

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 030478

Please Read
Application And
Notes, if Any,
Attached

This is to certify that Yale Thomas L. & /Applicant
has permission to Enlarge Bathroom/Upgrade Electrical/Insulation/Restrooms
AT 91 Park St 039 G004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

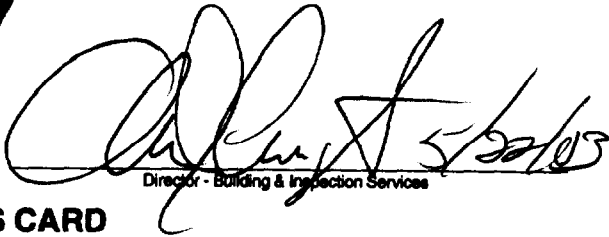
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise used-in. **HEAR NOTICES REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. WINS
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0478	Issue Date:	CBL: 039 G004001
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Location of Construction: 91 Park St	Owner Name: Yale Thomas L &	Owner Address: 91 Park St	Phone: 776-2613
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Multi Family	Zone: R6

Past Use: Multi Family/ 3 Unit	Proposed Use: Multi Family/ 3 Unit	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 2
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Proposed Project Description: Enlarge Bathroom/Upgrade Electrical/Interior Renovations <i>legal use: 3 family dwelling units</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5B 5/22/03
	Signature: <i>JHM</i>	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 05/07/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>conducting</i> <i>→ 5/16/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Any exterior work requires A. Separate review D.A. 5/20/03
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CERTIFICATION

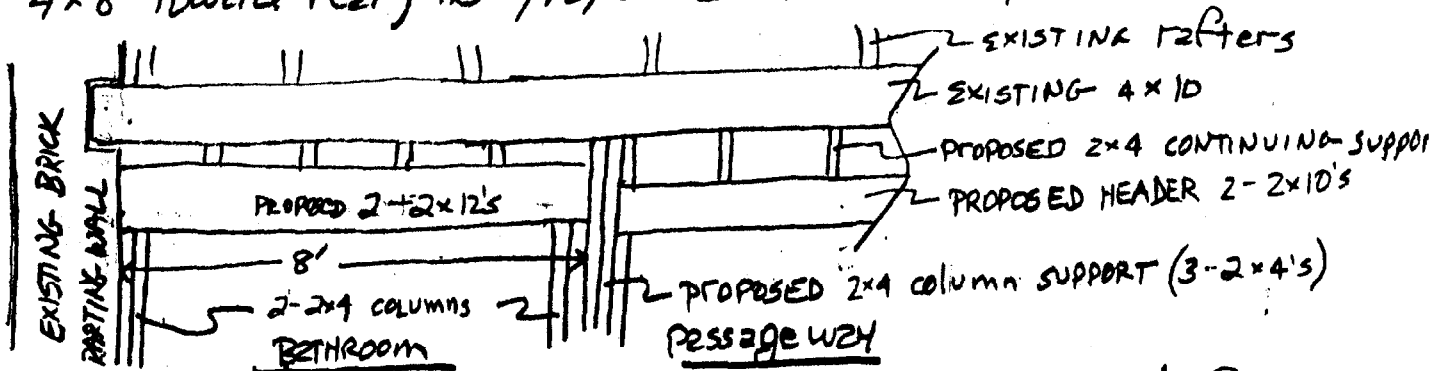
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

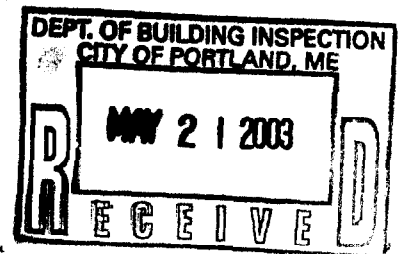
Yale, Deborah 91 Park St

Relocation of 2 passageways at 91 Park St. 3rd floor apartment: The passageways are proposed to be moved approximately 3 feet closer to the stairway allowing an expansion of the existing bathroom. The headers for these are proposed to be 2 - 2x10's GLUED and screwed and supported by 3 - 2x4's (nailed) on each side. Continued support between the headers and the existing rafter carrying beams (4x10 closest to PARK ST and 4x8 toward rear) is proposed to be 2x4's.



