

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that KERRY M DRACH & NEVA CRAM

Located At 132 PLEASANT ST

Job ID: 2011-08-2065-ALTCOMM

CBL: 039-G-006-001

has permission to Renovate building, improving life safety requirements, new deck/ramp entry and bulkhead provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 11/17/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-08-2065-ALTCOMM	Date Applied: 8/24/2011 3	CBL: 039 - - G - 006 - 001 - - - -	
Location of Construction: 132 PLEASANT ST	Owner Name: KERRY M DRACH & NEVA CRAM	Owner Address: 136 PLEASANT STREET, PORTLAND, ME 04101	Phone: 772-7654
Business Name:	Contractor Name: WT Enterprises, Inc.	Contractor Address: PO Box 3928, Portland, ME 04104	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Single family dwelling on first floor with professional office(s) above	Proposed Use: Same: Single family dwelling on first floor with professional office(s) above - Renovation & restoration & provisions of an accessible friendly residence & improvement to life safety req.	Cost of Work: \$600,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group B/R-3 Type: SB/R-3 IBC/IRC 2009 Signature: <i>[Signature]</i>
Proposed Project Description: renovations & resoration of residence & offices		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>side setbacks</i></p> <p><input type="checkbox"/> Wetlands <i>can be NO closer than 5'</i></p> <p><input type="checkbox"/> Flood Zone <i>to the property</i></p> <p><input type="checkbox"/> Subdivision <i>lines 1A A33</i></p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK with conditions</i> <i>9/7/11</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><i>within</i></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>9/9/11</i></p> <p><i>D. Andrews</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

12-30-11 DWM John 653-9824 ~~Footings OK~~

Replacing under existing structure No forms in place

1-3-12 DWM John Footings OK

1-12-12 DWM John Backfill OK

4-30-12 DWM/BKL Steve 653-9821 Provide Structural
revisions + Fire blocking

5-4-12 DWM Steve Boiler vent + NTC

5-25-12 DWM Rec'd Vent + Bulletin

6-11-12 DWM Close-in OK

10-18-12 DWM/Lt Wallace Final Fail Fire Fail

AFCI Breakers, coverplates in basement, SD/COs, Self
closing + latching doors per plan.

11-28-12 DWM/BKL/Lt Wallace Fail

12-10-12 DWM/BKL/Lt Wallace Steve Elec OK.

Fire Fail Mag release, handrails

12-12-12 Lt Wallace OK

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footing Setback Inspection prior to pouring concrete

Close In Inspection Plumbing, Electrical, Framing prior to insulation or covering

Final Inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-08-2065-ALTCOMM

Located At: 132 PLEASANT ST

CBL: 039- G-006-001

Conditions of Approval:

Fire

1. Approval is based upon an evaluation as required by 101:43.10.2 for an historic renovation. Evaluation is attached to the permit in One Solution.
2. All construction shall comply with City Code Chapter 10.
3. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
4. A separate Fire Alarm Permit is required.
5. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
6. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
7. System acceptance and commissioning must be coordinated with master fire alarm company and the Fire Department. Call 874-8703 to schedule.
8. Installation of a fire alarm system requires a Knox Box to be installed per city ordinance.
9. Fire extinguishers are required per NFPA 10.
10. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
5. Those renovating residential dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

6. Any structural modifications, including the area for new HVAC in the attic, shall be submitted to this office for review prior to the start of this work.
7. The deck is required to be laterally attached to the main building in 2 locations per IRC Sec. R502.2.2.3.
8. The handrail shall conform more closely with the graspability requirements of IRC Sec. R311.7.7.3, type II, while maintaining historic preservation approval.

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. The side setbacks shall be no less than 5 foot from the closest part of the deck an ramp to the side property lines.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
3. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
4. Because the new exterior ramp and deck are close to the minimum required setbacks, the property line must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
5. This property shall remain a single family dwelling on the first floor with professional offices above. Any change of use shall require a separate permit application for review and approval.

Historic

1. All exterior alterations and additions to be consistent in form and detail with the plans approved by Historic Preservation staff on May 2, 2011. See attached approval letter.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

August 22 2011

Received from

Nova Corp

Location of Work

120-132 Pleasant St

Cost of Construction

\$ _____

Building Fee:

6,030.00

Permit Fee

\$ _____

Site Fee:

HP

50.00

Certificate of Occupancy Fee: _____

Total:

6,100.00

Building (IL)

Plumbing (IS)

Electrical (I2)

Site Plan (U2)

Other _____

CBL:

039 6006

Check #:

Visa

Total Collected \$

6,100.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

Jayb

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

Will bring in CD

Entered CD 2011 08 20 65



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 130-132 PLEASANT STREET		
Total Square Footage of Proposed Structure/Area EXISTING - 2,886 SF		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone:
Lessee/DBA (if Applicable) Dept. of Building Inspections City of Portland, Maine AUG 23 2011	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 600,000.00 C of O Fee: \$ 7 Total Fee: \$ 6,020.00 HR 50.00
	Current legal use (i.e. single family) SINGLE FAMILY (R-3) AND OFFICE (B) If vacant, what was the previous use? Proposed Specific use: SAME AS EXISTING Is property part of a subdivision? _____ If yes, please name _____ Project description: <ul style="list-style-type: none"> • RENOVATION & RESTORATION OF RESIDENCE AND OFFICES • PROVISION OF AN ACCESSIBLE-FRIENDLY RESIDENCE • IMPROVEMENTS TO EGRESS & LIFE SAFETY FOR OFFICES 	
Contractor's name: WT Enterprises, Inc Address: P.O. Box 3928 City, State & Zip: Portland, Maine 04104 Telephone: _____ Who should we contact when the permit is ready: Neva S. Lam Telephone: 772-7634 Mailing address: 136 Pleasant St, PHD, ME 04101		SIF just pr. 3 OFFICE'S PROFESSIONAL TOTAL 6,050.00

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Neva S. Lam Date: 8/23/2011

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED

AUG 23 2011

Dept. of Building Inspections
City of Portland Maine



Certificate of Design Application

From Designer: MILLS WHITAKER ARCHITECTS LLC
 Date: 21 AUGUST 2011
 Job Name: 130-132 PLEASANT STREET
 Address of Construction: " " " "

2009 ^(Existing)
~~2003~~ International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year PRE-CODE Use Group Classification (s) EXISTING: R-3 AND B (SINCE 1992)

Type of Construction PLASTER-STUCCO-TIMBER FRAMED / 1804 & 18034 / TYPE V

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? YES (EXISTING) If yes, separated or non separated or non separated (section 302.3) NO-2009 IEBC 1103.5

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

↓ **EXISTING STRUCTURE - ANY REINFORCEMENT REQ'D WILL BE DESIGN/BUILD BY CONTRACTOR WA A REGISTERED STRUCT. ENGINEER. (INFO TO BE DETERMINED)**

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (160.3)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

- Design option utilized (1609.1.1, 1609.6)
- Basic wind speed (1809.3)
- Building category and wind importance Factor, I_w table 1604.5, 1609.5
- Wind exposure category (1609.4)
- Internal pressure coefficient (ASCE 7)
- Component and cladding pressures (1609.1.1, 1609.6.2.2)
- Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- Design option utilized (1614.1)
- Seismic use group ("Category")
- Spectral response coefficients, S_D & S_M (1615.1)
- Site class (1615.1.5)

- Live load reduction
- Roof live loads (1603.1.2, 1607.11)
- Roof snow loads (1603.7.3, 1608)
- Ground snow load, P_g (1608.2)
- If $P_g > 10$ psf, flat-roof snow load P_f
- If $P_g > 10$ psf, snow exposure factor, C_e
- If $P_g > 10$ psf, snow load importance factor, I_s
- Roof thermal factor, C_t (1608.4)
- Sloped roof snowload, P_s (1608.4)
- Seismic design category (1616.3)
- Basic seismic force resisting system (1617.6.2)
- Response modification coefficient, R_d and deflection amplification factor C_d (1617.6.2)
- Analysis procedure (1616.6, 1617.5)
- Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- Flood hazard area (1612.3)
- Elevation of structure

Other loads

- Concentrated loads (1607.4)
- Partition loads (1607.5)
- Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details (**EXISTING BUILDING**)
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IIEC 2003 - **2009 IEBC 711**
- Proof of ownership is required if it is inconsistent with the assessors records. - **N.A.**
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.
→ **1.) RESIDENCE IS EXEMPT BUT HAS VOLUNTARY ACCESSIBLE BATHROOM.**
2.) OFFICES WERE DETERMINED TO NOT BE REMEDY ALTERNATIVE - SEE ATTACHED.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including: **(NO ADDITIONS)**

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period) **(NO CHANGE OF USE) (2,000 SF)**

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.




Accessibility Building Code Certificate

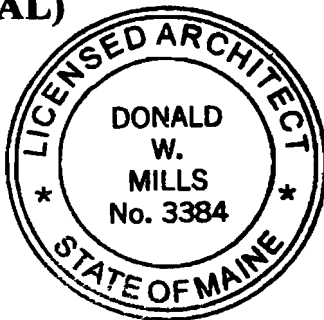
Designer: MILLS WHITAKER ARCHITECTS LLC
 Address of Project: 130-132 PLEASANT STREET
 Nature of Project: RENOVATION & RESTORATION OF
HISTORIC BUILDING FOR 1-FAMILY
RESIDENCE & OFFICES (NO CHANGE IN
USE/OCCUPANCY)

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

- 1.) RESIDENCE IS NOT REQUIRED TO COMPLY BUT INCLUDES AN ACCESSIBLE ENTRANCE, ACCESSIBLE ROUTE AND ACCESSIBLE BATHROOM.
- 2.) OFFICE WAS DETERMINED TO BE NOT READILY ATTAINABLE WHEN INTRODUCED IN PRIOR RENOVATION PERMITTED. OFFICES ARE PART-TIME AND NOT THE SOLE LOCATION OF USE FOR THE PROFESSIONALS.

Signature: 
 Title: PRINCIPAL ARCHITECT

(SEAL)



Firm: MILLS WHITAKER ARCH.
 Address: PO BOX 750089
ARLINGTON MA 02475
 Phone: 207. 647. 4545 x 2

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

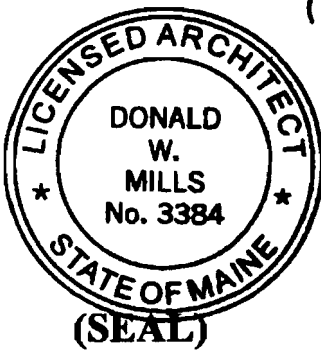
Date: 21 AUGUST 2011

From: MILLS WHITAKER ARCHITECTS LLC

These plans and / or specifications covering construction work on:

RENOVATION & RESTORATION OF 130-132 PLEASANT ST.
NO CHANGE IN USE OR OCCUPANCY

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ ²⁰⁰⁹ *International Building Code* and local amendments.



Existing

Signature: *[Handwritten Signature]*

Title: PRINCIPAL ARCHITECT

Firm: MILLS WHITAKER ARCH.

Address: PO BOX 750089
ARLINGTON MA 02475

Phone: 207.647.4545 x2

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

REFER TO GENERAL NOTES ON DRAWING A-00 FOR CODE INFORMATION.

**FIRE DEPARTMENT REQUIREMENTS – SEPARATE SHEET
SUPPLEMENT TO PAGE 3 OF THE BUILDING PERMIT**

**130-132 PLEASANT STREET
PORTLAND ME**

Name, Address & Phone Number of Applicant and the Project Architect:

**Applicant: Neva Cram & Kerry Drach
136 Pleasant Street
Portland ME 04101
207-772-7654**

**Architect: Mills Whitaker Architects LLC
Attn: Donald W. Mills, RA (3384)
PO Box 750089
Arlington MA 02475
207-647-4545 x2**

Proposed Use of Structure:

Existing Use and Occupancy as approved in 1992: R-3 Single Family Residence and B-Office

Square Footage of Proposed Structure:

Same as Existing Structure: 2,888 SF Total (First Floor = 1,620; Second Floor = 1,268)

Existing and Proposed Fire Protection of Structure:

Existing building is wood-framed (studs and timbers). Existing stud and floor joist cavities are covered throughout with original plaster finishes and solid wood flooring. There is no change anticipated in order to protect historic fabric with the exception of providing sound attenuation fire blankets (SAFB) in ceiling of First Floor below Second Floor office areas. Office egress will utilize fire doors were currently extant and will make existing historic doors tight-fitting and smoke-resistive in accordance with 2009 IEBC 1103.6.

Plans Submitted for:

- a) **Suppression System:** There is an existing fire suppression system consisting of three interior heads connected to the domestic water supply system. These heads were installed in 1992 to protect an exterior wooden fire escape (also installed in 1992) where adjacent to existing windows. The fire escape and related sprinkler heads will be removed as detailed on the drawings. In lieu of the fire escape, a communicating door with magnetic hold-open device is proposed to provide passage to the second interior stairway serving the second floor. Also, communicating doors between offices will receive electric strikes that will automatically unlock via the fire alarm to give each office two independent means of egress to the two interior stairways. Both stairways lead directly to exterior doors.
- b) **Detection System:** Refer to Drawings E1, E4 and E5 for the proposed fire alarm system.

Life Safety Plan:

- a) **Fire Resistance Ratings of all means of egress:** Existing stair enclosures are not rated and are not required to be rated in accordance with 2009 IEBC 1103.6.
- b) **Travel Distance from most remote point to exit discharge:** 45' maximum.
- c) **Location of any required fire extinguishers:** Proposal exceed minimum code requirements as follows: two in each interior stairway at first and second floor landings respectively; one in first floor kitchen; one in second floor passageway (kitchenette); two in basement.
- d) **Location of emergency lighting:** Refer to Drawings E-4 and E-5.
- e) **Location of exit signs:** Refer to Drawings E-4 and E-5.
- f) **NFPA 101 code summary:** Refer to General Notes on Drawing A-00.

