	-	3	2"	1.6 GPF ELONGATED BOWL, FLOOR MOUNTED, VC. MATCHING CLOSED FRONT SEAT WITH COVE. CHROME SUPPLY WITH WHEEL HANDLE. BRUSHED NICKEL TRIP LEVER ON RIGHT SIDE OF TANK.
WC-2	WATER CLOSET, TANK TYPE COMPACT	1/2"	-	3	2"	1.6 GPF ELONGATED BOWL, FLOOR MOUNTED, VC. MATCHING OPEN FRONT SEAT WITH COVE. CHROME SUPPLY WITH WHEEL HANDLE.
WC-3	WATER CLOSET, TANK TYPE COMPACT	1/2"	-	3	2"	1.6 GPF ELONGATED BOWL, FLOOR MOUNTED, VC. MATCHING CLOSED FRONT SEAT WITH COVE. CHROME SUPPLY WITH WHEEL HANDLE. BRUSHED NICKEL TRIP LEVER
WD-1	STACKED WASHER DRYER	1/2"	1/2" 140°	1-1/2"	1-1/2"	WASHER SUPPLY & DRAIN UNIT. APPLIANCE BY OTHERS. PROVIDE 1/2" G TO DRYER

WATER HEATER SCHEDULE

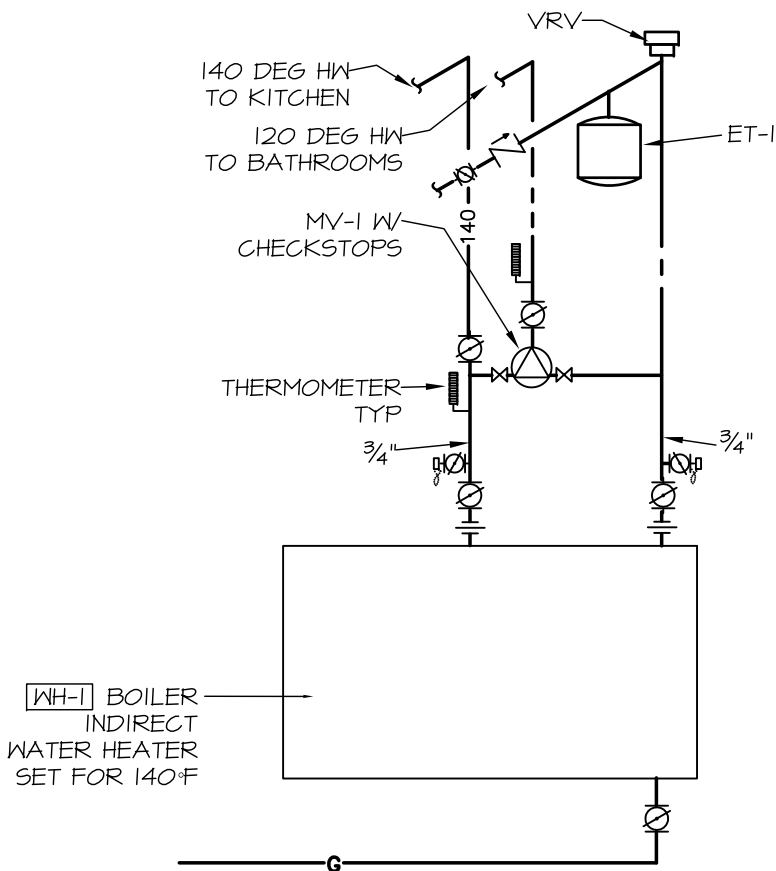
TAG	ITEM	GAL	KW	VOLTS	REMARKS
WH-1	INDIRECT WATER HEATER (BY 15600)				SEE MECHANICAL DRAWINGS INTERNAL TO BOILER B-R
WH-2	INSTANTANEOUS ELECTRIC	NONE	5.5	240	23A, 75 DEG F RISE AT 0.5 GPM
WH-3	INSTANTANEOUS ELECTRIC	NONE	9.5	240	40A, 65 DEG F RISE AT 1.0 GPM

WATER SPEC. SCHEDULE

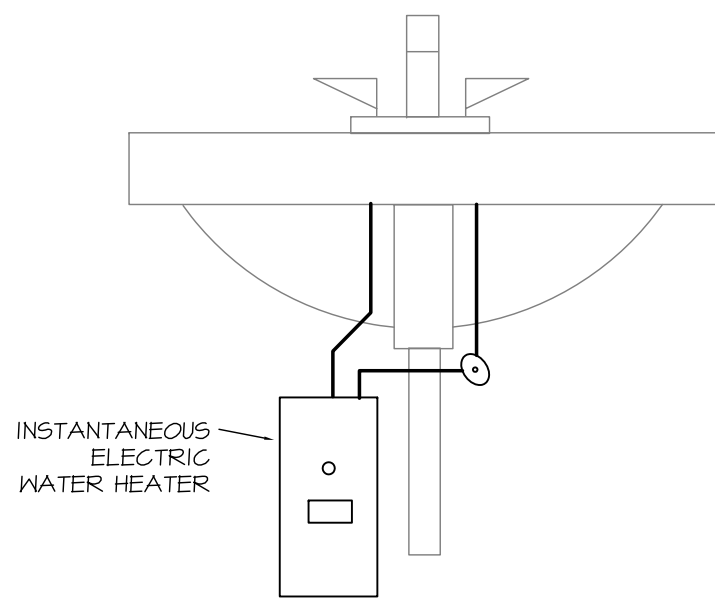
TAG	ITEM	CW	HW	OUTLET	REMARKS
MV-1	MASTER MIXING VALVE	1/2"	1/2"	1/2"	120°
BFP-1	WATER ENTRANCE BACKFLOW PREVENTERS	3/4"	-	SAME	
BFP-2	BOILER MAKE-UP WATER	1/2"	-	SAME	
HB-1	NON-FREEZE HOSE BIB W/ VB	1/2"	-	3/4" GHT	
SA-1	SHOCK ABSORBER		1/2"	-	P.D.I. A
ET-1	EXPANSION TANK POTABLE WATER	3/4"	-	-	