Relocation of bathroom walls at 91 Park St. 3rd floor Apt. 3
The important element here is the support of the existing 4x10 rafter carrying beam for a span of 8 ft. Proposed is 2 - 2x12's glued and screwed and supported at each end by doubled 2x4 columns. The proposed new wall positions will be of standard 2x4 construction and are nonload-bearing.

Bed Room window
30 1/4 W x 26 1/2 H



MN

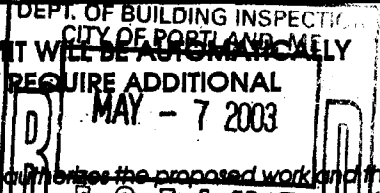
03-0478

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>91 Park St.</u>		
Total Square Footage of Proposed Structure <u>1660 Sq Ft</u>	Square Footage of Lot <u>1800 Sq Ft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>39</u> Block# <u>G</u> Lot# <u>4</u>	Owner: <u>Thomas & Debrah Yale</u>	Telephone: <u>776-2613</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>1,000</u> Fee: \$ <u>30.00</u>
Current use: <u>3 Unit Apartment building</u>		
If the location is currently vacant, what was prior use: <u>3 Unit Apartment</u>		
Approximately how long has it been vacant: <u>Feb 1st</u>		
Proposed use: <u>Rental Property</u>		
Project description: <u>Move two walls to enlarge Bathrooms, Upgrade Electrical Services, new private Street Park, Bath, Kitchen</u>		
Contractor's name, address & telephone: <u>Debrah Yale</u>		
Who should we contact when the permit is ready: <u>Debrah Yale</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>776-2613</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officers authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Debrah Yale</u>	Date: <u>5/07/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0478	Date Applied For: 05/07/2003	CBL: 039 G004001
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Location of Construction: 91 Park St	Owner Name: Yale Thomas L &	Owner Address: 91 Park St	Phone: () 776-2613
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family/ 3 Unit	Proposed Project Description: Enlarge Bathroom/Upgrade Electrical/Interior Renovations
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Dept: Historical **Status:** Pending **Reviewer:** Deborah Andrews **Approval Date:**
Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/16/2003
Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 05/19/2003
Note: **Ok to Issue:**