NEVA CRAM ASSOCIATES
MANAGEMENT CONSULTING

7 September 1992

Michael O'Reilly, Loan Officer
Commercial Loan Department
Peoples' Heritage Bank
Portland, Maine

Dear Michael O'Reilly,

As requested I have summarized my research regarding the impact of the Americans with Disabilities Act of 1990 (ADA) (P.L. 101-336) on our proposed purchase of 130-132 Pleasant Street. The impact is limited to 132 Pleasant Street which we plan to convert to professional offices.

I spoke at length with Tyler White, Information Specialist, at the New England Disability and Business Technical Assistance Center, as well as with Margaret Schmuckal, an inspector with the Inspections and Code Enforcement Department of the City of Portland. I also consulted materials supplied by alpha One, Center for Independent Living; the Federal Register, 28 CFR Part 36, Nondiscrimination on the Basis of Disability by Public Accommodations and in Commercial Facilities: Final Rule; and the Checklist for Existing Facilities published by the Adaptive Environments Center and Barrier Free Environments. I also spoke with Gary Hamilton of the Portland City Office of Historic Preservation.

Although there are many minor modifications to enhance handicapped accessibility which are being incorporated into our planned renovations at 132 Pleasant Street, the perhaps most obvious modification to be considered is the addition of a ramp to allow accessibility by persons in wheelchairs. Three factors were considered:

136 PLEASANT STREET
PORTLAND, MAINE 04101
207 761-4092

1. A ramp of the proper inclination to either entry of 132 Pleasant street was unfeasible due to the required length needed to meet the gradation requirement. (The property did not include sufficient land to accommodate a ramp.)
2. All exterior and interior doors of the building (erected in 1804) measure 28 inches in width while a wheelchair requires a minimum of 32 inches in width.
3. As a "contributing building" in Portland's historic district, the site is severely restricted as to exterior changes.

We have seriously addressed the issue of the removal of physical barriers at 132 Pleasant and find such alterations to be not readily achievable. Alternative methods of providing services will, therefore, be offered to clients with disabilities preventing their use of the 132 facilities. This will be achieved by securing alternate sites for service delivery when the need arises, i.e., barrier free office space will be secured at another location as necessary.

We believe these arrangements do comply with the intent of the Americans with Disabilities Act of 1990, as do the various individuals mentioned above who work primarily with the implementation of the ADA.

Sincerely,


Neva S Cram, M.S.

Enclosure: Fact Sheet, AMERICANS WITH DISABILITIES ACT
alpha One, Center for Independent Living

**FIRE DEPARTMENT REQUIREMENTS – SEPARATE SHEET
SUPPLEMENT TO PAGE 3 OF THE BUILDING PERMIT**
Submitted 22 August 2011 / Updated 20 October 2011

ALTERATIONS TO 130-132 PLEASANT STREET
PORTLAND ME

Name, Address & Phone Number of Applicant and the Project Architect:

Applicant: Neva Cram & Kerry Drach
136 Pleasant Street
Portland ME 04101
207-772-7654

Architect: Mills Whitaker Architects LLC
Attn: Donald W. Mills, RA (3384)
PO Box 750089
Arlington MA 02475
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Same as Existing Structure: 2,888 SF Total (First Floor = 1,620; Second Floor = 1,268)

Existing and Proposed Fire Protection of Structure:

Existing building is wood-framed (studs and timbers). Existing stud and floor joist cavities are covered throughout with original plaster finishes and solid wood flooring. There is no change anticipated in order to protect historic fabric with the exception of providing sound attenuation fire blankets (SAFB) in ceiling of First Floor below Second Floor office areas. Office egress will utilize fire doors were currently extant and will make existing historic doors tight-fitting and smoke-resistive in accordance with 2009 IEBC 1103.6.

Plans Submitted for:

- a) Suppression System: There is an existing fire suppression system consisting of three interior heads connected to the domestic water supply system. These heads were installed in 1992 to protect an exterior wooden fire escape (also installed in 1992) where adjacent to existing windows. The fire escape and related sprinkler heads will be removed as detailed on the drawings. In lieu of the fire escape, a communicating door with magnetic hold-open device is proposed to provide passage to the second interior stairway serving the second floor. Also, communicating doors between offices will receive electric strikes that will automatically unlock via the fire alarm to give each office two independent means of egress to the two interior stairways. Both stairways lead directly to exterior doors.
- b) Detection System: Refer to Drawings E1, E4 and E5 for the proposed fire alarm system.

Life Safety Plan:

- a) Fire Resistance Ratings of all means of egress: Existing stair enclosures are not rated and are not required to be rated in accordance with 2009 IEBC 1103.6.
- b) Travel Distance from most remote point to exit discharge: 45' maximum.
- c) Location of any required fire extinguishers: Proposal exceeds minimum code requirements as follows: two in each interior stairway at first and second floor landings respectively; one in first floor kitchen; one in second floor passageway (kitchenette); two in basement.
- d) Location of emergency lighting: Refer to Drawings E-4 and E-5.
- e) Location of exit signs: Refer to Drawings E-4 and E-5.
- f) NFPA 101 code summary: Refer to General Notes on Drawing A-00 and to the following summary.

NFPA 101 Summary (2009 Edition)

The existing building in the Spring Street Historic District was constructed in 1804 and added to in 1834. Originally a two-family home, it was converted into a single-family residence and small professional office in 1992. There is no change of use or occupancy classification as part of this project.

The proposed project has been reviewed by the Portland Historic Preservation Board and received a Certificate of Appropriateness on May 2, 2011. Additionally, the project has received Historic Preservation Certification from both the Maine Historic Preservation Commission (June 1, 2011) and the National Park Service (June 10, 2011). Copies of each of these three Certificates are attached for information purposes.

43.10.1 General Requirements: Alterations to the existing building shall comply with NFPA 101 43.10.1(1), referring to the specific elements of Section 43.10 "Historic Buildings."

43.10.2 Evaluation: This NFPA Summary addresses the various elements of 43.10.2, items (1), (3), (4) and (5). This summary has been prepared by the project Architect who is a recognized professional in the field of historic preservation.

43.10.3 Repairs: Repairs to the existing building will be performed with like materials or better. This applies primarily to structural repairs (wood framing), window restoration and door repairs.

43.10.4.1 General: Applicable provisions of Sections 43.3, 43.4, 43.5 and 43.6 are noted below in terms of the provisions referenced for historic buildings in 43.10.4.

43.3.1.2(2): Repairs, as defined by 43.2.2.1.1, comply with Section 43.3 as modified by 43.10.

43.4.1.2(2): Renovations, as defined by 43.2.2.1.2, comply with Section 43.4 as modified by 43.10.

43.5.1.2(2): Modifications, as defined by 43.2.2.1.3, comply with Sections 43.5.1.1(1) and 43.5.1.1(2) as modified by 43.10. The project is not an "extensive modification" since only 26% of the area is to be modified in accordance with the definitions in Section 43.5.2 (See Work Area on Drawing A-00).

43.6.1.2(2): Based on the definition of "Modifications" noted above, the project is not considered to be a "Reconstruction" as defined by 43.2.2.1.4 and as described in Sections 43.6.1.1(1), (2) and (3) as modified by 43.10. Nonetheless, the following elements have been included in the work:

Illuminated exit signs, emergency lighting, fire extinguishers and fire/smoke detection systems to be continuously monitored by an UL-Listed central station notification and reporting service.

43.10.4.2 Replacement: Missing features, such as missing interior door openings and modified window sash components, will be fabricated utilizing like materials or better.

43.10.4.3 Egress: Door openings, window openings (in bedrooms) and stairway widths are as follows:

First Floor Egress: The residence has three exit doors in excess of code requirements (only two required). Furthermore, each sleeping room incorporates two egress doors and three emergency egress windows available to grade. Refer to the attached emergency exit information diagram for the First Floor.

Second Floor Egress: The office is served by two independent stairways leading directly to two independent exit doors to grade. The two stairways are separated by a fire door that will be normally open via a magnetic hold-open device and will close automatically in the event of fire alarm activation. Each office and the waiting room provide access from the rooms directly into either of the two independent stairs. This is accomplished through the primary door leading into each room and communicating doors into adjacent rooms that allow exit into the adjacent stairway. Refer to the attached emergency exit information diagram for the Second Floor. Also note that an exit path diagram will be posted in each of the four rooms.

Door Openings in the facility are as follows:

Existing Exterior Door at 130 Pleasant Street: 30" width in compliance with minimum existing door leaf width for existing buildings of 28" per 7.2.1.2.3.2(4).

Existing Exterior Door at 132 Pleasant Street: 30" width in compliance with minimum existing door leaf width for existing buildings of 28" per 7.2.1.2.3.2(4).

New Exterior Door at 130-R Pleasant Street: 36" width in compliance with new systems and 32" minimum clear width per 7.2.1.2.3.2.

Interior Door Widths: With the exception of two interior doors, all interior door openings meet or exceed the minimum door leaf width requirements of 28" per 7.2.1.2.3.2. The two exceptions are:

Door 1-23 for First Floor Half Bath (Drawing 1.1/A-11): 24" wide pocket door. This is the maximum door width that can be provided for this opening while preserving the adjacent wall planes of the original room configuration of the historic structure. The occupant load of the room is only one person and the room is 14.25 square feet. A 24" leaf width for this location complies with 7.2.1.2.3.2(2) and with 24.2.4.2.

Door 2-5 for Attic Stair: 19.75" wide historic door. This is the circa 1835 attic access door that leads into an unoccupied space that will be used only primarily for HVAC equipment serving the second floor. Widening of this door would require relocation of the original demising wall between the two units of the 1835 building configuration. The attic area is not an occupied area and the door width exceeds the 18" minimum fire escape width serving fewer than 10 occupants per Table 7.2.8.4.1(a).

Windows are not required for egress from sleeping rooms, as stated in 24.2.2.3.3, since there are two independent exits provided from each of the two sleeping rooms, with one leading directly to the exterior side doors and the other leading toward the back door of the residence (main residence entry door). Nonetheless, each of the three windows in each sleeping room exceeds the minimum requirements for emergency egress windows per NFPA 101. Each window provides approximately 6 SF of clear opening (5.7 SF minimum) with 30" wide x 28" high clear openings (20" min. width; 24" min. height). Furthermore, the windows are located about 5' above grade (20' allowed).

Stairways: The occupant load of the business use (second floor) is 13 persons based on Table 7.3.1.2 (1268 GSF / 100 SF per person). The existing stairs are 32" wide each for a total egress width of 64", providing for a capacity of 213 persons (0.3" per person per Table 7.3.3.1). In existing buildings, the width of exit access shall be permitted to be 28" per 7.3.4.1.2. (Note that two exits are provided for the office area whereas only a single exit would be allowed for the existing business occupancy per 39.2.4.4 since the occupant load is below 30 and there are three or fewer floor levels.)

43.10.4.4 Door Swing: The historic entrance doors swing into the building at the 130 and 132 entrances. The historic doors serve a total occupant load for the office area of 13 persons (7 per door), far fewer than the fifty person trigger for requiring a door to swing in the direction of egress travel per 7.2.1.4.2(1). The new entrance door to the residence will also swing into the building. Residential doors are allowed to swing into the building per 7.2.1.4.2(2).

43.10.4.4 Transoms: There are no door transoms in the facility.

43.10.4.6 Interior Finishes: Existing interior finishes are permitted to stay in place per 43.10.4.6.1. In the exits, which consist of the two interior stairs that connect the first floor side entrances to the second floor office, the finishes consist of wood wainscoting and plaster over wood lath. The wood wainscoting is 7/8" thick and is presumed to be Eastern White Pine or similar domestic wood. In accordance with ASTM E84, most domestic wood products qualify as Class C materials with a flame spread index range of 90 to 160 (FSI of 76–200 allowed). Existing plaster over wood lath in good condition is exempted from requiring certification compliance with fire-rating requirements per 43.10.4.8 as noted for one-hour rated assemblies.

43.10.4.7 Stairway Enclosures: The stairways are permitted to be unenclosed per 43.10.4.7.1 since they only serve one adjacent floor. Nonetheless, the project includes the provision of tight-fitting doors and solid elements that are noted in 43.10.4.7.2 as added safety measures.

43.10.4.8 One-Hour Fire-Rated Assemblies: The existing walls and ceilings of the building consist of wood lath and plaster construction in good condition, thereby exempting the requirement for one-hour fire resistance rated construction.

43.10.4.9 Stairway Handrails and Guards: Existing stairs would not qualify as "grand" but existing guards are historic and are intended to remain. New wall-mounted handrails are indicated.

43.10.4.10 Exit Signs: Illuminated exit signs are provided in the two stairways serving the office.

43.10.4.11 Sprinkler Systems: It is our understanding that an automatic sprinkler system is not required for an existing residence (see 24.3.5.1). An existing business occupancy requires portable fire extinguishers per 39.3.5 and these are being provided per 9.7.4.1 in locations that exceed the spacing requirements of NFPA 10.