ABBREVIATIONS, LINE TYPES & SYMBOLS

●	AT	LV	LAVATORY	---	SANITARY/ WASTE PIPING UNDER FLOOR
A	AMPS	MTD	MOUNTED	_____	SANITARY / WASTE PIPING ABOVE FLOOR
ADA	AMERICANS WITH DISABILITIES ACT	MV	MIXING VALVE	-----	VENT PIPING ABOVE FLOOR
AFF	ABOVE FINISHED FLOOR	OD	OUTSIDE DIAMETER	-----	VENT PIPING BELOW FLOOR
BLV	BALL VALVE	OFC	OFFSET FOR CLARITY	-----	VENT PIPING BELOW FLOOR
GFF	GAP FOR FUTURE	PC	PLUMBING CONTRACTOR	---	COLD WATER PIPING
CHV	CHECK VALVE	PDI	PLUMBING & DRAINAGE INSTITUTE	---TP---	TRAP PRIMER PIPING UNDER FLOOR
CO	CLEANOUT	PH	PHASE	---	HOT WATER PIPING
GTE	CONNECT TO EXISTING	RAW	RISE AT WALL	---140---	140 DEG HOT WATER
CW	COLD WATER	RH	RIGHT HAND	---S---	BALANCE VALVE
C&HW	COLD & HOT WATER	RIW	RISE IN WALL	---X---	BALL VALVE
DAW	DROP AT WALL	RUC	RUN UNDER COUNTER	---V---	VERTICAL BALL VALVE
DEG	DEGREES	S	SANITARY WASTE	---O---	DROP/RISE IN LINE
DIV	DIVISION	SA	SHOCK ABSORBER	---O---	LINE UP TO FLOOR ABOVE
DIW	DROP IN WALL	SH	SHOWER	---S---	TEE -DROP
DN	DOWN	SK	SINK	---S---	SHOCK ABSORBER
DNAW	DOWN AT WALL	SS	STAINLESS STEEL	---S---	FLOOR DRAIN
DNIC	DOWN IN CHASE	TYP	TYPICAL	---S---	PLUMBING FIXTURE/EQUIPMENT NUMBER TAG
DNIW	DOWN IN WALL	U&DNIC	UP & DOWN IN CHASE	XX-1	
DW	DISHWASHER	UIC	UP IN CHASE		
FCO	FLOOR CLEANOUT	UIW	UP IN WALL		
FD	FLOOR DRAIN	UP	OPPOSITE OF DOWN		
FFE	FINISHED FLOOR ELEVATION	UR	URINAL		
GC	GENERAL CONTRACTOR	V	VENT		
GPF	GALLONS PER FLUSH	VB	VACUUM BREAKER		
GPM	GALLONS PER MINUTE	VC	VITREOUS CHINA		
GV	GATE VALVE	VIF	VERIFY IN FIELD		
HC	HEATING CONTRACTOR (15600)	VS	VENT STACK		
HW	HOT WATER	VTR	VENT THRU ROOF		
HWB	HOT WATER RETURN	W	WASTE		
IE	INVERT ELEVATION	WB	WATER BOX		
IDW	INDIRECT WASTE	WC	WATER CLOSET		
		WCO	WALL CLEANOUT		
		WD	WASHER/DRYER		



**HOT WATER
BOILER DIAGRAM**
SCALE: NONE



**INSTANTAEOUS WATER
HEATER DIAGRAM**
SCALE: NONE



MECHANICAL SYSTEMS ENGINEERS
ROYAL RIVER CENTER, UNIT #10
10 FOREST FALLS DRIVE
YARMOUTH, MAINE 04096
207-346-1441
MSE # 1112

PROJECT NAME:
PROJECT ADDRESS:

DATE: 4 AUGUST 2011

CONSTRUCTION
DRAWINGS

SHEET #:

P-3

RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130 - 132 PLEASANT STREET
PORTLAND MAINE

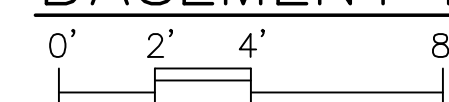
PLUMBING DETAILS, NOTES & SCHEDULES

MILLS
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ARCHITECTS
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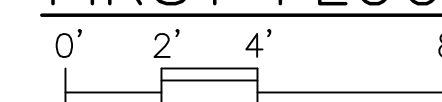


BASEMENT MECHANICAL PLAN

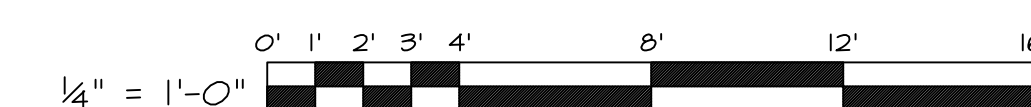


Scale $\frac{1}{4}" = 1'-0"$

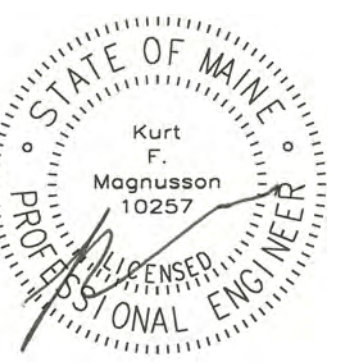
FIRST FLOOR MECHANICAL PLAN



Scale $\frac{1}{4}" = 1'-0"$



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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130 - 132 PLEASANT STREET
PORTLAND MAINE

BASEMENT AND FIRST FLOOR MECHANICAL PLANS

PROJECT NAME:

PROJECT ADDRESS:

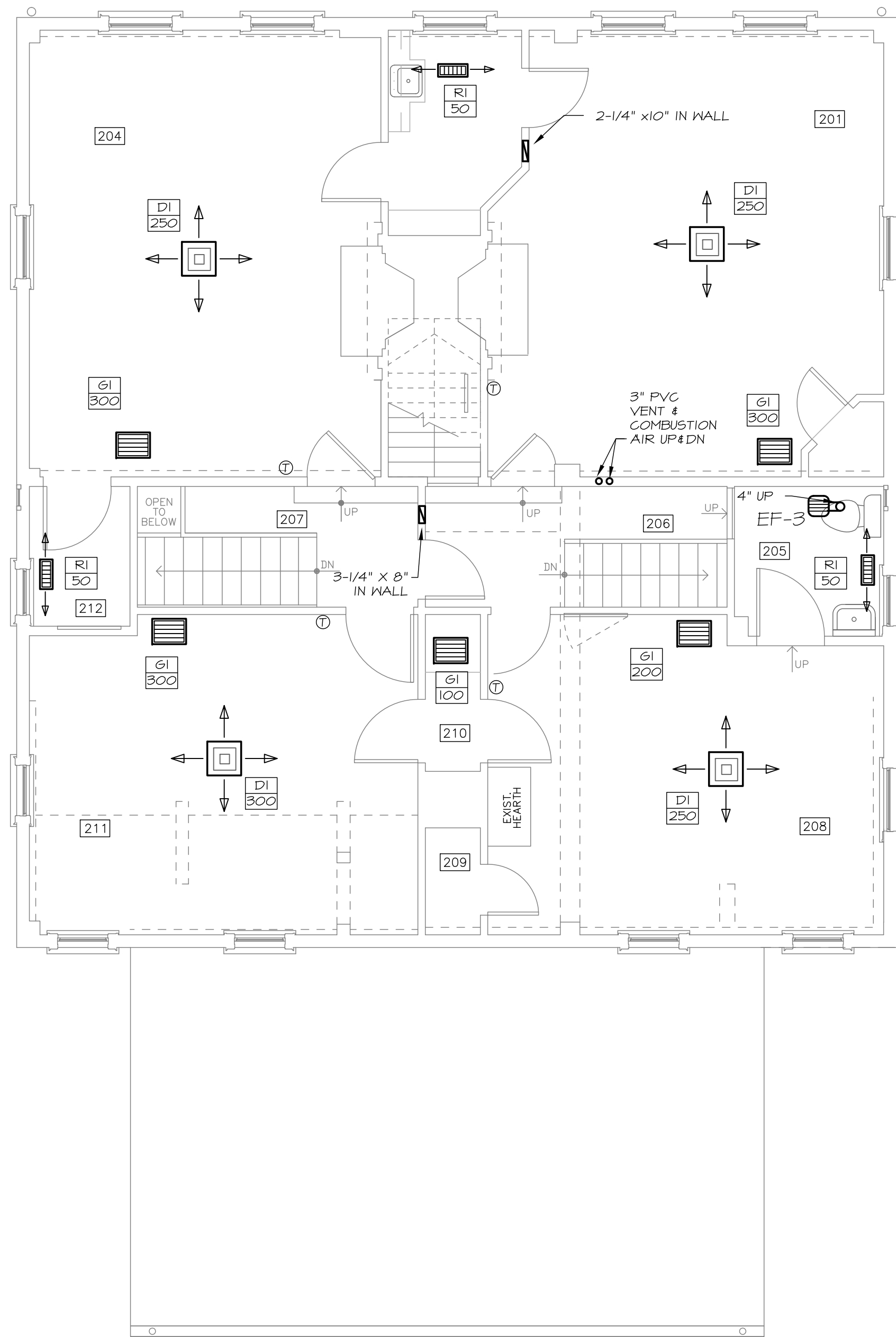
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DATE: 4 AUGUST 2011