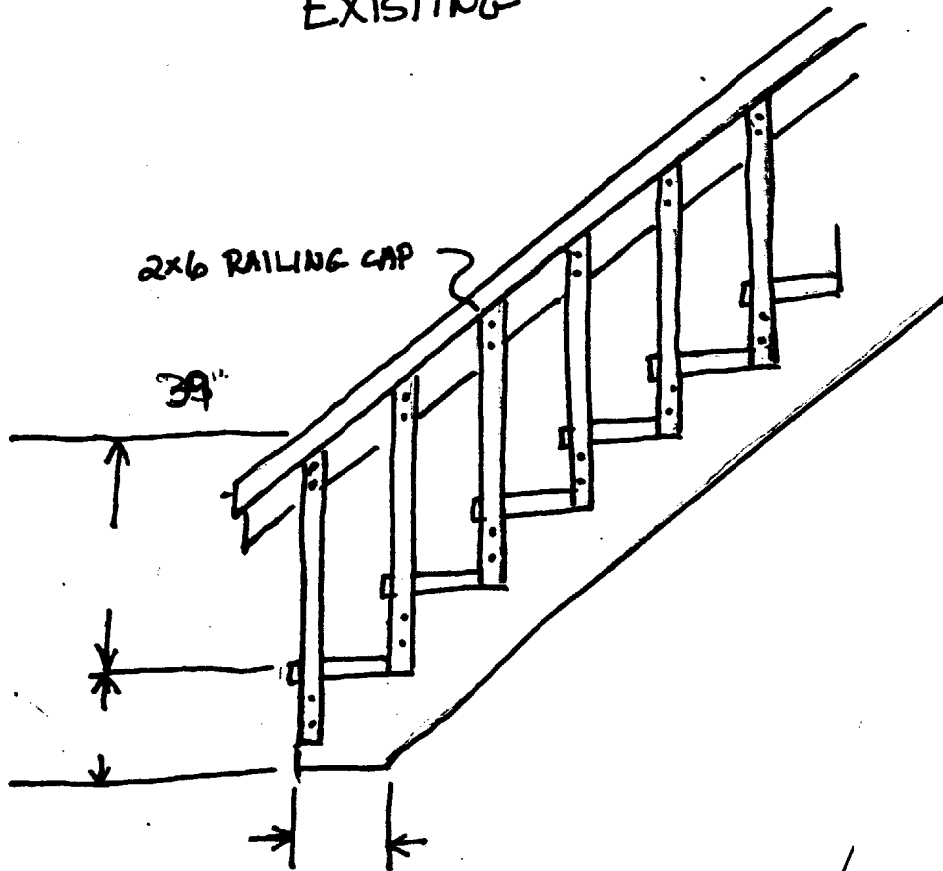
- 1) the boiler shall be seperated with a one hour enclosure or smoke seperated with domestic sprinklers
- 2) vertical openings shall be fire rate with a minimum of one hour rated doors

Comments:
05/19/2003-mjn: Need Guard Details, am referring this to Deb Andrews as there is work to an exterior fire escape, replacing the guards

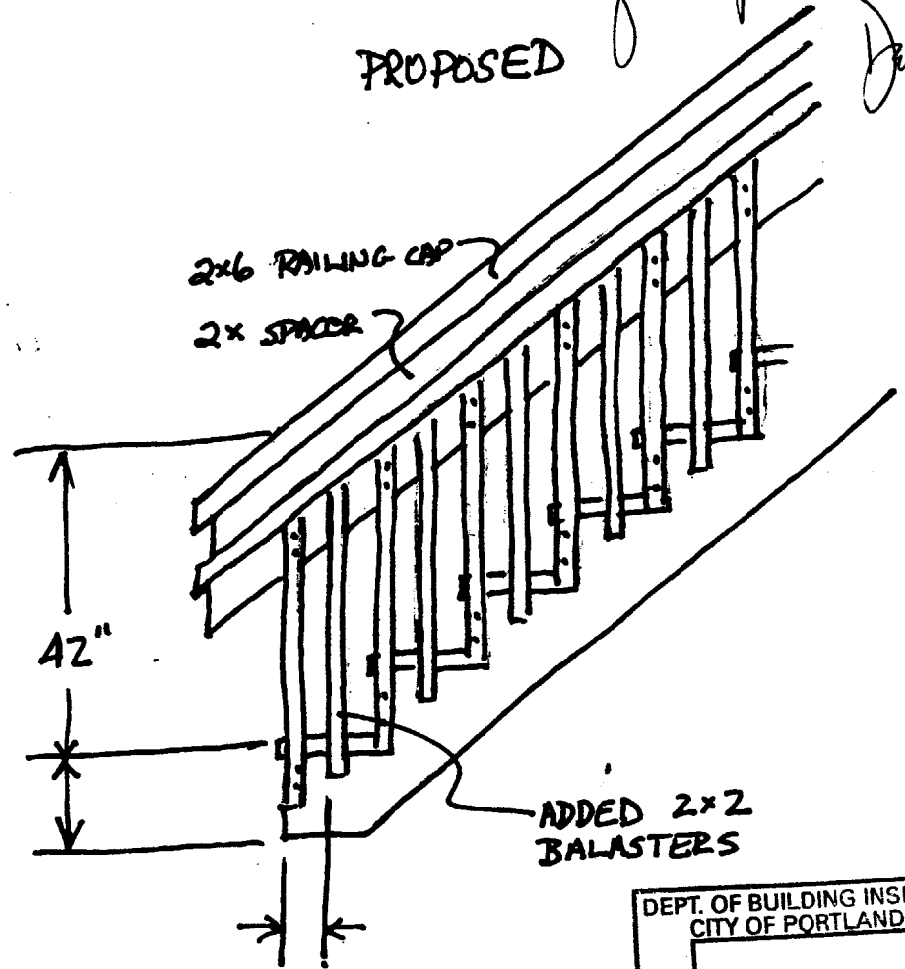
DEB!