43.10.5 Change of Occupancy: The existing use and occupancy classifications are unchanged.

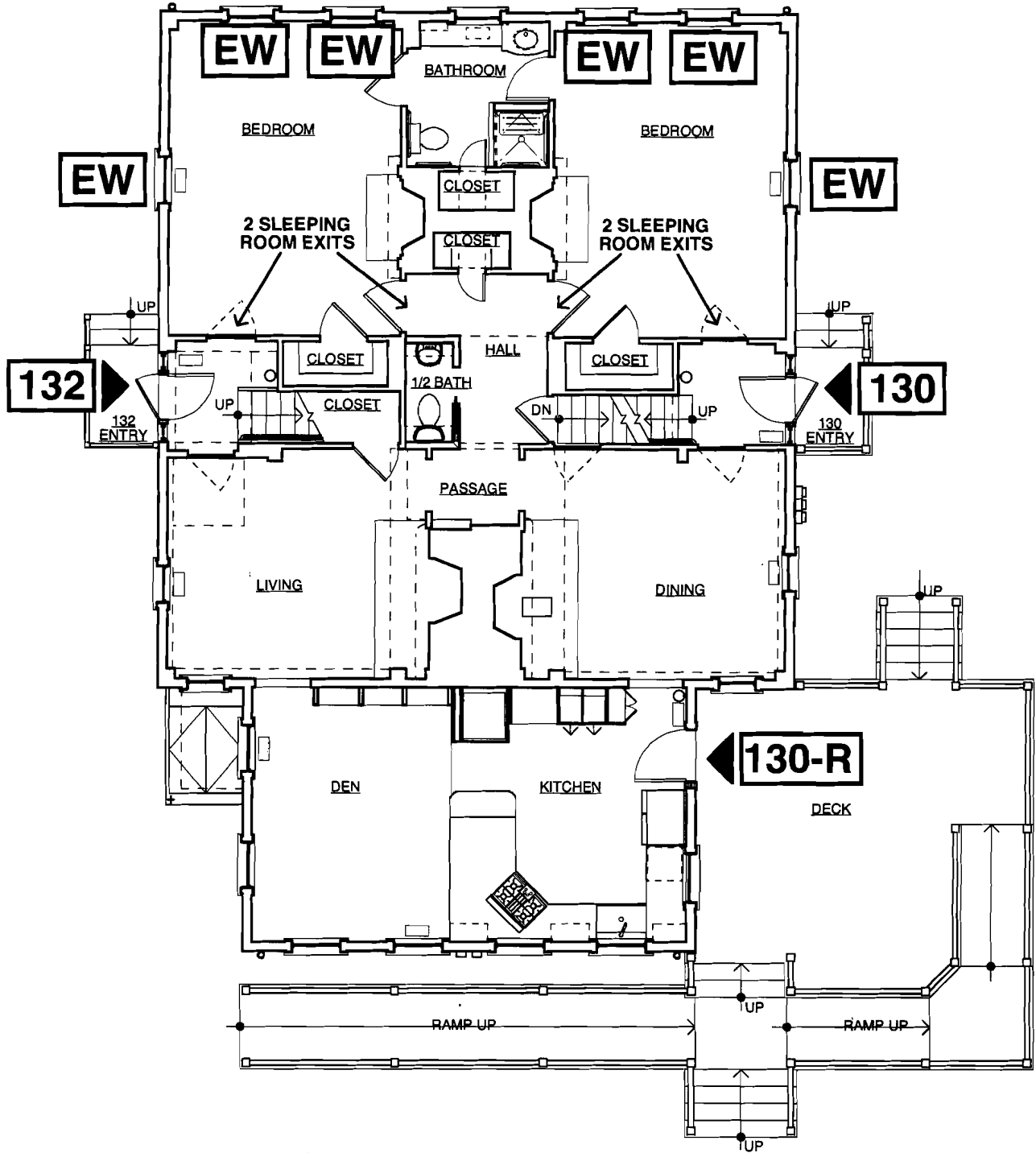
ATTACHMENTS:

EXIT INFORMATION

First Floor Exit Information
Second Floor Exit Information
Emergency Exit Plan – Waiting Area
Emergency Exit Plan – N.E. Office
Emergency Exit Plan – N.W. Office
Emergency Exit Plan – S.W. Office

HISTORIC APPROVALS

Certificate of Appropriateness – City of Portland Historic Preservation Board – May 2, 2011
Historic Preservation Certification Application Review
Maine Historic Preservation Commission – June 1, 2011
National Park Service Tax Incentives Program – June 10, 2011



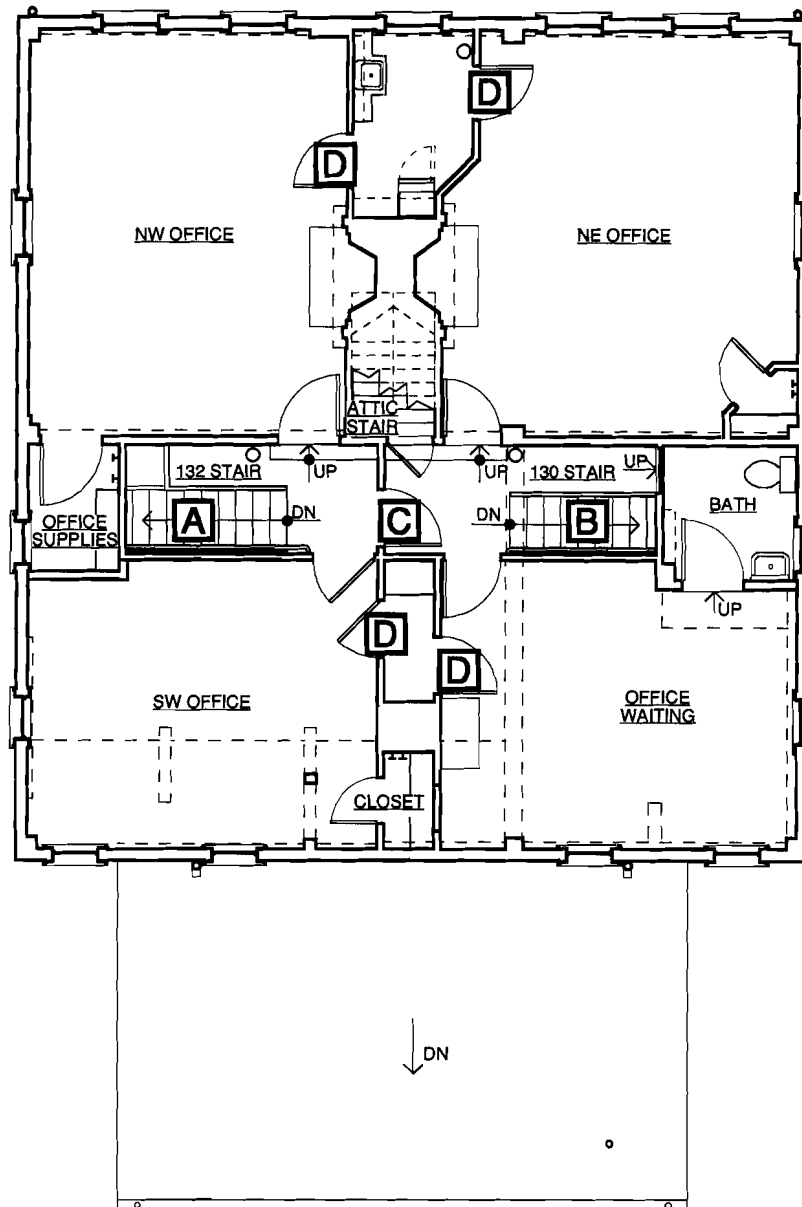
FIRST FLOOR EXIT INFORMATION

130 - EXIT FOR OFFICE & RESIDENCE

130-R - ENTRANCE / EXIT FOR RESIDENCE

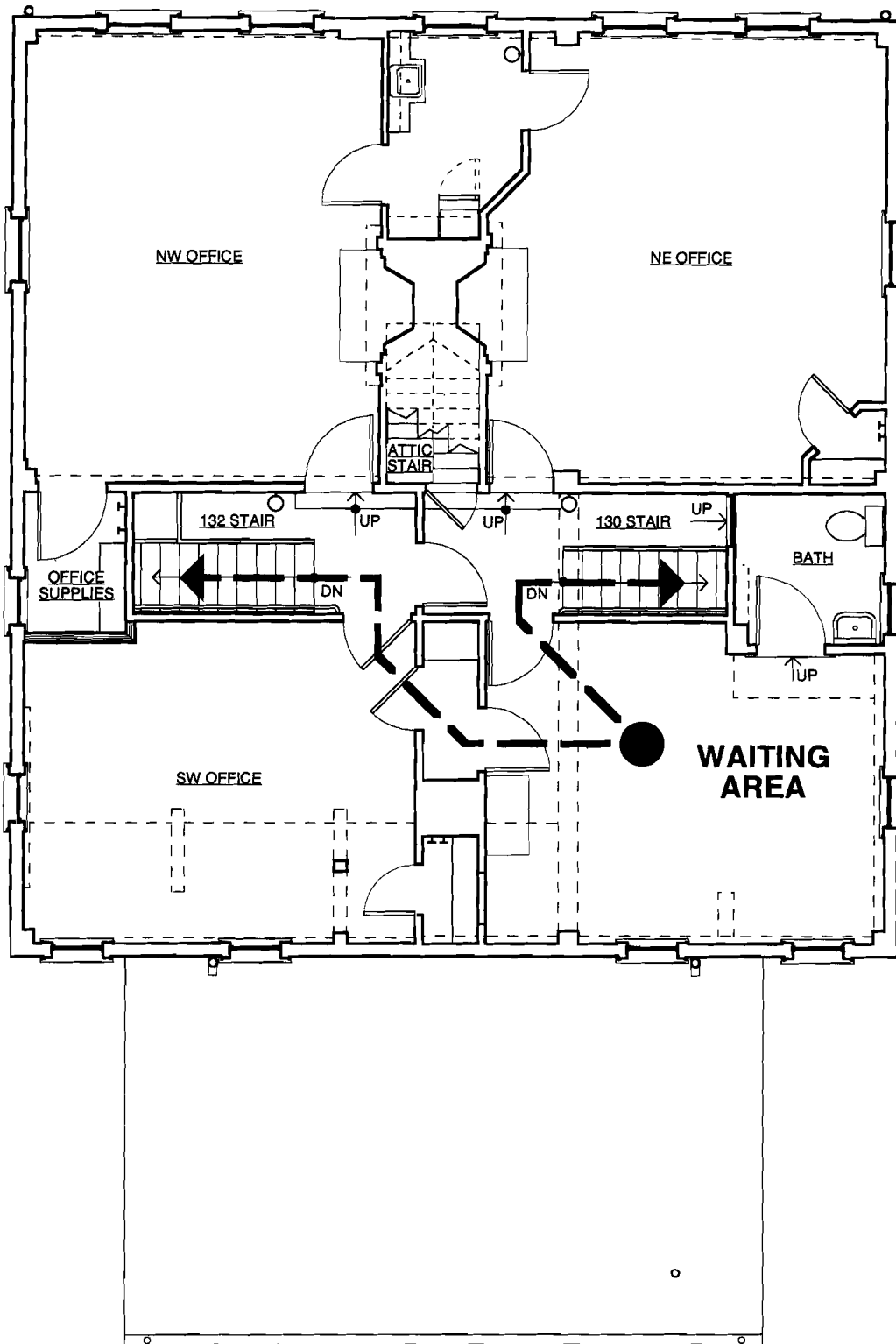
132 - ENTRANCE TO OFFICE; EXIT FOR OFFICE & RESIDENCE

EW - EMERGENCY EGRESS WINDOW FROM SLEEPING ROOM



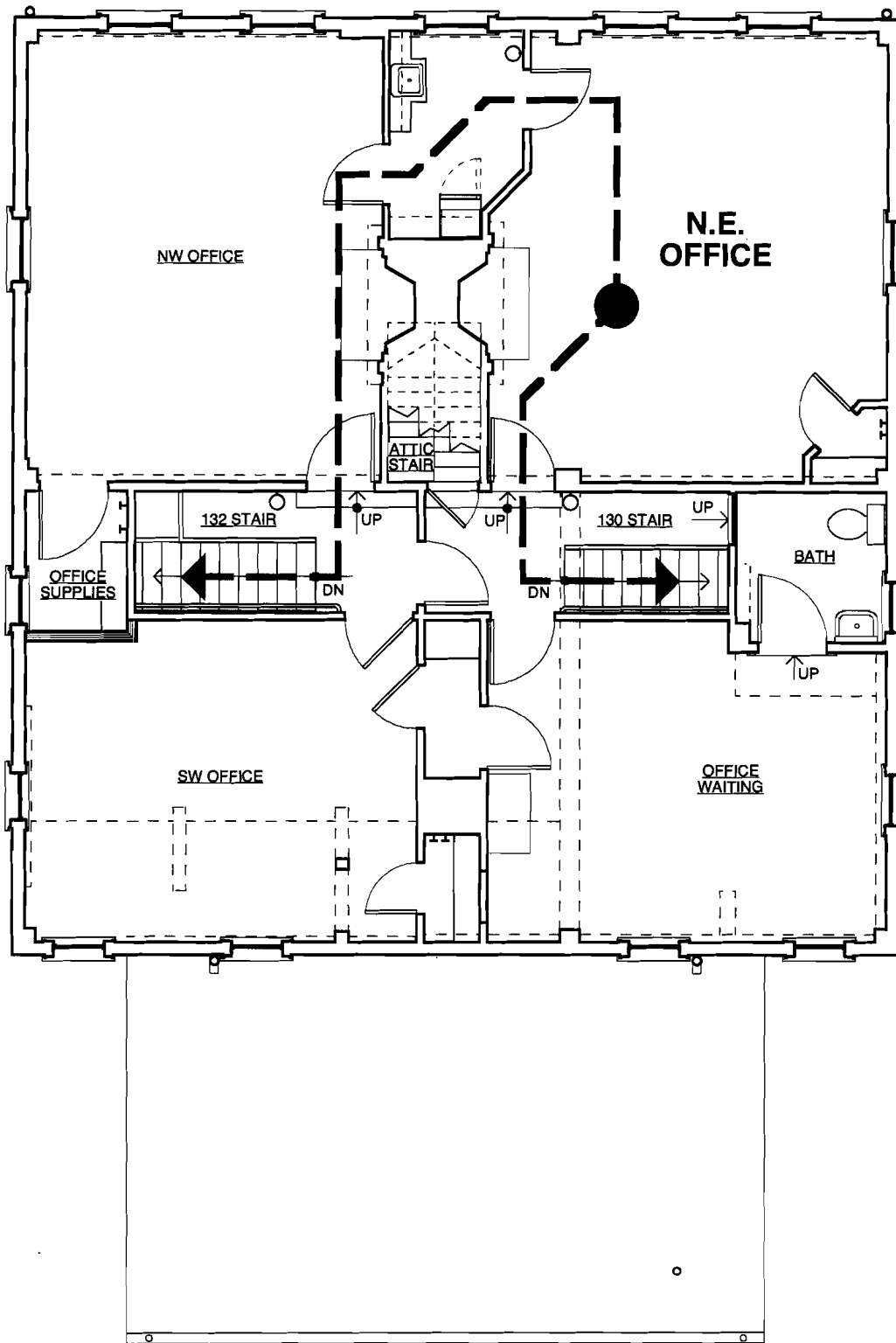
SECOND FLOOR EXIT INFORMATION

- A** - ENTRY STAIR DOWN TO EXIT
- B** - BACK STAIR DOWN TO EXIT
- C** - DOOR NORMALLY OPEN; CLOSSES UPON FIRE ALARM
- D** - DOORS NORMALLY LOCKED; UNLOCKED UPON FIRE ALARM