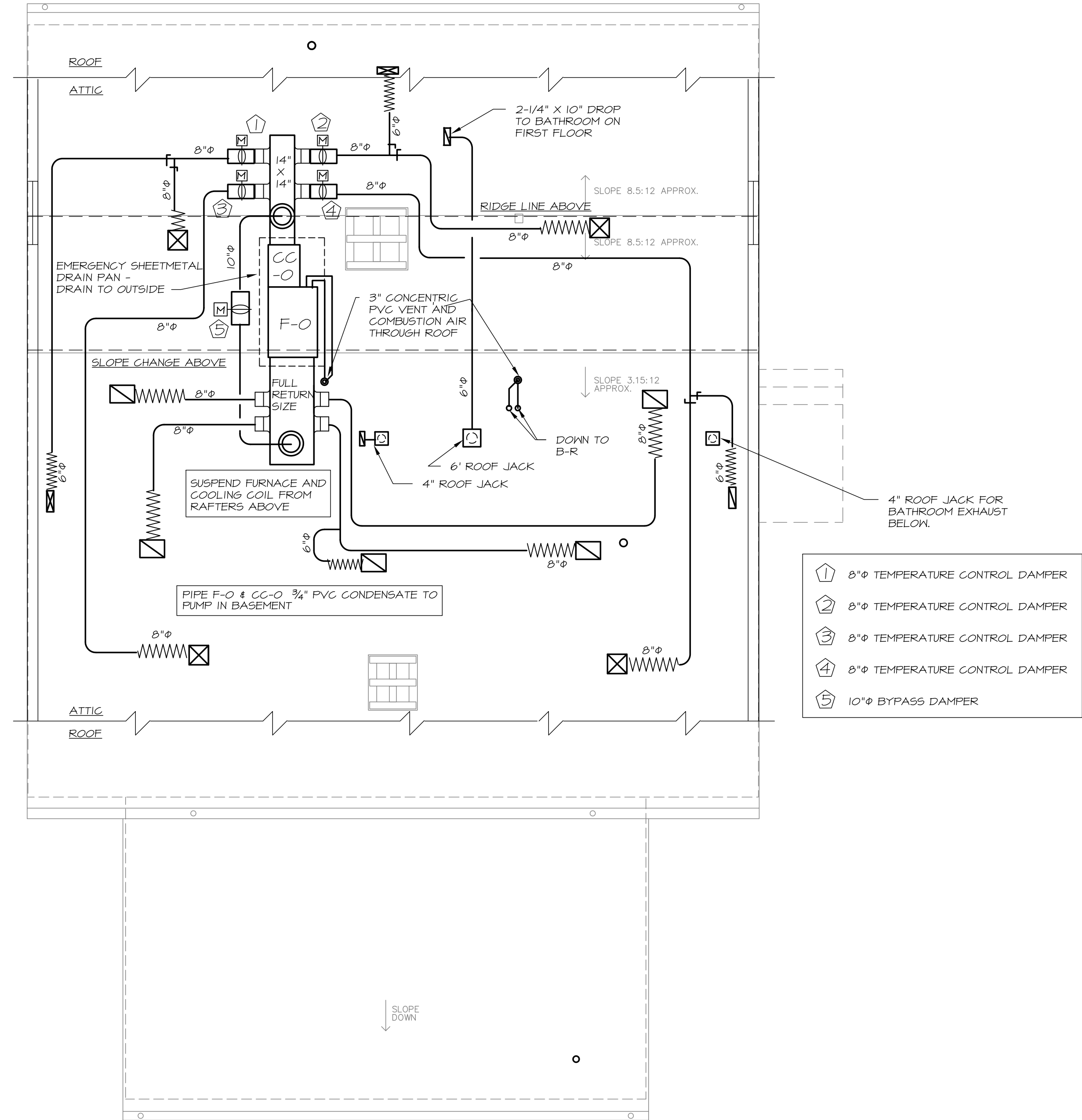
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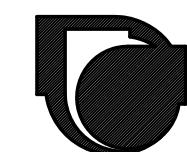
M-1



SECOND FLOOR MECHANICAL PLAN
 0' 2' 4' 8' Scale 1/4" = 1'-0"



ATTIC AND ROOF MECHANICAL PLAN
 0' 2' 4' 8' Scale 1/4" = 1'-0"



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SECOND FLOOR, ATTIC AND ROOF MECHANICAL PLANS

PROJECT NAME:
 PROJECT ADDRESS:

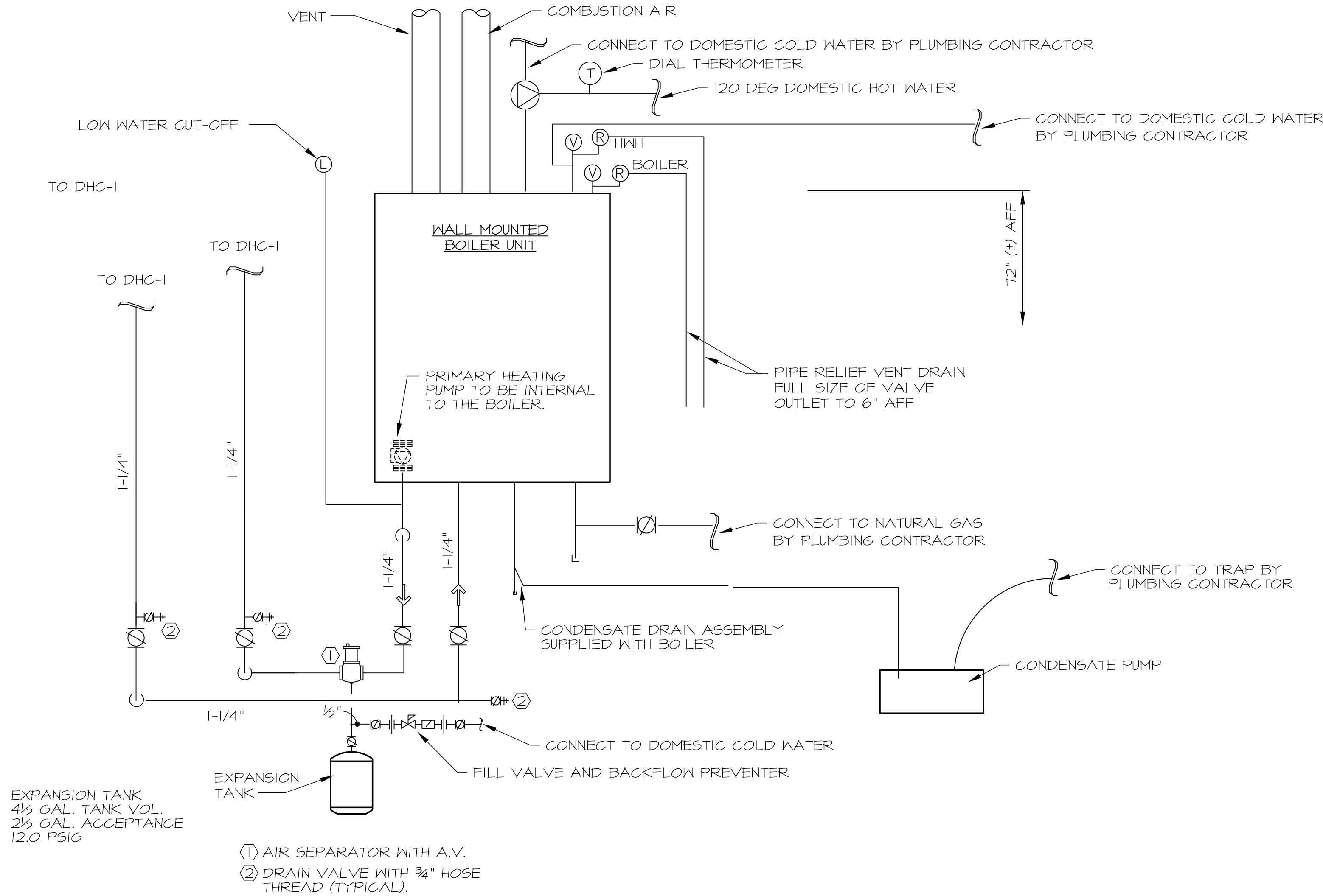
DRAWING TITLE:

DATE: 4 AUGUST 2011

CONSTRUCTION
 DRAWINGS

SHEET #:

M-2



1 BOILER PIPING DIAGRAM
NO SCALE

GENERAL NOTES

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- All drawings are schematic only, and are intended to indicate the intent, extent, and general arrangement of work. They are not meant to show every fitting, change of direction or every situation. Verify locations in the field. Work indicated shall be furnished complete to perform the function.
- Carefully coordinate the space requirements and location of ductwork with the other trade contractors. Priority given to gravity drainage piping. All piping and ductwork shall run concealed in walls and ceilings of finished spaces. Review sizes and placement with architect prior to rough-in.
- No structural members shall be cored or cut without approval of the Structural Consultant.
- All ductwork and piping shall be supported from the building structure.
- All supply ductwork in the basement shall be insulated with 1-1/2" foil-faced duct wrap.
- All supply and return ductwork in the attic shall be insulated with 3" foil-faced duct wrap.
- Internally insulate return air plenums. 1/2" closed cell insulation - Armatflex of equal.
- All ductwork to be fabricated and installed per SMACNA low pressure ductwork standards.
- Flexible duct runs to be limited to 6'-0". All flexible ductwork to be UL 181 Listed.

LEGEND

- 4-WAY CEILING DIFFUSER
- BLACK CAST IRON FLOOR GRILLE
SCROLL DESIGN
- CEILING RETURN GRILLE
- WALL RETURN GRILLE
- DOUBLE DEFLECTION GRILLE
- RECTANGULAR CONTROL DAMPER
OR BYPASS DAMPER
- ROUND CONTROL DAMPER
OR BYPASS DAMPER
- MANUAL LOCKING QUADRANT
VOLUME DAMPER

AIR HANDLING UNIT SCHEDULE

TAG	AREA SERVED	SUPPLY FAN			ELECTRIC	DX COOLING COIL NOMINAL BTUH	REFRIGERANT	MAKE & MODEL	REMARKS
		CFM	ESP	HP					
AH-R	RESIDENCE - 1ST FLOOR	1000	0.50"	1/2	208V-6-1P	30,000	410A	TRANE 4TEHBF30C1000A	WITH FACTORY FILTER RACK-HORIZONTAL POSITION

DUCT HEATING COIL SCHEDULE

TAG	TYPE	SIZE	CFM	APD	EAT	LAT	EWT	MBH	GPM	WPD	REMARKS
DHC-R	HOT WATER HEADER TYPE	14"x14"	1,000	0.1"	60	115	130	60.0	6.0	0.6'	FLANGED DUCT MOUNT

FURNACE AND COOLING COIL SCHEDULE

TAG	AREA SERVED	SUPPLY FAN			ELECTRIC	HEATING NOMINAL BTUH	EFFICIENCY	MAKE & MODEL	REMARKS
		CFM	ESP	HP					
F-O	OFFICES - 2ND FLOOR	1,200	0.50"	1/2	208V-6-1P	60,000 GAS	93%	TRANE TUX060R436W	CONDENSING GAS FURNACE WITH FILTER RACK