Does not require HP
review - not visible
from public way.
Jels Andrews

EXISTING

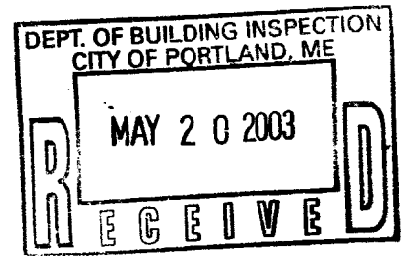


PROPOSED



THIS IS
NOT
REQUIRED
UNLESS THEY
ACTER ~~WARD~~
OWN

ADDED 2x2
BALASTERS



Ground Railing 39"

Yale
91 PARK ST
2ND FLOOR REAR
(OUTSIDE)

Construction detail:**Move Bathroom wall to enlarge to 9'4"****Raise existing Railings, banisters, hand railings to 36in for the existing stairs for third floor apartment. Refinish.**

2x⁴~~6~~ Frames 16 on Center,
2x6 Headers.

Solid Wood Panel Door Existing
Open into Bathroom.

30' opening

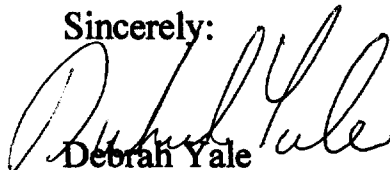
City of Portland
Michael Nugent
Inspection Services Manager

April 30, 2003

Dear Mr. Nugent:

I am applying for a building permit for my three units on 91 Park St. The building according to city records in Microfilm has been a three unit continually since the 1950's. My plan is to update all of the electrical in the building, new service panels for each floor and plumbing services where needed. The electrician and plumber will pull the necessary permits for this work. I am updating the cosmetics of first and second floor apartments interior, repair walls, ceilings paint and paper. The third floor needs complete work as plaster was falling from years of tenants and little maintenance. I would like to enlarge the Bathroom on the third floor (you had to tuck to enter) this will require moving the front wall of bathroom out. Moving the side wall to accommodate the bathtub and stackable washer and dryer. (please see plan) Rudi the Plumber will be doing all plumbing. David Sinclair will be doing the moving of the wall, David will also be bring the existing stairs to the third floor to code by raising all surrounding railings, banister to 36". Upgrade all balusters. Hand railings to city standards and refinish stairs to third floor. The third floor will be re sheet rocked painted new kitchen cabinets and appliances. The second floor 2nd exit stairs will be brought up to code by raising the railings. adding baluster With your approval my plan is to have the apartments fully rented by the end of June.

Sincerely:



Deborah Yale

776-2613

DATED: February 3, 2003

Charles Vaughan Scott, Personal Representative
of the Estate of Maxine M. Ingalls

By: John R. Bass, II
John R. Bass, II, Esquire
Its Attorney Duly Authorized

Thomas L. Yale and Debra P. Yale

By: [Signature]
Thomas L. Yale duly authorized

STATE OF MAINE
COUNTY OF CUMBERLAND

February , 2003

Personally appeared the above-named Thomas L. Yale and acknowledged that he
executed the within instrument as his free act and deed.