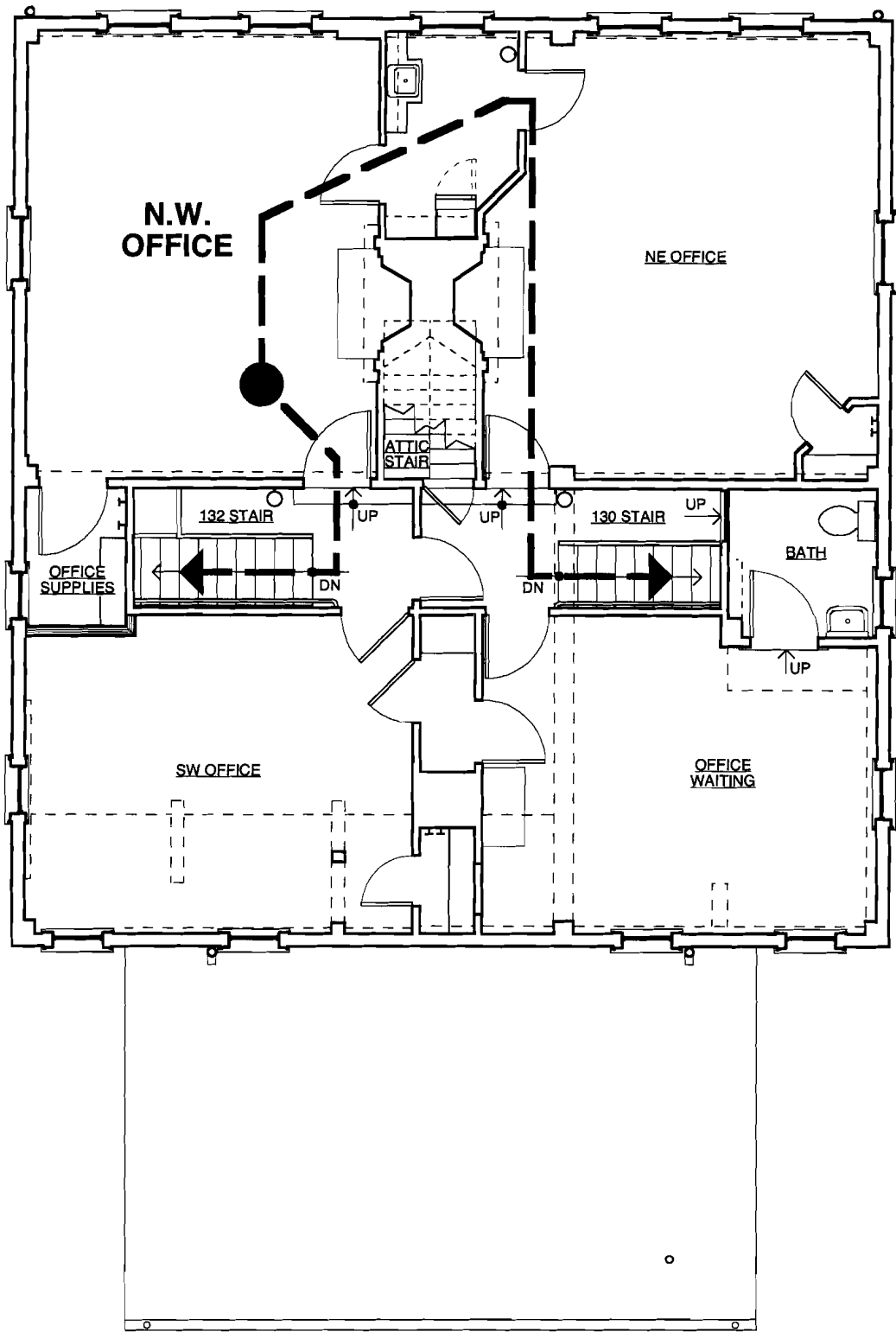
EMERGENCY EXIT PLAN

BOTH STAIRS LEAD DIRECTLY TO EXTERIOR



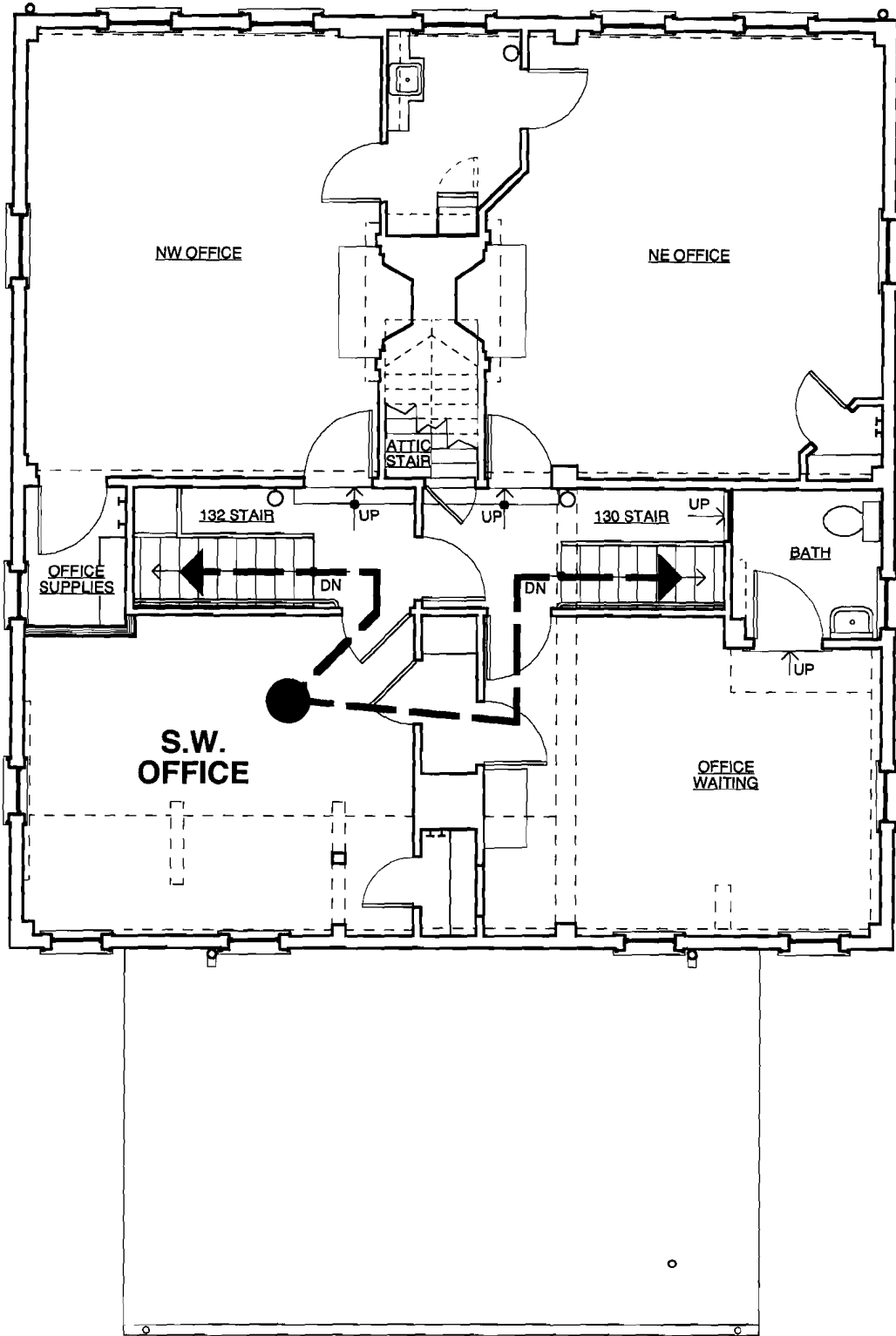
EMERGENCY EXIT PLAN

BOTH STAIRS LEAD DIRECTLY TO EXTERIOR



EMERGENCY EXIT PLAN

BOTH STAIRS LEAD DIRECTLY TO EXTERIOR



EMERGENCY EXIT PLAN

BOTH STAIRS LEAD DIRECTLY TO EXTERIOR

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice Chair
Scott Benson
Rebecca Ermlich
Michael Hammen
Ted Oldham
Susan Wroth

May 2, 2011

Neva Cram & Kerry Drach
136 Pleasant Street
Portland, Maine 04101

Re: Exterior Rehabilitation and Alterations; 130-132 Pleasant Street

Dear Ms. Cram and Mr. Drach:

This office has reviewed and approved your proposal for a program of exterior alterations and rehabilitation at 130-132 Pleasant Street, as described in your application dated April 5, 2011 and as amended in drawings dated April 29, 2011. It is our understanding that you are seeking state and federal historic tax credits for the work and are therefore seeking approval from the Maine Historic Preservation Commission and National Park Service as well.

This approval is made without conditions.

All improvements shall be carried out as described and depicted in your application dated 4/5/11, *as amended in the supplemental drawings dated 4/29/11 and described in a 5/2/11 e-mail from architect Don Mills*. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in

significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

A handwritten signature in black ink that reads "Deborah Andrews". The signature is written in a cursive style with a large, sweeping initial "D".

Deborah Andrews
Historic Preservation Program Manager

Cc: Don Mills, Mills Whitaker Architects ✓

NATIONAL PARK SERVICE
RECEIVED
HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 - DESCRIPTION OF REHABILITATION

JUN 6 2011

NPS Office Use Only

NRIS No:

NPS Office Use Only

Project No:

25221

Instructions: Read the instructions carefully before completing this application. No consideration will be made unless a completed application form has been received. Type or print clearly in black ink. If additional space is needed, use additional sheets. A copy of this form may be provided to the Internal Revenue Service. The decision by the National Park Service with respect to certification is made on the basis of the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings, and specifications), the application form shall take precedence.

1. Name of Property: 130-32 Pleasant Street
Address of Property: Street 130-132 Pleasant Street
City Portland County Cumberland State ME Zip 04101

Listed individually in the National Register of Historic Places; give date of listing: _____
 Located in a Registered Historic District; specify: Spring Street Historic District
Has a Part 1 Application (Evaluation of Significance) been submitted for this project? yes no
If yes, date Part 1 submitted: _____ Date of certification: 10/18/10 NPS Project Number: 25,221

2. Data on building and rehabilitation project:
Date building constructed: c. 1804, 1830's Total number of housing units before rehabilitation: 1
Type of construction: wood frame Number that are low-moderate income: 0
Use(s) before rehabilitation: housing and office Total number of housing units after rehabilitation: 1
Proposed use(s) after rehabilitation: housing and office Number that are low-moderate income: 0
Estimated cost of rehabilitation: \$676,000 Floor area before rehabilitation: 2857 sq. ft.
This application covers phase number 1 of 1 phases Floor area after rehabilitation: 2897 sq. ft.
Project/phase start date (est.): Aug. 1, 2011 Completion date (est.): Mar. 1, 2012

3. Project contact:
Name Scott Hanson, Sutherland Conservation & Consulting
Street 295 Water Street, Suite 209 City Augusta
State ME Zip 04330 Daytime Telephone Number 207 620-6291

4. Owner:
I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 U.S.C. 1001.
Name Neva Cram and Kerry Drach Signature [Signature] Date 4 May 2011
Organization _____
Social Security or Taxpayer Identification Number 006 42 6589
Street 136 Pleasant Street City Portland
State ME Zip 04101 Daytime Telephone Number 207 772-7654

NPS Office Use Only

The National Park Service has reviewed the "Historic Certification Application - Part 2" for the above-named property and has determined:

- that the rehabilitation described herein is consistent with the historic character of the property or the district in which it is located and that the project meets the Secretary of the Interior's "Standards for Rehabilitation." This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is completed.
- that the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's "Standards for Rehabilitation" if the attached conditions are met.
- that the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's "Standards for Rehabilitation." A copy of this form will be provided to the Internal Revenue Service.

Date 6/10/2011 National Park Service Authorized Signature [Signature] National Park Service Office/Telephone No. NPS/TPS

See Attachments Condition. Sheet

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

CONDITIONS SHEET
Historic Preservation Certification Application

Property name: N/A

Project Number: 25221

Property address: 130-132 Pleasant Street

Portland, ME

The rehabilitation of this property as described in the Historic Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

Item No. 5 - clapboards

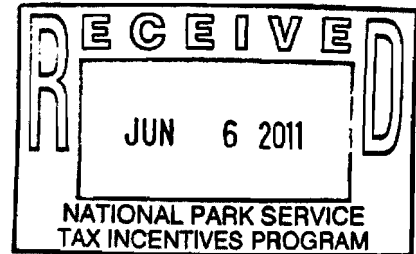
Replacement clapboards must be scarfed at joints with other clapboards to replicate historic detailing. This condition does not apply to the single story shed addition at the rear of the building.