PROVIDE HORIZONTAL CASED COOLING COIL MATCHED WITH FURNACE AND CONDENSING UNIT TO OBTAIN A MINIMUM SEER OF 15.0

CONDENSING UNIT SCHEDULE

TAG	DESCRIPTION	TOTAL COOLING BTUH	SEER	REFR.	ELECTRIC	FLA	MCA	MOOP	WEIGHT	MANUFACTURER & MODEL	REMARKS
CU-O	CONDENSING UNIT	36,000 NOMINAL	13	R-410A	208V-60-3Ø	12.2	15	25	201	TRANE 4TTR5036E	MOUNTED OUTSIDE ON CONCRETE PAD
CU-R	CONDENSING UNIT	30,000 NOMINAL	13	R-410A	208V-60-3Ø	8.1	10	15	197	TRANE 4TTR5030E	MOUNTED OUTSIDE ON CONCRETE PAD

FAN SCHEDULE

TAG	AREA SERVED	CFM	SP	SONES	RPM	HP	ELECTRIC	MAKE AND MODEL	REMARKS
EF-1	FIRST FLOOR BATHROOM	110	0.4"	2.0	NA	1/40	120V-60-1P	NUTONE QTXEN110S HUMIDITY SENSING	ON WITH LIGHT SWITCH OR BUILT-IN HUMIDISTAT
EF-2	FIRST FLOOR 1/2 BATH	80	0.125"	2.0	NA	1/60	120V-60-1P	NUTONE QTXEN080	ON WITH LIGHT SWITCH
EF-3	SECOND FLOOR RESTROOM	80	0.125"	2.0	NA	1/60	120V-60-1P	NUTONE QTXEN080	ON WITH LIGHT SWITCH

BOILER SCHEDULE

TAG	INPUT BTUH	NET BTUH	FUEL	AFUE	ELECTRIC	DOMESTIC WATER CAPACITY	FIRST HOUR RATING	REMARKS
B-R	97,000	87,000	NAT GAS	95%	120V-60-1P	14 GALLONS	210 GPH	TRIANGLE TUBE PRESTIGE MODEL PE110 NATURAL GAS

AIR TERMINAL SCHEDULE

TAG	SIZE	MAX CFM	MODEL	REMARKS
FGI	12"x4"	120	REGGIO REGISTER	BLACK CAST IRON GRILLE WITH SCROLL DESIGN - FOR PERIOD APPEARANCE
WGI	20"x24"	1000	REGGIO REGISTER	BLACK CAST IRON GRILLE WITH SCROLL DESIGN - FOR PERIOD APPEARANCE
TKI	2"x12"	75	REGGIO REGISTER	BLACK CAST IRON GRILLE WITH SCROLL DESIGN - FOR PERIOD APPEARANCE
DI	10"x10"	300	PRICE LCDP-6	4-WAY DIFFUSER
GI	14"x8"	300	PRICE 530L	RETURN AIR GRILLE - 45% BLADES
RI	10"x4"	150	PRICE 520D	DOUBLE DEFLECTION GRILLE

REGGIO REGISTER INFORMATION AVAILABLE AT reggioregister.com

1/4" = 1'-0"



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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130 - 132 PLEASANT STREET
PORTLAND MAINE

PROJECT NAME:
PROJECT ADDRESS:

DETAILS, NOTES & SCHEDULES

DRAWING TITLE:

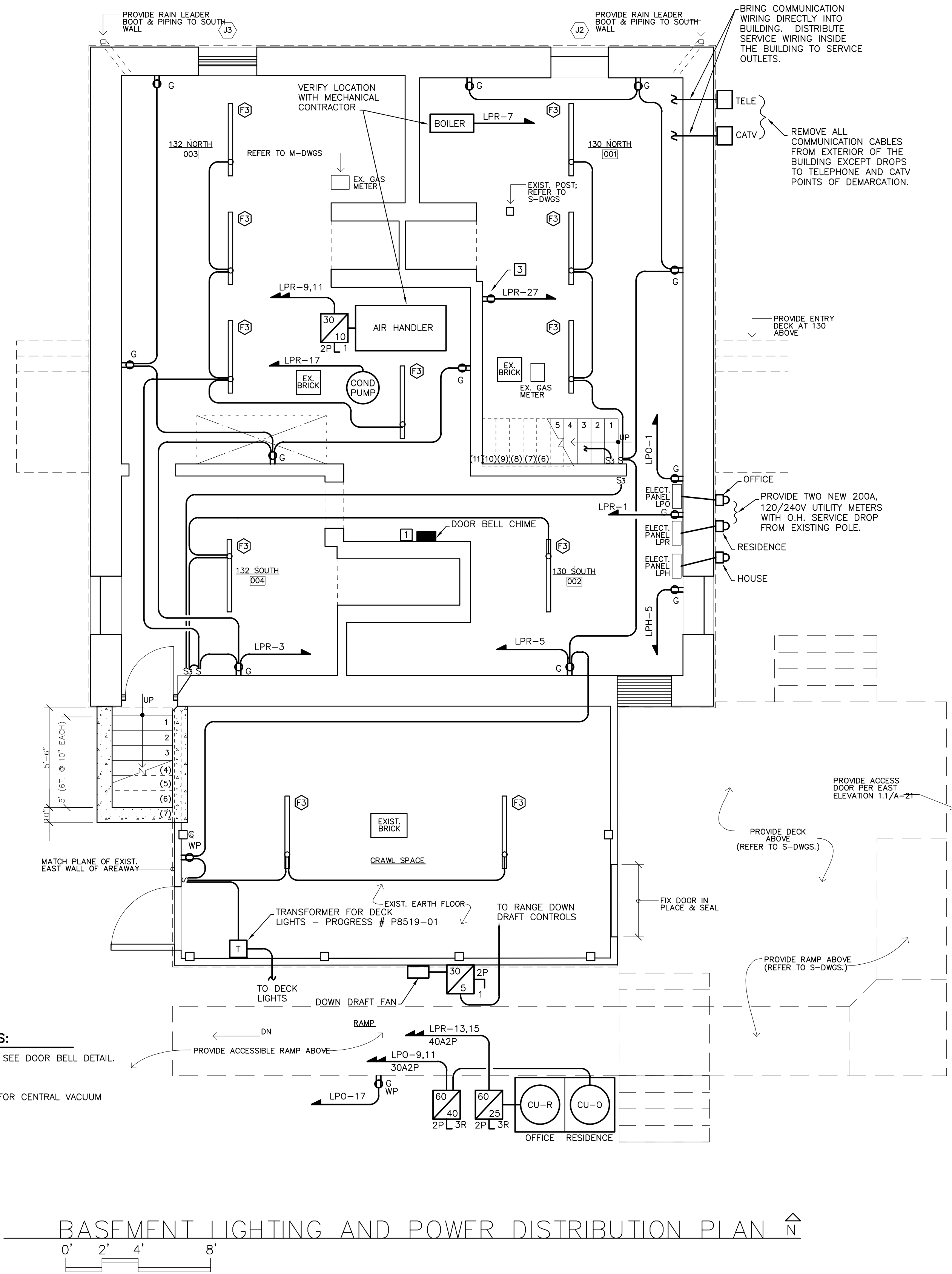
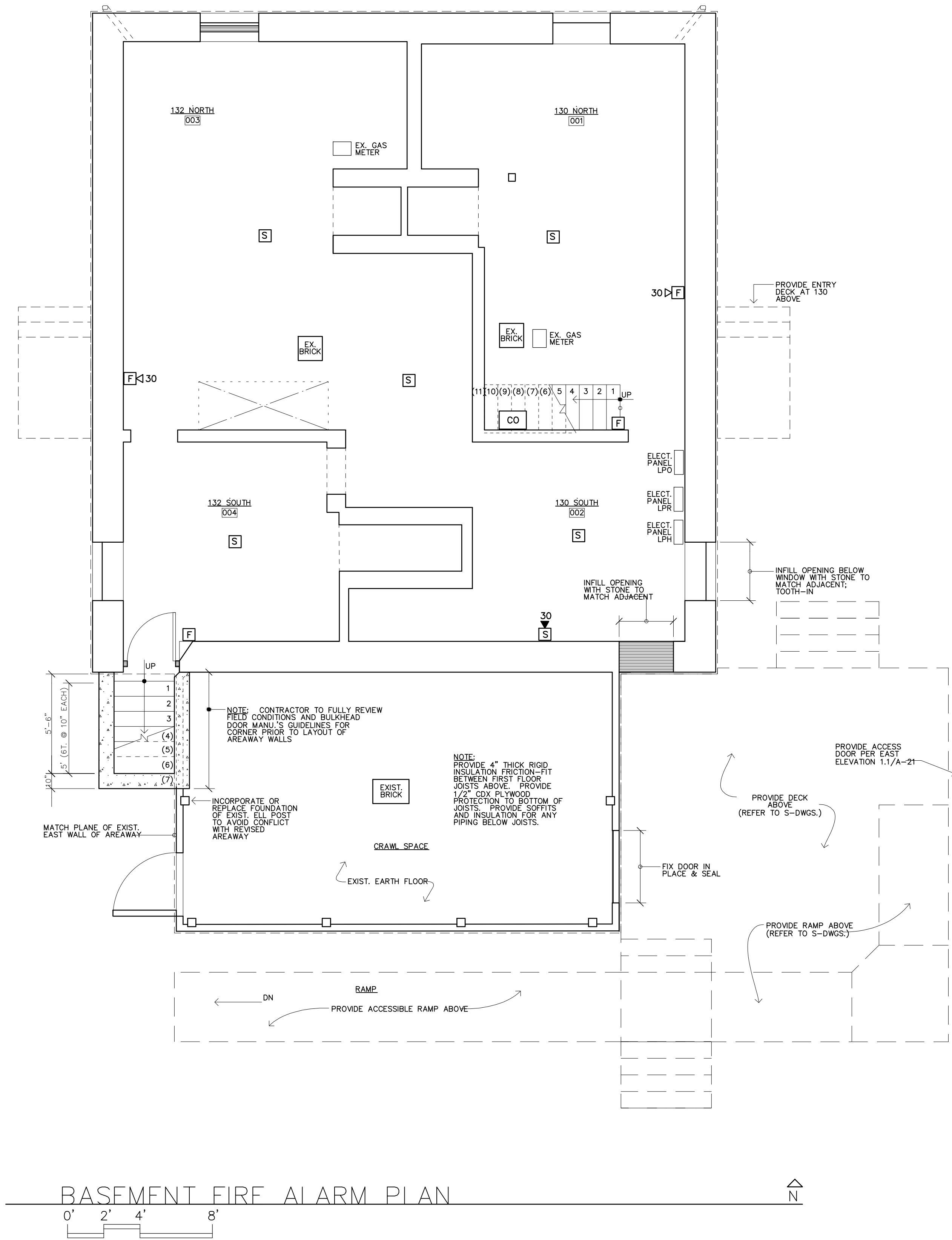
DATE: 4 AUGUST 2011

CONSTRUCTION
DRAWINGS

SHEET #:

M-3

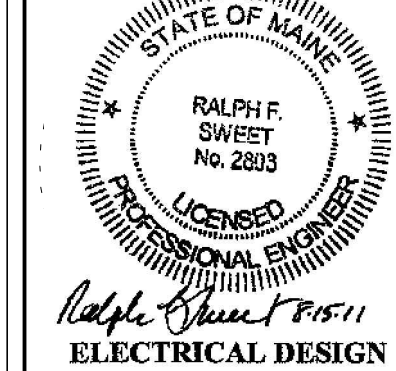
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- CONSTRUCTION NOTES:**
- 1 PROVIDE DOOR CHIME - SEE DOOR BELL DETAIL.
 - 2 NOT USED.
 - 3 DEDICATED RECEPTACLE FOR CENTRAL VACUUM SYSTEM.



130/132 PLEASANT ST.



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RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE

PROJECT NAME:
PROJECT ADDRESS:

4 AUGUST 2011

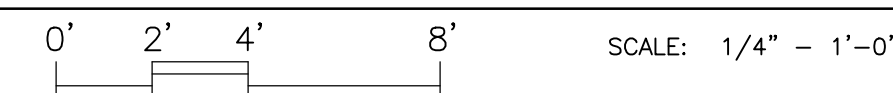
SHEET #:

E-1

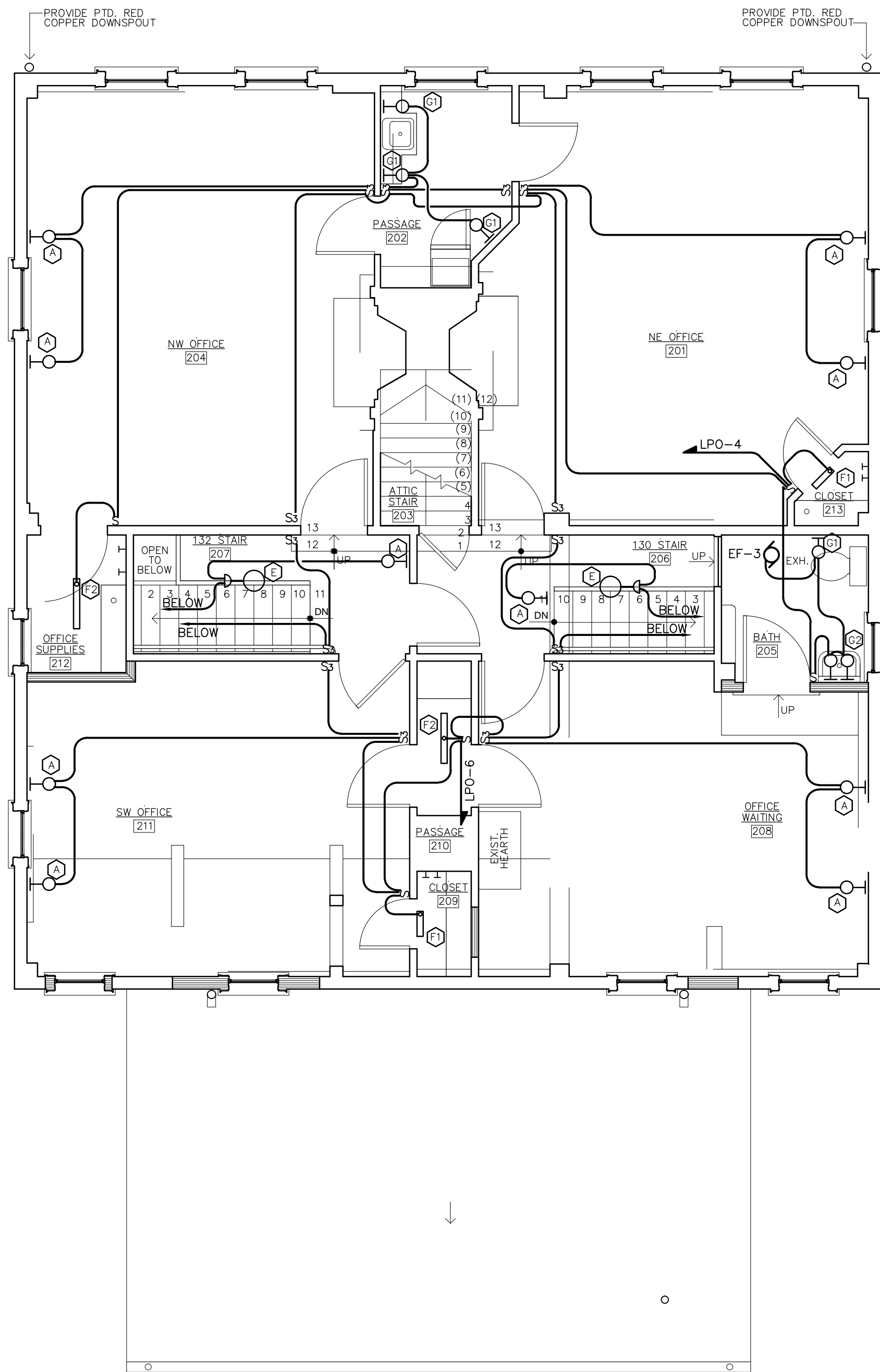
DRAWING TITLE: BASEMENT LIGHTING, FIRE ALARM AND POWER DISTRIBUTION PLAN

- 1 MOUNT RECEPTACLE BELOW COUNTER FOR GARBAGE DISPOSAL. MOUNT SWITCH FOR GARBAGE DISPOSAL ABOVE COUNTER.
- 2 PROVIDE RECEPTACLE ABOVE COUNTER FOR GAS RANGE CONTROLS.
- 3 MOUNT DISHWASHER RECEPTACLE BELOW COUNTER IN AN ACCESSIBLE LOCATION.
- 4 MOUNT REFRIGERATOR RECEPTACLE IN AN ACCESSIBLE LOCATION.
- 5 REWIRE ORIGINAL ENTRY LIGHT.
- 6 SEE SHEET E-1 FOR DOWN DRAFT FAN LOCATION AND DISCONNECT SWITCH.
- 7 EXTEND RECEPTACLE CIRCUIT TO PROVIDE POWER TO GAS FIRE PLACE UNIT CONTROLS.
- 8 PROVIDE A 3-WAY LIGHT SWITCH AND 3-WAY DIMMER SWITCH COMPATIBLE WITH THE LIGHT.
- 9 PROVIDE DIMMER/ON/OFF LIGHT CONTROL COMPATIBLE WITH DOWN LIGHT DIMMING BALLAST.

0' 2' 4' 8' SCALE: 1/4" = 1'-0"



NOTE:
SEE SHEET A-15 FOR DIMENSIONED
LAYOUT OF LUMINAIRES.