Before me,

[Signature]
Notary Public
Print Name: _____
My Commission Expires: _____

FEB 03 2003

C. TRENT GRACE
Notary Public, Maine
My Commission Expires February 6, 2008

BK 14006PG 106

048471

DEED OF DISTRIBUTION BY PERSONAL REPRESENTATIVE
(Testate)
Maine Statutory Short Form

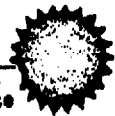
KNOW ALL MEN BY THESE PRESENTS, That I, MAXINE M. INGALLS, of Portland, County of Cumberland and State of Maine, duly appointed and acting personal representative of the Estate of Wilbur R. Ingalls, Jr., deceased, whose will was duly admitted to probate in the Probate Court for the County of Cumberland, Maine, by the power conferred by law, and every other power (in distribution of the estate), grant to MAXINE M. INGALLS, of Portland, County of Cumberland and State of Maine, whose mailing address is 43 Berry Avenue, Portland, ME 04103, being the person entitled to distribution, the real property in Portland, in said County and State, described in Exhibit A attached hereto.

WITNESS my hand and seal this 25th day of JUNE, 1998.

Signed, Sealed and Delivered
in presence of

Edward J. Penney

Maxine M. Ingalls
Maxine M. Ingalls, Personal
Representative of the Estate
of Wilbur R. Ingalls, Jr.



STATE OF MAINE
Cumberland, ss.

June 25 1998

Then personally appeared the above-named MAXINE M. INGALLS in her said capacity and acknowledged the foregoing instrument to be her free act and deed.

Before me,
Edward J. Penney
Notary Public
Attorney at Law

Printed name: EDWARD J. PENNEY

PARTY WALL AGREEMENT

WITNESS this Agreement made this day of February, 2003 by and between Charles Vaughan Scott, Personal Representative of the Estate of Maxine M. Ingalls ("Estate") and Thomas L. Yale and Debrah P. Yale, Portland, Maine.

WHEREAS, Charles Vaughan Scott is the duly appointed Personal Representative of the Estate of Maxine M. Ingalls, Cumberland County Probate Court, Docket No. 2002-1072 and is the owner of certain properties at 89 Park Street and 91 Park Street, Portland, Maine under deed dated June 25, 1998 and recorded in the Cumberland County Registry of Deeds at Book 14006, Page 106 ("Deed");

WHEREAS, Thomas L. Yale and Debrah P. Yale have entered into a contract to purchase the premises at 91 Park Street, Portland, Maine; and

WHEREAS, the premises at 89 Park Street shares a common party wall with the premises at 91 Park Street in said Deed and the parties hereto wish to memorialize their agreement regarding maintenance of said party wall;

NOW THEREFORE, for and in consideration of \$1.00 and other good and valuable considerations, the sufficiency and receipt of which is hereby acknowledged and in consideration of the mutual covenants set forth herein, Charles Vaughan Scott, Personal Representative of the Estate of Maxine M. Ingalls by his attorney duly authorized and Thomas L. Yale and Debrah P. Yale by Thomas L. Yale duly authorized do covenant and agree as follows:

1. the center of the division wall as identified in the Deed is the division line between the premises at 89 Park Street and the premises at 91 Park Street, Portland, Maine and is a party wall;
2. the Estate of Maxine M. Ingalls agrees to maintain the side of the party wall forming part of the premises at 89 Park Street, Portland, Maine during the period of time said property is owned by the Estate; and
3. Thomas L. Yale and Debra P. Yale agree to maintain the side of the party wall forming part of the premises at 91 Park Street, Portland, Maine during the period of time said property is owned by Thomas L. Yale and Debrah P. Yale.

BK 14006PG 107

EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated on the northeasterly side of Park Street, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at the northwesterly corner of land formerly of Charles O. Clapp; thence northeasterly by said Clapp land Seventy-nine (79) feet to a back passageway; thence northwesterly by said passageway Twenty-four (24) feet to land formerly owned by John T. Rogers, now or formerly of Lana McNinch; thence southwesterly preserving a width of Twenty-four (24) feet and through the center of the partition wall between the building on the premises hereby conveyed and the building adjoining the same on the northwesterly side thereof to Park Street; and thence southeasterly by said Park Street twenty-four (24) feet to the point begun at. Said premises are numbered 89 on Park Street.