Items No. 10, No. 11, No. 18 - interior trim

Historic trim must be retained to the greatest extent possible. Where new walls and new interior doors are proposed, new trim must not replicate historic trim. New trim should retain the overall dimensions (width and thickness) of historic trim, but should have simplified profiles. Historic trim should only be replicated where historic walls previously existed.

Item No. 12 - structural repairs

Details regarding necessary structural repairs must be submitted for review and approval when available.



6/1/11

Kit F. Mohney
State Official Signature

Deputy SHPO

State Contact Telephone Number

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed in the box above are met.

6/10/2011

Jo Ellen Hensley
National Park Service Signature

NPS / TPS
Telephone Number

Marge Schmuckal - Re: 130-132 PLEASANT STREET

From: Marge Schmuckal
To: nevacram@maine.rr.com
Date: 9/7/2011 11:10 AM
Subject: Re: 130-132 PLEASANT STREET

Thank you for the scaleable plan that you dropped off yesterday, It helped that Ann sketched on the deck and other new ramping areas so I could figure out setbacks. My one question now is the size of the deck. Can the deck be smaller (and thereby allowing for a greater set back) and still accommodate the ramp?

I would like a scaleable plan with the new ramp and deck shown on it so that I am measuring what is being proposed instead of what we drew on. It should be your drawing that we are reviewing and not ours.

We can meet if you like. I keep getting yanked into meetings, so let me know what may be available for you.

My initial review with the new plan that you brought in shows that you can meet the setbacks and lot coverage. I can invoke section 14-433, but I want to be sure it is the minimum amount that is needed to allow what is reasonably needed for this deck and ramp. I will pass this on in the mean time to Deb Andrews while I finish the details with you

Thank you,
Marge Schmuckal

>>> <nevacram@maine.rr.com> 9/7/2011 9:37 AM >>>

Hi Marge -

I hope the frenzy of returning to work after a 4-day, well deserved weekend has subsided.

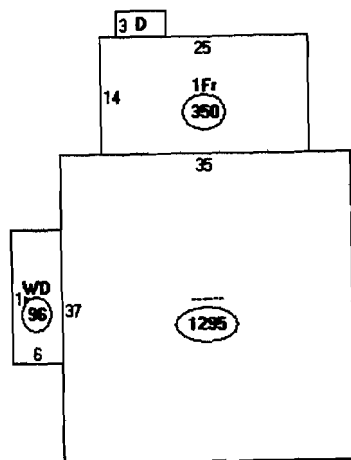
I am back with hopefully the answers you need regarding our plans for 130-132 Pleasant Street. I spoke with Ann Machado yesterday morning and we reviewed the plans, and made the supposition that your concern is the set-backs on either side of the ramps/deck. I realize you may have other concerns as well or that our assumption is totally wrong.

Assuming this is the issue, Don Mills had said the you two had previously discussed that 14-433(b) might allow for a 5' sideyard requirement to an accessory structure. You had evidently discussed this issue when considering having the ramp come from the street. We thought the same code reference would apply here.

My husband and I do not want to violate any city codes but we also are hoping not to have to contract for more of Don's time as this impacts our ever thinning bank accounts.

Looking forward to hearing from you.

Neva Cram



Descriptor/Area	
A: ---	21
1295 sqft	1295
B: WD	
96 sqft	96
C: 1Fr	
350 sqft	350
D: FBAY	
18 sqft	18
<hr/>	
	1759 #
	27.6
	98
	374.125
	<hr/>
	2258.725

Assessors
 5510 # x 50%
 per their survey
 5468 # x 50%

= 2755 # MAX lot cov.
~~= 2734 # MAX lot cov.~~
 OK

8/26/2011 The existing and new plot plans are not to scale. I have e-mailed the applicant. It may not meet setbacks - may need an appeal- the lot lines are not clearly shown on the submittal - I am not sure where to measure to - on HOLD right now - MES

9/6/11 - Received Scalable plan but doesn't have the New Additions on it

A handwritten signature in black ink, appearing to be "H. J. [unclear]", written in a cursive style.

Marge Schmuckal - Re: Building Permit Submitted!

From: Marge Schmuckal
To: Deb Andrews; Neva Cram
Date: 8/26/2011 1:57 PM
Subject: Re: Building Permit Submitted!
CC: Barbara Barhydt

Hi Neva,

I started reviewing your application. I am having trouble reviewing it. The site plan shown on the cover sheet is not to scale, so I can not verify setbacks etc. I also see that the site is not showing all the specific property lines for this property. So again, I am having troubles with measuring setbacks. I will need something better to complete my review. Is there an actual survey available?

Is the deck and access ramp for the first floor residential only? Or are there exterior changes for the professional offices also. I am trying to determine whether planning would require a site plan review application for these changes.

Thank you,
I hope you weather the hurricane safely,
Marge

>>> Neva Cram <nevacram@maine.rr.com> 8/24/2011 9:00 AM >>>
Hi Marge and Deb,

I want to thank you both for your help with this process.
The entire permitting package for 130-132 Pleasant Street historic restoration (along w/a big check) was hand-delivered yesterday afternoon.

I suspect that you have not been waiting with baited breathe for this but we have.
I hope you enjoy your review - and are delighted with the entire application.

Thanks again - Neva

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z

CBL 039 G006001
Land Use Type TWO FAMILY
Property Location 132 PLEASANT ST
Owner Information DRACH KERRY M & NEVA S CRAM
 136 PLEASANT ST
 PORTLAND ME 04101
Book and Page 15680/004
Legal Description 39-G-6
 PLEASANT ST 130-132
 5510 SF
Acres 0.126

Current Assessed Valuation:

TAX ACCT NO. 6026 **OWNER OF RECORD AS OF APRIL 2011**
 DRACH KERRY M &
 NEVA S CRAM
 136 PLEASANT ST
 PORTLAND ME 04101

LAND VALUE \$153,200.00
BUILDING VALUE \$185,700.00
NET TAXABLE - REAL ESTATE \$338,900.00

TAX AMOUNT \$6,195.10

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](mailto:).



Best viewed at 800x600, with Internet Explorer

Building Information:

Card 1 of 1

Year Built 1800
Style/Structure Type COLONIAL
Stories 2
Bedrooms 3
Full Baths 2
Half Baths 1
Total Rooms 8
Attic UNFIN
Basement FULL
Square Feet 2958

[View Sketch](#) [View Map](#) [View Picture](#)

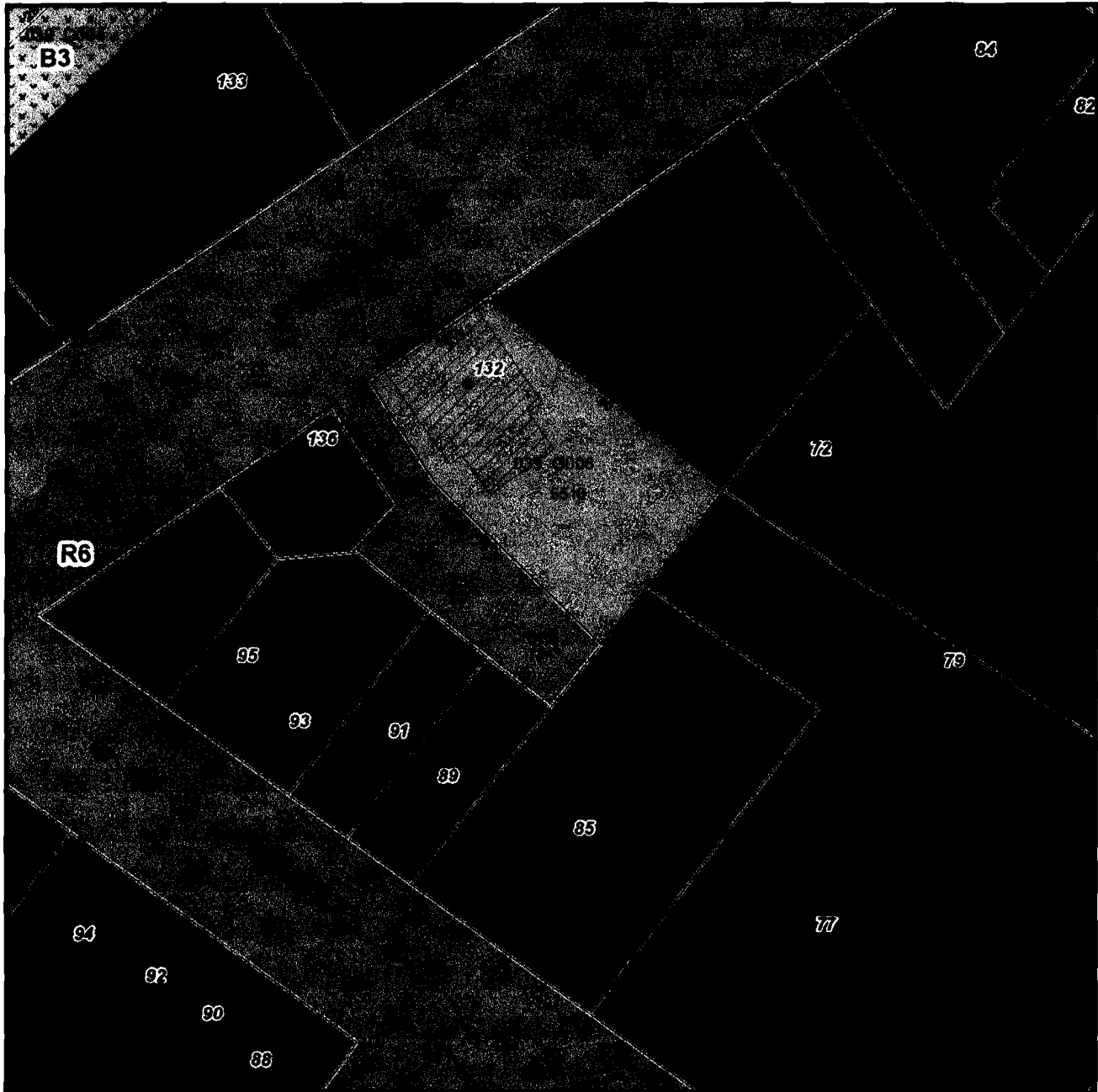


Sales Information:

Sale Date	Type	Price	Book/Page
8/24/2000	LAND + BUILDING	\$0.00	15680/4
11/1/1992	LAND + BUILDING	\$128,500.00	10377/262

[New Search](#)

Map



Parcels

- Parcels
- Parcels
- Parcels
- Interstate
- Streets

Shoreland Overlay Zone

- Shoreland Overlay Zone
- Stream Overlay Zone
- Stream_protection
- Island Zoning**
- C43
- I-B
- I-TS

Zoning (continued)

- R3 Residential
- R4 Residential
- R5 Residential
- R6 Residential
- ROS Recreation Open Space
- RP Residential

Zoning (continued)

- C29
- C30
- C31
- none
- B2c
- C32
- C33

Marge Schmuckal - Re: Attachment change

From: Marge Schmuckal
To: Neva Cram
Date: 9/1/2011 5:36 PM
Subject: Re: Attachment change

Neva,

I still need a scaleable version of a site plan that has not been reduced. I know that you said the submitted version is scaleable, but it is not working for me with a 1"=10' scale. And what you sent does not show the proposed additions. Can I get an original size paper version so I can figure out what the setbacks are? I would be glad to set up a time with you or anyone else so I can move this permit on.

Thank you,
Marge Schmuckal

>>> Neva Cram <nevacram@maine.rr.com> 8/27/2011 10:43 AM >>>
Hi Marge -

Sorry I sent the wrong attachment. Here is the correct one.

Neva



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

Pleasant Street

PROJECT NAME: 130-132 historical renovation

PROJECT ADDRESS: 130-132 Pleasant St. CHART/BLOCK/LOT: 039-G-005-001

APPLICATION FEE: \$50 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Nevia Cram/Kerry Drach

Address: 136 Pleasant Street
Portland

Work #: 207/877-6160 Drach

Cell #: 207/408-7591 Cram

Fax #:

Home #: 207/772-7654

E-mail: nevacram@maine.cc.com

CONSULTANT/AGENT

Name: Trevor Thaxter

Address: 55 Bell Street
Portland

Work #: 207/878-5553 ext 108

Cell #: 207/653-9824

Fax #: 207/878-5424

Home #:

E-mail: trevor@thaxtercompany.com

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg. 2 of this appl.)

Applicant's Assessment Planning Division

Y(yes), N(no), N/A

- | | | |
|---|------------|-------|
| a) Is the proposal within existing structures? | <u>N</u> | _____ |
| b) Are there any new buildings, additions, or demolitions? | <u>No</u> | _____ |
| c) Is the footprint increase less than 500 sq. ft.? | <u>yes</u> | _____ |
| d) Are there any new curb cuts, driveways or parking areas? | <u>No</u> | _____ |
| e) Are the curbs and sidewalks in sound condition? | <u>yes</u> | _____ |
| f) Do the curbs and sidewalks comply with ADA? | <u>yes</u> | _____ |
| g) Is there any additional parking? | <u>No</u> | _____ |
| h) Is there an increase in traffic? | <u>No</u> | _____ |
| i) Are there any known stormwater problems? | <u>No</u> | _____ |
| j) Does sufficient property screening exist? | <u>yes</u> | _____ |
| k) Are there adequate utilities? | <u>Yes</u> | _____ |
| l) Are there any zoning violations? | <u>No</u> | _____ |
| m) Is an emergency generator located to minimize noise? | <u>No</u> | _____ |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>No</u> | _____ |

Signature of Applicant: 	Date: <u>10/17/2011</u>
-----------------------------	----------------------------

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

Barbara J. J. J.