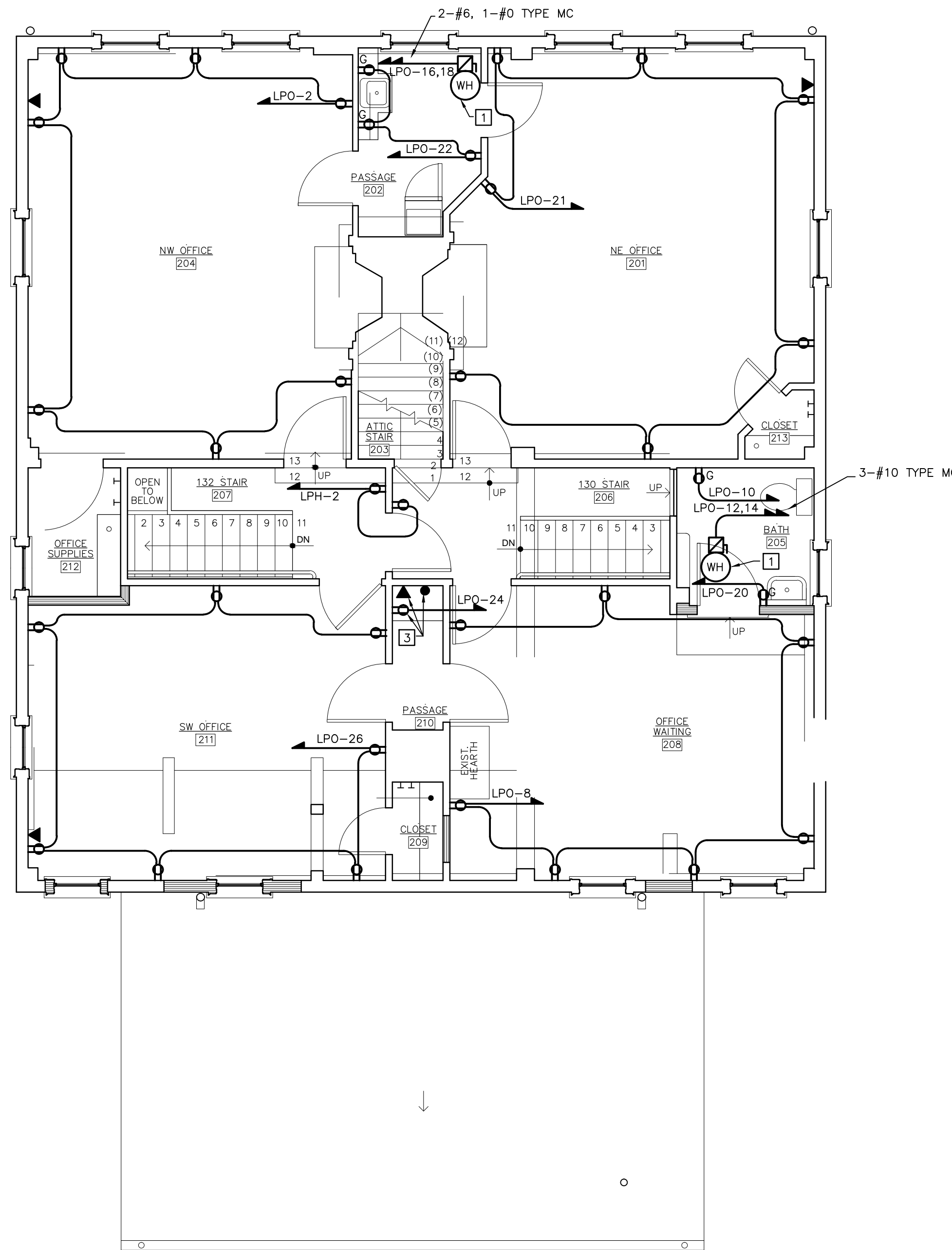


SECOND FLOOR LIGHTING PLAN

0' 2' 4' 8' SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

- 1 INSTANTANEOUS WATER HEATER INSTALLED BELOW LAV.
- 2 WALL MOUNT EXIT SIGN AT 12" ABOVE FIRST FLOOR CEILING.
- 3 MOUNT RECEPTACLE ABOVE COUNTER FOR WIRELESS ROUTER, UPS, AND PHONE SYSTEM.

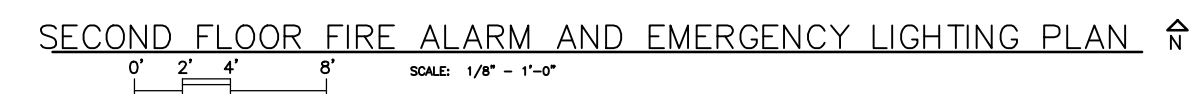


SECOND FLOOR POWER DISTRIBUTION PLAN

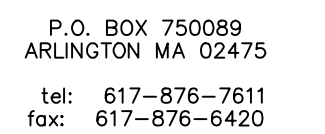
0' 2' 4' 8' SCALE: 1/4" = 1'-0"



- 1 PROVIDE POWER TO THE EXIT SIGNS AND THE EMERGENCY LIGHTS FROM THE LINE SIDE OF THE SWITCH CONTROLLING THE LIGHTS IN THE AREA SERVED.
- 2 WALL MOUNT EXIT SIGN AT 12" ABOVE FIRST FLOOR CEILING.



- 1 VERIFY EXACT LOCATION AND POWER CONNECTION POINT WITH MECHANICAL CONTRACTOR.
- 2 PROVIDE POWER TO THE EXIT SIGNS AND THE EMERGENCY LIGHTS FROM THE LINE SIDE OF THE SWITCH CONTROLLING THE LIGHTS IN THE AREA SERVED.
- 3 RECEPTACLE DEDICATED FOR USE BY CENTRAL VACUUM SYSTEM.



DRAWING TITLE:
ATTIC LIGHTING & POWER DISTRIBUTION, 1ST, 2ND, & ATTIC FIRE ALARM & EMERGENCY LIGHTING PLAN

E-4

LUMINAIRE SCHEDULE									
TYPE	MANUFACTURER	MODEL	ITEM #	FINISH	SHADE	ORIENTATION	SOCKET	LAMPS	OTHER
(A)	REJUVENATION	JEWELL	A8348	OIL RUBBED BRONZE	B8382 5" OPAL	UP/DN	GU24 CF	13W SPIRAL	UP -- FIRST FLOOR, DN --SECOND FLOOR
(B)	REJUVENATION	FRENCHGLEN	A5940	OIL RUBBED BRONZE	B8382 5" OPAL	UP	GU24 CF	9W SPIRAL	---
(C)	REJUVENATION	JOHN DAY	A4786	OIL RUBBED BRONZE	B6956	---	GU24 CF	13W SPIRAL	---
(D)	REJUVENATION	MT. TABOR	A2509	OIL RUBBED BRONZE	B8382 5" OPAL	---	SU24 CF	13W SPIRAL	FOUR LAMPS
(E)	REJUVENATION	MOCK'S CREST	A4158	OIL RUBBED BRONZE	B6956 & B4014	---	STANDARD	CFL 13W	18" IN 206; 25" IN 207; VERIFY CEILING HEIGHTS TO ALIGN BOTTOM OF FIXTURES
(F)	PROGRESS	---	P7012-30	---	---	---	---	---	12" STRIP FLUORESCENT CLOSET LIGHT UC -- LED
(G)	PROGRESS	---	P7154-30STR	---	---	---	---	---	38" FLUORESCENT WRAP, CEILING MOUNT
(H)	PROGRESS	---	P7268-30EB	---	---	---	---	---	48" STRIP FLUORESCENT UTILITY LIGHT
(I)	REJUVENATION	UMPOUA	A7468	BRUSHED NICKEL & POLISHED CHROME & OIL RUBBED BRONZE	B8382 5" OPAL	DN	GU24 CF	13W SPIRAL	BRUSHED NICKEL FIRST FLOOR BATHROOMS, POLISHED CHROME SECOND FLOOR BATH, OIL RUBBED BRONZE SECOND FLOOR PASSAGE
(J)	REJUVENATION	CARLTON	A8676	BRUSHED NICKEL	B8382 5" OPAL	DN	GU24 CF	13W SPIRAL	---
(K)	REJUVENATION	CHESHIRE	A1022	BRUSHED NICKEL	B8382 5" OPAL	DN	GU24 CF	13W SPIRAL	---
(L)	REJUVENATION	BRIGHTWOOD	A4865	BRUSHED NICKEL	B6956	---	GU24 CF	13W SPIRAL	---
(M)	PROGRESS	---	P66-DM-P8030-21A-WHITE TRIM	---	---	---	---	2X2604-P	RECESSED DOWN LIGHT, 6" DIA, 4-3/4" RECESSED DEPTH, DIMMABLE, CLEAR ALCAK
(N)	PROGRESS	---	P84-AT-P8109-28	---	---	---	---	30W-R20	RECESSED SHOWER LIGHT, 5" DIA, 5-1/2" RECESSED DEPTH, DROP WHITE LENS
(O)	PROGRESS	---	P66-DM-P8032-21	---	---	---	---	---	RECESSED WALL WASHER, 6" DIA, 4-3/4" RECESSED DEPTH, DIMMABLE, CLEAR ALCAK
EXT 1	EXISTING	---	---	---	---	---	---	---	RESTORE 130-132 ENTRY LIGHTS
EXT 2	PROGRESS	UTILITY LANTERN	P560-20	ANTIQUE BRONZE	JELLY JAR (STD)	---	STANDARD	CFL 13W	ELL EAST & SOUTH AT DECK AND RAMP
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