Also conveying any right, title and interest which the Grantor may have in and to the passageway above referred to and to the use of the same with others.

Also a certain lot or parcel of land, with the buildings thereon, situated on the northeasterly side of Park Street in said City of Portland, bounded and described as follows: Beginning twenty-four (24) feet from the westerly corner of land formerly of C. O. Clapp; thence running northwesterly Twenty-four (24) feet by said Park Street, and from these two points extending northeasterly Seventy-nine (79) feet through the middle of the partition walls on each side of the premises to the back passageway; preserving the width of Twenty-four (24) feet; together with the right in common with others of the adjoining lots to the perpetual use of the back passageway and the wall thereon.

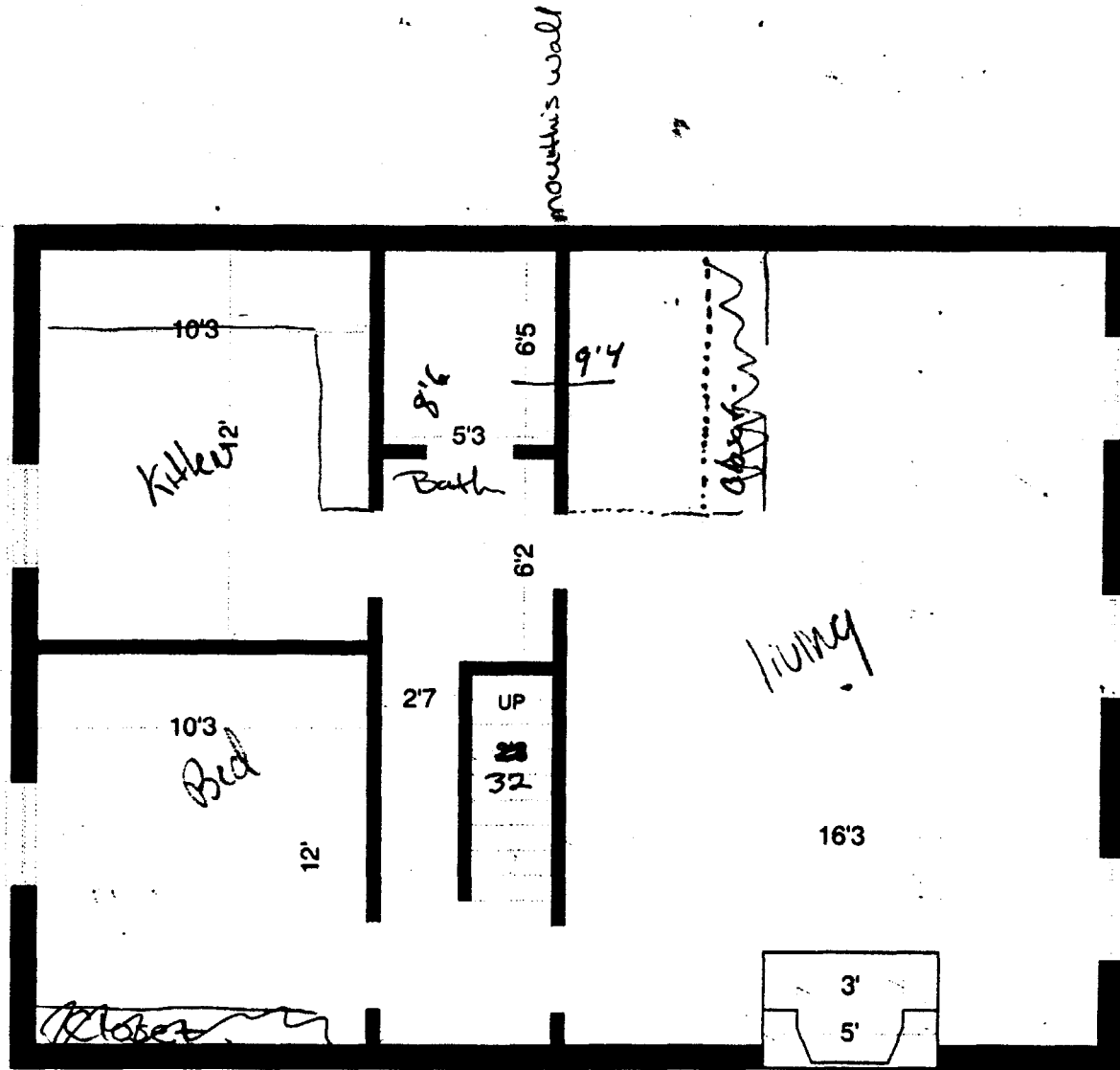
Being the same premises conveyed to Wilbur R. Ingalls, Jr. by Caroline B. Buckley et als by warranty deed dated August 18, 1966, recorded in the Cumberland County Registry of Deeds in Book 2969, Page 865.