11/16/11

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE

14-523 (SITE PLAN ORDINANCE)

RE: Administrative Authorization

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

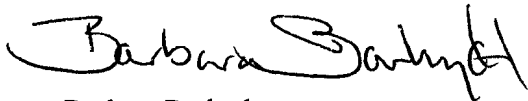
Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

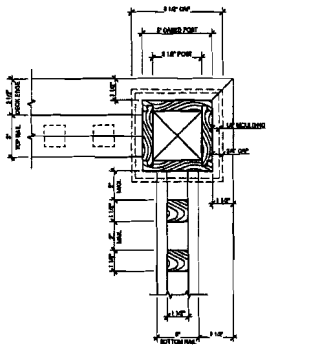
a) Is the proposal within existing structures?	No	No – handicap ramp
b) Are there any new buildings, additions, or demolitions?	No	ramp
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	No	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	No	N/A

The Administrative Authorization for a handicap ramp at 130-132 Pleasant was approved by Barbara Barhydt, Development Review Services Manager on November 16, 2011 with the following Standard Condition of Approval listed below:

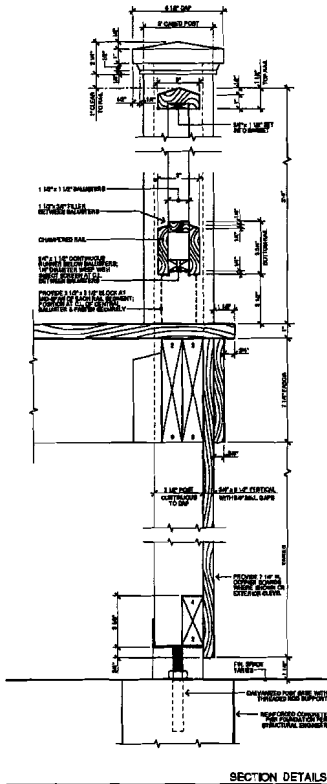
1. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



Barbara Barhydt
 Development Review Services Manager



PLAN DETAILS



SECTION DETAILS

1
A-00 EXTERIOR DECK DETAILS @ 130 ENTRY AND RAMP
SCALE: 3/4" = 1'-0"

LIST OF DRAWINGS

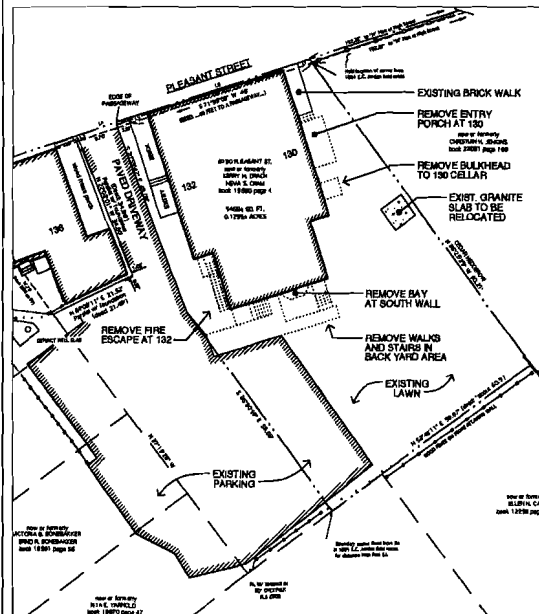
- A-00 PROJECT INFORMATION
- A-10 BASEMENT PLANS
- A-11 FIRST FLOOR PLANS
- A-12 SECOND FLOOR PLAN
- A-13 ROOF PLANS
- A-14 BASEMENT & FIRST FLOOR CEILINGS & FINISHES
- A-15 SECOND FLOOR & ATTIC CEILINGS & FINISHES
- A-20 NORTH & WEST ELEVATIONS
- A-21 SOUTH & EAST ELEVATIONS
- A-30 WINDOW INFORMATION
- A-40 INTERIORS: KITCHEN, DIN & HALF BATH
- A-41 INTERIORS: FIRST & SECOND FLOOR BATHROOMS
- P-1 BASEMENT AND FIRST FLOOR PLUMBING PLANS
- P-2 SECOND FLOOR AND ROOF PLUMBING PLANS
- P-3 PLUMBING DETAILS, NOTES AND SCHEDULES
- M-1 BASEMENT AND FIRST FLOOR MECHANICAL PLANS
- M-2 SECOND FLOOR AND ATTIC MECHANICAL PLANS
- M-3 DETAILS, NOTES AND SCHEDULES
- E-1 BASEMENT LIGHTING, FIRE ALARM & POWER DISTRIBUTION PLAN
- E-2 FIRST FLOOR LIGHTING, FIRE ALARM & POWER DISTRIBUTION PLAN
- E-3 SECOND FLOOR LIGHTING, FIRE ALARM & POWER DISTRIBUTION PLAN
- E-4 ATTIC LIGHTING, FIRE ALARM & POWER DISTRIBUTION PLAN
- E-6 SCHEDULES, NOTES AND SYMBOLS

ALTERATIONS TO
130 - 132 PLEASANT STREET
Portland, Maine



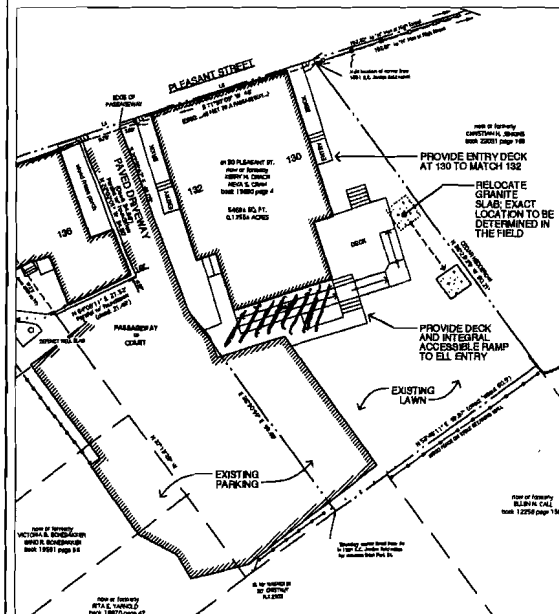
OWNER : NEVA CRAM & KERRY DRACH
 ARCHITECT : MILLS WHITAKER ARCHITECTS LLC
 STRUCTURAL : DESIGN/BUILD BY CONTRACTOR
 MECHANICAL : MECHANICAL SYSTEMS ENGINEERS
 ELECTRICAL : ELECTRICAL DESIGN CONSULTANTS

EXISTING SITE PLAN



SOURCE: BOUNDARY SURVEY - ROYAL RIVER SURVEY CO. - 14 APRIL 2005

SITE PLAN



SOURCE: BOUNDARY SURVEY - ROYAL RIVER SURVEY CO. - & ALTERATIONS DRAWINGS

MILLS
WHITAKER
ARCHITECTS
LLC
P.O. BOX 100
PORTLAND, ME 04101
TEL: 603.761.1234

RENTAL PROPERTY OF NEVA CRAM & KERRY DRACH
130-132 PLEASANT STREET
PORTLAND MAINE
PROJECT TITLE: PROJECT GENERAL
PROJECT TYPE: PROJECT TYPE

DATE: 5 JULY 2011

PROPOSED DRAWINGS
NOT FOR CONSTRUCTION

SHEET #

A-00

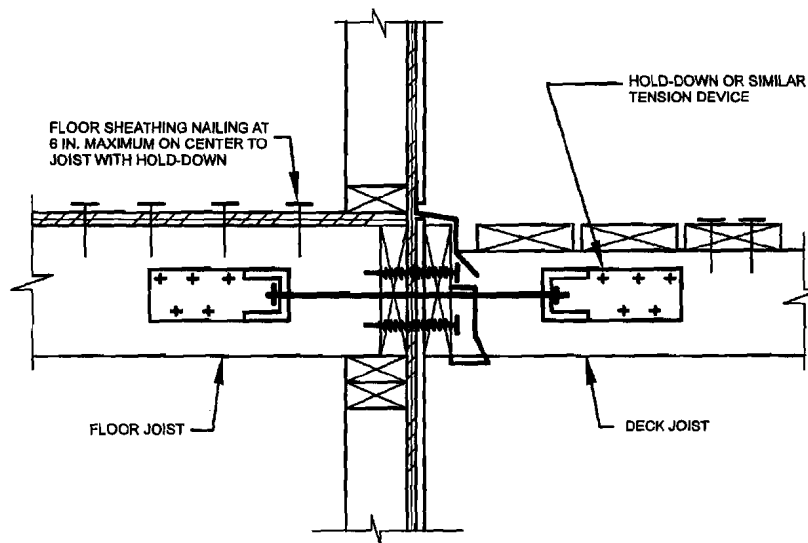
10/27/2011 The ramp is not being built at this time - NWC

TABLE R502.2.2.1
FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER
AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST^{a, g}
 (Deck live load = 40 psf, deck dead load = 10 psf)

JOIST SPAN	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
Connection details	On-center spacing of fasteners^{d, e}						
1/2 inch diameter lag screw with 15/32 inch maximum sheathing ^a	30	23	18	15	13	11	10
1/2 inch diameter bolt with 15/32 inch maximum sheathing	36	36	34	29	24	21	19
1/2 inch diameter bolt with 15/32 inch maximum sheathing and 1/2 inch stacked washers ^{b, h}	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm. 1 pound per square foot = 0.0479 kPa.

- a. The tip of the lag screw shall fully extend beyond the inside face of the band joist.
- b. The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2".
- c. Ledgers shall be flashed to prevent water from contacting the house band joist.
- d. Lag screws and bolts shall be staggered in accordance with Section R502.2.2.1.1.
- e. Deck ledger shall be minimum 2 x 8 pressure-preservative-treated No.2 grade lumber, or other approved materials as established by standard engineering practice.
- f. When solid-sawn pressure-preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, laminated veneer lumber or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.
- g. A minimum 1 x 9 1/2 Douglas Fir laminated veneer lumber rimboard shall be permitted in lieu of the 2-inch nominal band joist.
- h. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch in thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.



For SI: 1 inch = 25.4 mm.

FIGURE R502.2.2.3
DECK ATTACHMENT FOR LATERAL LOADS

R502.3 Allowable joist spans. Spans for floor joists shall be in accordance with Tables R502.3.1(1) and R502.3.1(2). For other grades and species and for other loading conditions, refer to the AF&PA Span Tables for Joists and Rafters.

R502.3.1 Sleeping areas and attic joists. Table R502.3.1(1) shall be used to determine the maximum allowable span of floor joists that support sleeping areas and

attics that are accessed by means of a fixed stairway in accordance with Section R311.7 provided that the design live load does not exceed 30 pounds per square foot (1.44 kPa) and the design dead load does not exceed 20 pounds per square foot (0.96 kPa). The allowable span of ceiling joists that support attics used for limited storage or no storage shall be determined in accordance with Section R802.4.

EDGE OF PASSAGEWAY

192.32' to Mt Man at High Street

DEED: 146 FEET TO A PASSAGEWAY (...)

field location of corner from 1891 E.C. Jordan field notes

no closer than 5'
Allowed on sides
≈ 6.5' & 7.5' show
now or formerly
CHRISTIAN H. JENKINS
book 22031 page 168
C14-433

#130 PLEASANT ST.
now or formerly
KERRY M. DRACH
NEVA S. CRAM
book 15680 page 4
5468± SQ. FT.
0.1255± ACRES

to be removed

to be removed

REAR: 20' min
22' SCALD

alignment is as depicted on E. C. Jordan worksheet circa 1891

FEAR HEDGEROW

LILAC

15' APPLE

PASSAGEWAY COURT

CONC. WALK

private parking created in the 1990's

SHADED AREA OCCUPIED AND UNDER CLAIM OF **KERRY M. DRACH** 1566± SQ. FT.

N 32°35'23" E 70.05' #14D
S 36°30'55" E 59.69' (deed: 70.15' 108')

N 53°48'11" E 59.87' (deed: 'about 60.5')
WOOD FENCE ON STONE RETAINING WALL

5/8" REBAR PLS 2303

PK W/ WASHER IN 30" CHESTNUT PLS 2303

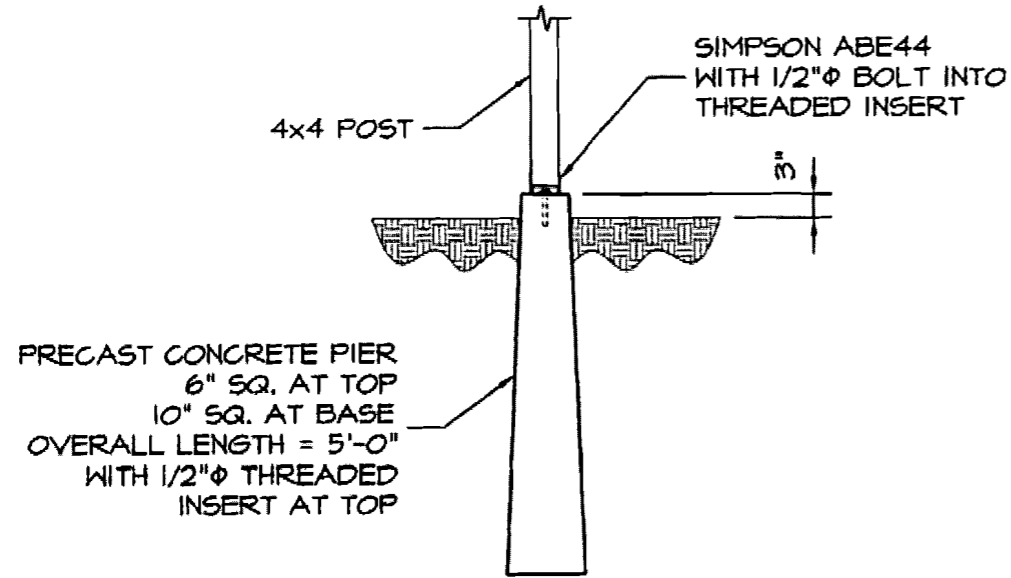
Boundary corner fixed from tie in 1891 E.C. Jordan field notes for distance from Park St.

now or formerly
ELLEN N. CALL
book 12258 page 150

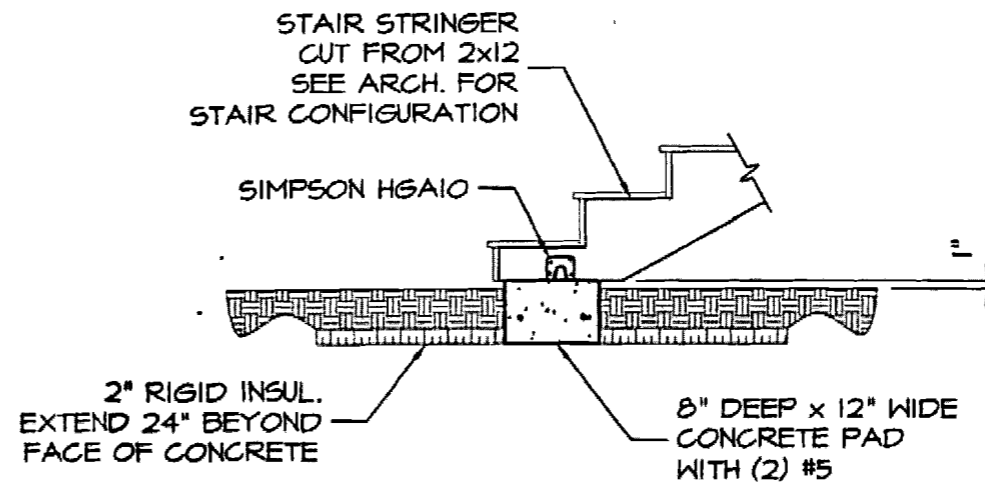
now or formerly
JAMES BRUN
book 1884 page 128

1" = 10'

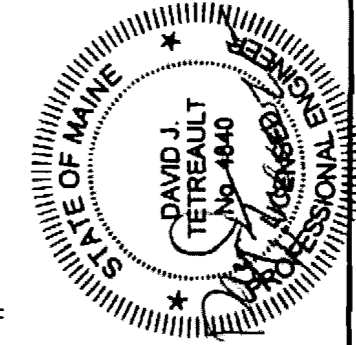
9/6



SECTION 1
1/2"=1'-0"



SECTION 2
1/2"=1'-0"

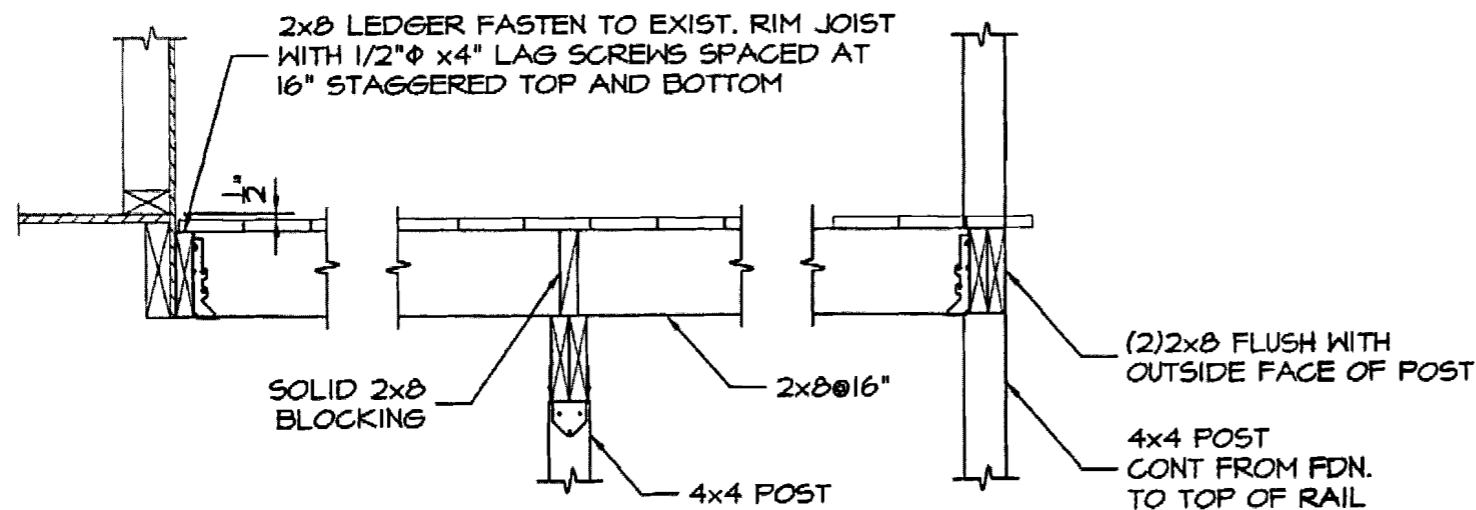


STRUCTURAL

FRAMING HARDWARE SCHEDULE	
LOCATION	CONNECTOR
4x4 POST BASE	ABE44
INTERIOR 4x4 POST CAP	BC52-2/4
FLUSH FRAMED 2x8	LUS28
(2)2x8 FRAMED TO POST	HUC28-2
STRINGER HANGER	LSC
STRINGER BASE AT CONC. PAD	HGA10

ALL HARDWARE MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED ALTERNATE.

ALL HARDWARE TO HAVE SIMPSON Z-MAX COATING.



SECTION 3
3/4"=1'-0"

SEE ARCHITECTURAL FOR DECKING AND ALL HANDRAIL DETAILS.

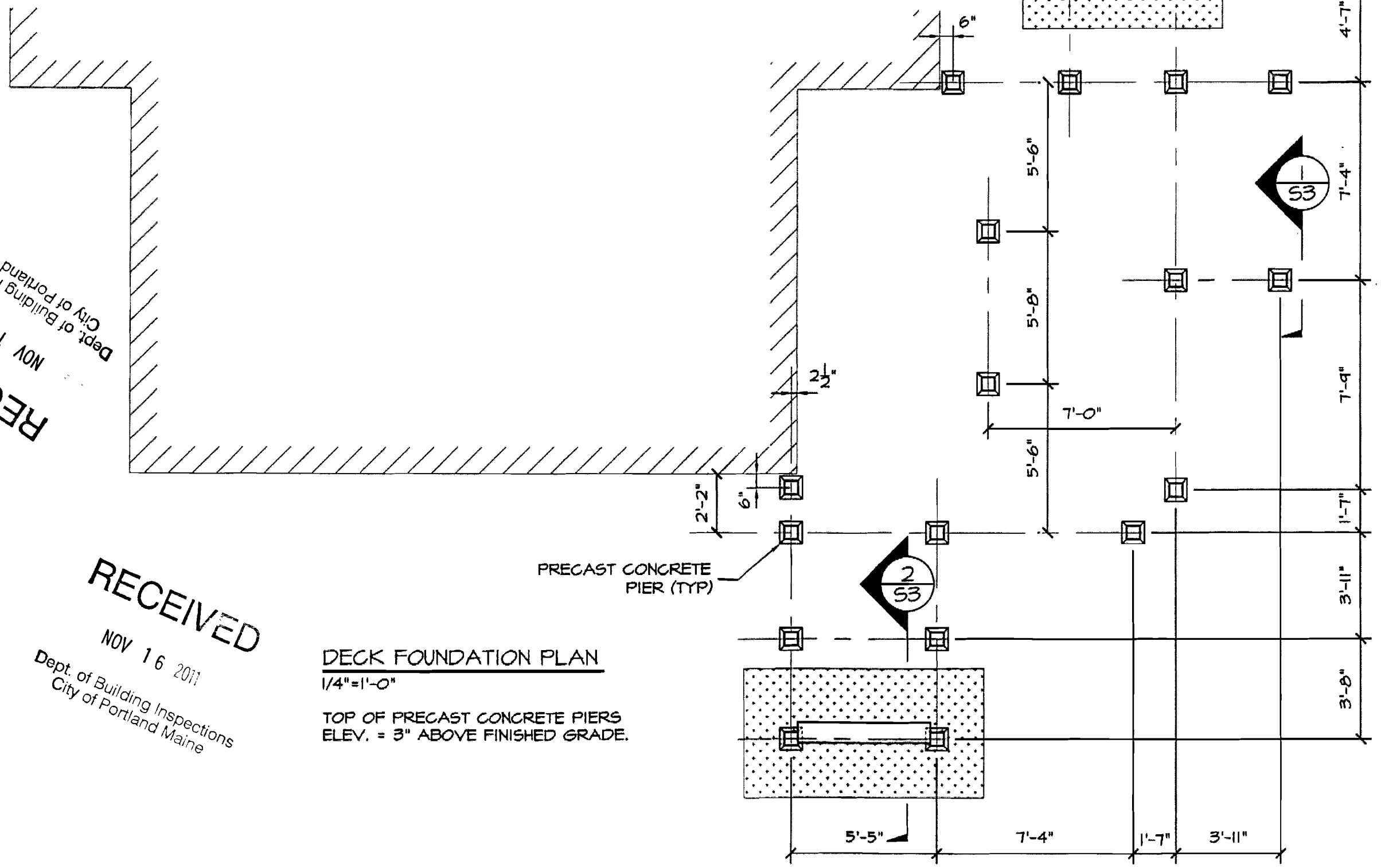
RECEIVED
NOV 16 2011
Dept. of Building Inspections
City of Portland Maine

revision number
date

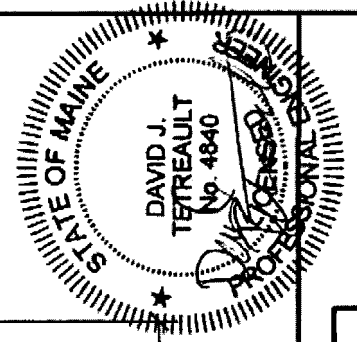
RECEIVED
 NOV 16 2011
 Dept. of Building Inspections
 City of Portland Maine

RECEIVED
 NOV 16 2011
 Dept. of Building Inspections
 City of Portland Maine

DECK FOUNDATION PLAN
 1/4" = 1'-0"
 TOP OF PRECAST CONCRETE PIERS
 ELEV. = 3" ABOVE FINISHED GRADE.

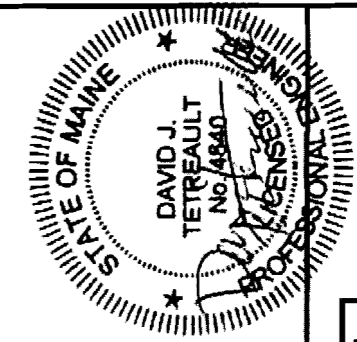


PRECAST CONCRETE
 PIER (TYP)

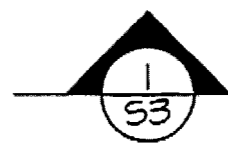
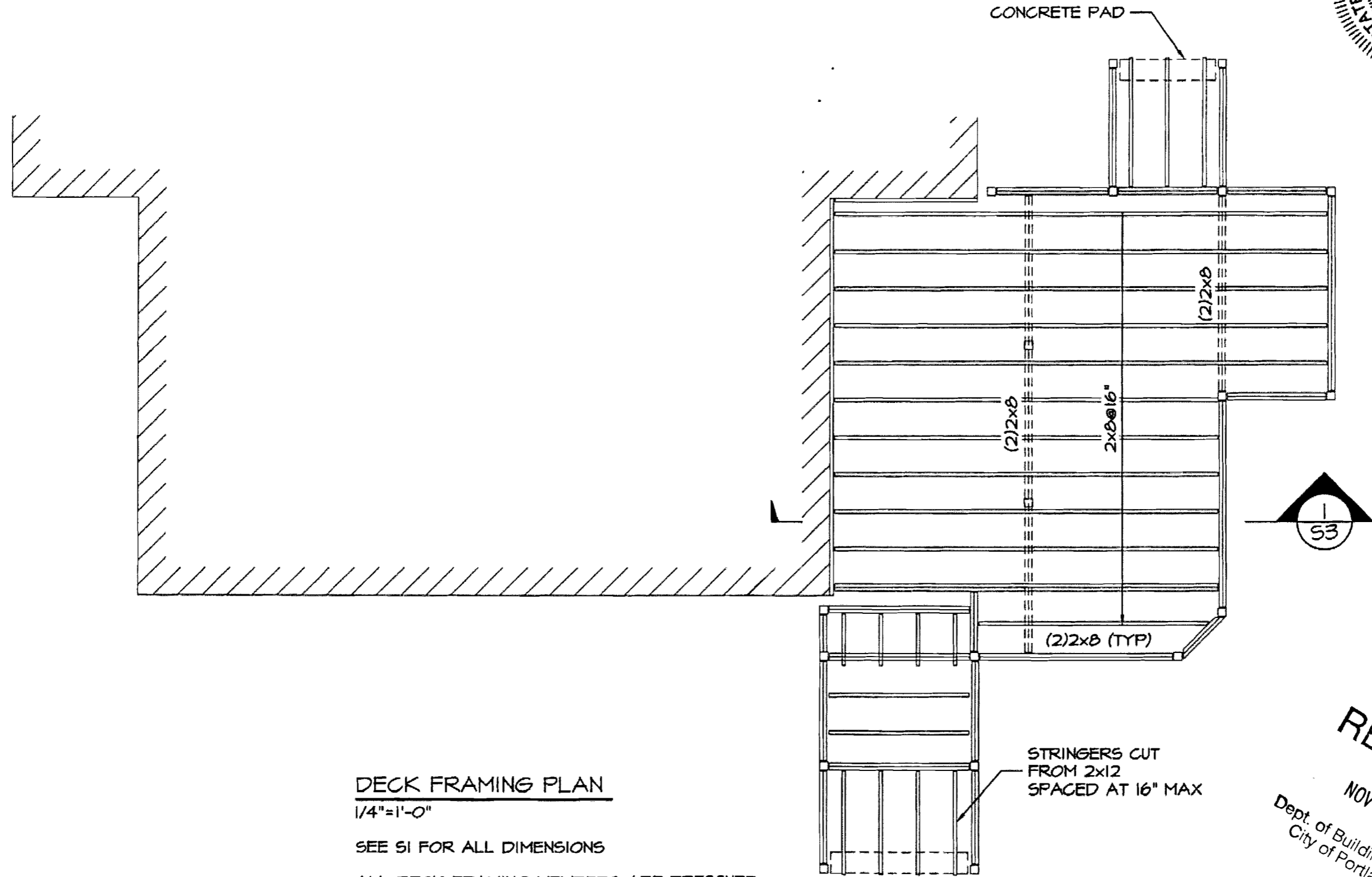


STRUCTURAL

date	revision number



STRUCTURAL



DECK FRAMING PLAN

1/4"=1'-0"

SEE S1 FOR ALL DIMENSIONS

ALL DECK FRAMING MEMBERS ARE PRESSURE TREATED SO. YELLOW PINE, No 2 OR BETTER.