RECEIVED
REGISTRY OF DEEDS

1998 JUL 23 AM 10:37

CUMBERLAND COUNTY

John B. O'Brien

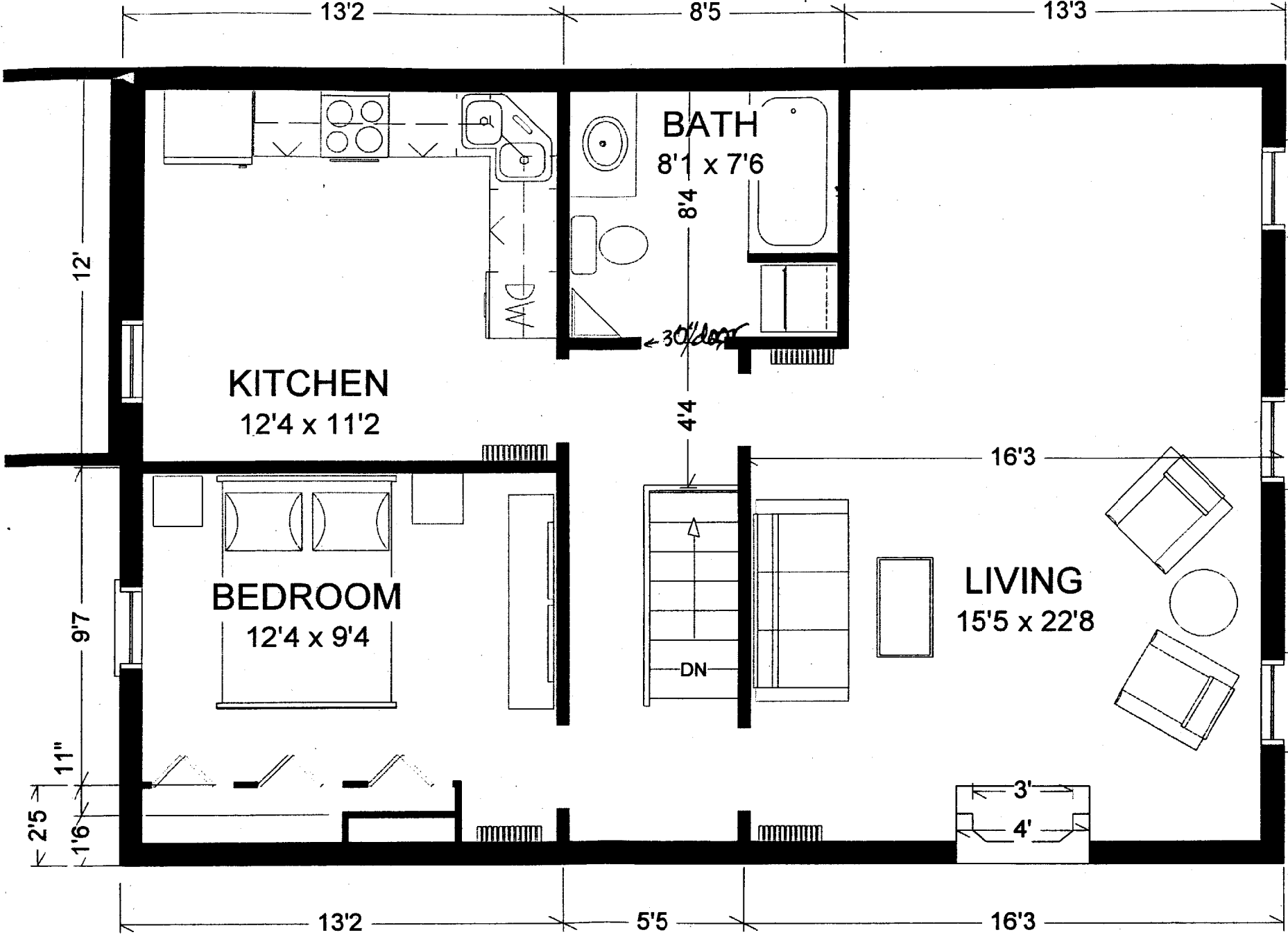


Existing

LIVING AREA

762 sq ft

3rd FLOOR

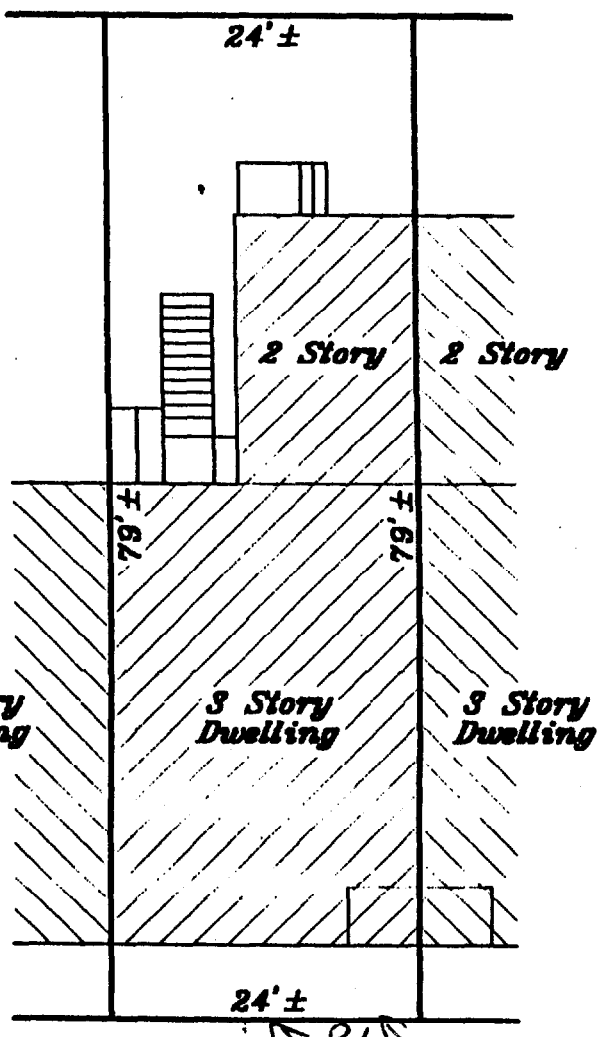
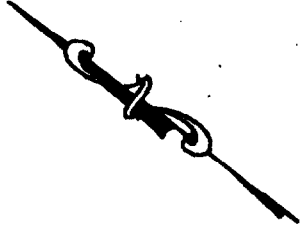


THIRD FLOOR Scale: 1/4 inch = 1 foot

LIVING AREA

835 sq ft

Proposed



24' ±

2 Story

2 Story

79' ±

79' ±

3 Story Dwelling

3 Story Dwelling

3 Story Dwelling

24' ±

PARK STREET

← To Pleasant St.