SEE S3 FOR FRAMING HARDWARE SCHEDULE

STRINGERS CUT FROM 2x12 SPACED AT 16" MAX

RECEIVED

NOV 16 2011
 Dept. of Building Inspections
 City of Portland Maine

revision number
date

ENGINEERING BULLETIN

Subject: Prestige AFUE and Venting Options

Date: 6/28/11

We are focused on continuing to improve the Reliability, Efficiency, Ease of Use and Ease of Installation of the Prestige. As part of this program, we are pleased to announce two upgrades to the Prestige.

- 1) Prestige Solo 60 through Solo 250 and Excellence Boilers are now listed at 96% AFUE. This listing is now on the AHRI website for immediate use. This is especially helpful in areas that require an AFUE of 96% for Fuel Efficiency Rebates.
- 2) We have greatly expanded our ETL third party tested and approved venting options for every Prestige Model. The following highlights these changes:
 - a. 2" PVC/CPVC/PP piping is now approved for the Solo 60, Solo 110, and Excellence 110. The maximum vent or air lengths is 55 feet for the Solo 60 and 45 feet for the Solo 110 and Excellence 110.
 - b. 3" PVC/CPVC/PP/SS maximum vent or air lengths have been increased from 60 feet to 100 feet for the Solo 60, Solo 110, Excellence 110 and Solo 175.
 - c. 3" PVC/CPVC/PP/SS maximum vent or air lengths have been increased from 30 feet to 60 feet for the Solo 250.
 - d. 4" PVC/CPVC/PP/SS maximum vent or air lengths have been increased from 60 feet to 80 feet for the Solo 250.
 - e. 2" PP Flex venting is now available for the Solo 60, Solo 110 and Excellence 110.
 - f. 3" PP Flex venting is now available for the Solo 60, Solo 110, Excellence 110 and Solo 175.
 - g. 4" PP Flex venting is now available for the entire Prestige line.

These improvements will allow the Prestige to be used in an even broader range of installations. Some limitations apply to these venting options. Please refer to the attached table for more information. The manuals are currently being revised to reflect these changes. New EnergyGuide stickers will be available in the beginning of July.



1 Triangle Lane - Blackwood, NJ 08012
Tel: 856 228 8881 - Fax: 856 228 3584 - e-mail: info@triangletube.com



Maximum Equivalent Vent or Air Lengths for Prestige Boilers (in feet)¹

Boiler Model		2" PVC or CPVC ^{2,3} , PP ⁴	2" PP Flex ⁴	3" PVC or CPVC ^{2,3} , PP ⁴ , SS ^{5,6}	3" PP Flex ⁴	4" PVC or CPVC ^{2,3} , PP ⁴ , SS ^{5,6}	4" PP Flex ⁴
PS60	Old	N/A	N/A	60	N/A	100	N/A
	New	55	55	100	100	100	100
PS110/PE110	Old	N/A	N/A	60	N/A	100	N/A
	New	45 ⁸	45 ⁸	100	100	100	100
PS175	Old	N/A	N/A	60	N/A	100	N/A
	New	N/A	N/A	100	100	100	100
PS250	Old	N/A	N/A	30	N/A	60	N/A
	New	N/A	N/A	60 ⁸	N/A	80	80
PS399	Old	N/A	N/A	N/A	N/A	100	N/A
	New	N/A	N/A	N/A	N/A	100	100

NOTES:

1. The equivalent length for PVC (Polyvinyl chloride), CPVC (Chlorinated polyvinyl chloride) and SS (AL29-4C Stainless Steel) 45° elbow is 3 feet & 90° elbow is 5 feet. The equivalent length for PP (Polypropylene) 45° elbow is 5 feet & 90° elbow is 10 feet.
2. 2" PVC vent requires the first 7 equivalent feet to be CPVC and primer and glue for use with both PVC & CPVC. 2" vent requires 1" clearance from vent to combustibles and transition to 2" must be done at the appliance vent adapter in the vertical direction. BEST PRACTICE use long sweep elbows, especially in CPVC to limit pressure drop and material temperatures.
3. The following manufacturers are approved to supply ULC S636 approved PVC or CPVC venting systems meeting Canadian requirements:
 - a. IPEX Inc.
Phone: 1-866-473-9462
 - b. IPEX USA, LLC
Phone: 1-800-463-9572
4. The following manufacturers are approved to supply ULC S636 approved single wall rigid or flexible PP venting systems meeting Canadian requirements:
 - a. Centrotherm Eco Systems, LLC
Phone: 1-877-434-3432
Email: info@centrotherm.us.com
 - b. Muelink and Grol B.V./DuraVent
Phone: 1-800-835-4429
Email: customerservice@duravent.com (CA) or sales@duravent.com (NY)

PP Flex Vent is approved for installation in the vertical direction ONLY in an unused chimney or chase and will require a transition to single wall PP at the appliance vent adapter in the vertical direction and transition to flex vent at the chimney or vertical chase breaching. 2" vent requires 1" clearance from vent to combustibles

	<p>1 Triangle Lane - Blackwood, NJ 08012 Tel: 856 228 8881 - Fax: 856 228 3584 - e-mail: info@triangletube.com</p>
--	---



PP Rigid Vent must be installed with 0.63 inch/foot slope backwards towards the boiler with supports and vent connectors (clamps) according to PP vent manufacturer's installation instructions. Contact the vent manufacturer for appropriate vent adapters, materials, terminations and instructions.

PP Concentric Vent is ONLY available through Triangle Tube.

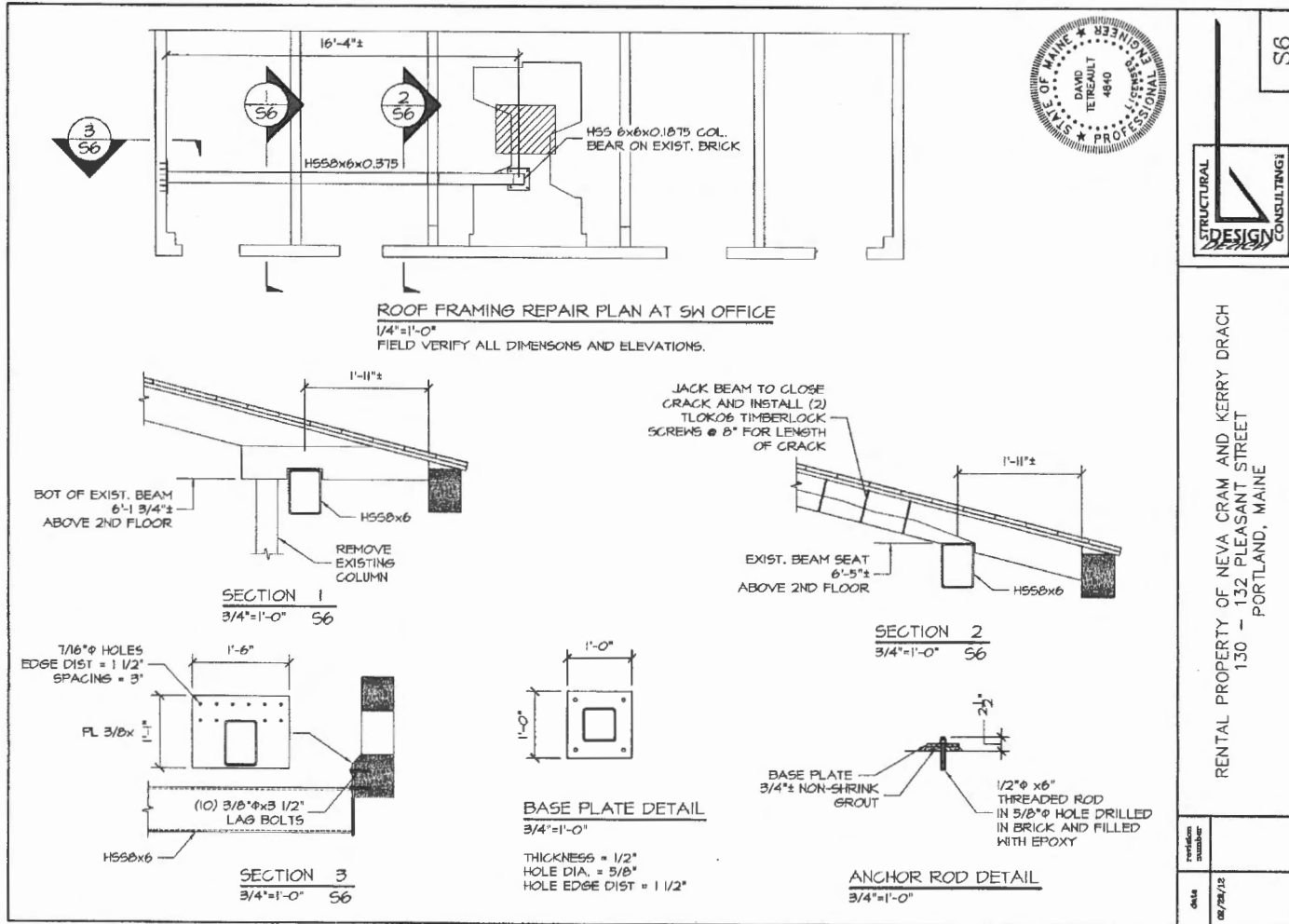
PP Common Vent is ONLY available through Triangle Tube and limited to Solo 399.

5. The following manufacturers are approved to supply single wall rigid SS venting systems:
 - a. Heatfab (SelKirk Corporation) Saf-T Vent, EZ Seal
Phone: 1-800-992-VENT (8368)
Email: custsvc@selkirkinc.com
 - b. ProTech Systems (Muelink and Grol B.V./DuraVent) Fas N Seal
Phone: 1-800-835-4429
Email: customerservice@duravent.com (CA) or sales@duravent.com (NY)
 - c. Z-Flex (Nova Flex Group) Z-Vent
Phone: 1-416-679-0045
Email: sales@z-flex.com

Description	Approved Stainless Steel Vent Adapters and Terminations ^{1,5,6}		
	Heatfab (SelKirk Corp.) Saf-T Vent, EZ Seal or Saf-T Vent SC ⁷	ProTech Systems (M&G/DuraVent) FasNSeal or FasNSeal CVS ⁷	Z-Flex (Nova Flex Group) Z-Vent
3" Vent Adapter	9301PVC	FSA-ULT3	2SVSTTA03
3" Roof & Side Wall Straight Termination	9392	300186	2SVSTPF03
3" Side Wall 45° Elbow Termination	9311TERM	300130 & 300186	2SVSTEX0345
3" Side Wall Tee Termination	9390TEE	300311	2SVSTTF03
3" to 4" Vent Adapter	9401PVC3	FSA-ULT3*	2SVSTTA04
4" Vent Adapter (Solo 399)	9401PVC	FSA-ULT4	SVSTTA04.5
4" Roof & Side Wall Straight Termination	9492	300187	2SVSTPF04
4" Side Wall 45° Elbow Termination	9411TERM	300131 & 300187	2SVSTEX0445
4" Side Wall Tee Termination	9490TEE	300312	2SVSTTF04

6. SS Vent must be installed according to the vent manufacturer's installation instructions.
7. SS Concentric Vent contact the vent manufacturer for appropriate vent adapters, materials, terminations and instructions.
8. Boiler high fire input must be derated 3% at the maximum equivalent vent and air lengths only with 2" piping on Solo 110 & Excellence 110 and 3" piping on Solo 250.

	<p>1 Triangle Lane - Blackwood, NJ 08012 Tel: 856 228 8881 - Fax: 856 228 3584 - e-mail: info@triangletube.com</p>
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CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice Chair
Scott Benson
Rebecca Ermlich
Michael Hammen
Ted Oldham
Susan Wroth

May 2, 2011

Neva Cram & Kerry Drach
136 Pleasant Street
Portland, Maine 04101

Re: Exterior Rehabilitation and Alterations; 130-132 Pleasant Street

Dear Ms. Cram and Mr. Drach:

This office has reviewed and approved your proposal for a program of exterior alterations and rehabilitation at 130-132 Pleasant Street, as described in your application dated April 5, 2011 and as amended in drawings dated April 29, 2011. It is our understanding that you are seeking state and federal historic tax credits for the work and are therefore seeking approval from the Maine Historic Preservation Commission and National Park Service as well.

This approval is made without conditions.

All improvements shall be carried out as described and depicted in your application dated 4/5/11, *as amended in the supplemental drawings dated 4/29/11 and described in a 5/2/11 e-mail from architect Dona Mills*. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in

significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

A handwritten signature in black ink, appearing to read "Deborah Andrews". The signature is fluid and cursive, with a large initial "D" and a long, sweeping tail.

Deborah Andrews
Historic Preservation Program Manager

Cc: Don Mills, Mills Whitaker Architects