

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that GAIL HOWARD GRAY

Located At 95 PARK ST UNIT

Job ID: 2012-09-4893-ALTR

CBL: 039- G-002-951

has permission to Repair existing rear deck & stairs -6' x 27'

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

  
10-17-12  
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-09-4893-ALTR

Located At: 95 PARK ST UNIT

CBL: 039- G-002-951

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain as four residential condominiums – tow at 93 Park and two at 95 Park. Any change of use shall require a separate permit application for review and approval.
3. This permit is being issued with the condition that all the work is taking place within the existing footprint.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. **Guards shall be a minimum 42" high shall be provided for the decks and stairs and a continuous graspable handrail with returns shall be provided for the stair.**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4893-ALTR	Date Applied: 9/5/2012	CBL: 039- G-002-951	
Location of Construction: 95 PARK ST UNIT 1	Owner Name: GAIL & HOWARD GRAY	Owner Address: 95 PARK ST PORTLAND, ME 04101	Phone: 207-780-8142
Business Name:	Contractor Name: Michael Friedland	Contractor Address: 21 Brookside Ave., South Portland ME 04106	Phone: (207) 807-3691
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: 4 residential condos	Proposed Use: Same - 4 residential condos - repair existing rear deck & stairs - 6' x 27'	Cost of Work: 5000.00	CEO District:
		Fire Dept: 10/16/12 Signature: <i>[Signature]</i> (58)	Inspection: Use Group: <i>R.2</i> Type: <i>33</i> <i>TRC 09</i> Signature: <i>[Signature]</i>
Proposed Project Description: Replace/install parts of deck/stair		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone <i>all work within existing footprint</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ cond. hour 9/12/12 ASU</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input checked="" type="checkbox"/> Approved <i>readily (not v. sible)</i></p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

historic

Entire 9/5/12 (B)



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

# 2012-09-4893 - ALTR

Location/Address of Construction: <u>95 Park St.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>039      6002      951</u>	Applicant: (must be owner, lessee or buyer) Name <u>Gail + Howard Gray</u> Address <u>95 Park St.</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>780-8142</u>
Lessee/DBA <b>RECEIVED</b> <b>SEP 05 2012</b> Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>5000.00</u> Conf Fee: \$ <u>70</u> Historic Review: \$ <u>50</u> Planning Amin.: \$ _____ Total Fee: \$ <u>120</u>
	Current legal use (i.e. single family) <u>Residential</u> Number of Residential Units <u>2</u> total of <u>4</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>replace 1 post w/ footing - replace rotted wood</u> <u>install railings + balusters on deck + stairs</u>	residential work 53 sq ft
Contractor's name: <u>Michael Friedland</u> Email: <u>Mike @ Willard's square</u>		home repair.com
Address: <u>21 Brookside Ave.</u>		Telephone: <u>207-807-3691</u>
City, State & Zip: <u>South Portland, ME 04106</u>		Telephone: <u>"</u>
Who should we contact when the permit is ready: <u>Michael Friedland</u>		Telephone: _____
Mailing address: <u>21 Brookside Ave.</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]      Date: 8/28/12

This is not a permit; you may not commence ANY work until the permit is issued



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## Receipts Details:

**Tender Information:** Check , Check Number: 9758  
**Tender Amount:** 120.00

## Receipt Header:

**Cashier Id:** bsaucier  
**Receipt Date:** 9/5/2012  
**Receipt Number:** 47886

## Receipt Details:

Referance ID:	7914	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	70.00	Charge Amount:	70.00
Job ID: Job ID: 2012-09-4893-ALTR - Replace/install parkts of deck/stair			
Additional Comments: 95 Park			

Referance ID:	7915	Fee Type:	BP-HRAD
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Job ID: 2012-09-4893-ALTR - Replace/install parkts of deck/stair			

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**CBL** 039 G002951  
**Land Use Type** RESIDENTIAL CONDO  
**Property Location** 95 PARK ST UNIT 951  
**Owner Information** GRAY GAIL DAWSON & HOWARD R. GRAY JR  
 95 PARK ST  
 PORTLAND ME 04101  
**Book and Page** 19216/075  
**Legal Description** 39-G-2 PARK ST 93-95  
 UNIT #1 BLDG #95  
 PARK ST ROWHOUSE CONDO  
**Acres** 0

**Current Assessed Valuation:**

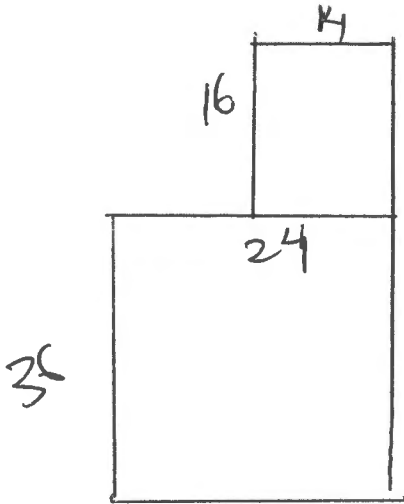
<b>TAX ACCT NO.</b>	6018	<b>OWNER OF RECORD AS OF APRIL 2012</b>
<b>LAND VALUE</b>	\$56,300.00	GRAY GAIL DAWSON &
<b>BUILDING VALUE</b>	\$225,300.00	HOWARD R. GRAY JR
<b>HOMESTEAD EXEMPTION</b>	(\$10,000.00)	95 PARK ST
<b>NET TAXABLE - REAL ESTATE</b>	\$271,600.00	PORTLAND ME 04101
<b>TAX AMOUNT</b>	\$5,111.52	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**Building Information:**

**Building 1**  
**Year Built** 1848  
**Style/Structure Type** HOUSE CNV >1F  
**# Stories** 2  
**# Units** 1  
**Bedrooms** 2  
**Full Baths** 1  
**Half Baths** 1  
**Total Rooms** 4  
**Attic** NONE  
**Basement** PIER/SLAB  
**Square Feet** 1952

[View Sketch](#)      [View Map](#)      [View Picture](#)



**Sales Information:**

95 Park St. Rear entry



replacing only this  
post & footing

6'

27'





1









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## PROJECTS IN HISTORIC DISTRICTS

### Extra Information Needed

(As applicable/appropriate to your project)

- Exterior photographs (REQUIRED for ALL applications.) Include general streetscape view, view of entire building & close ups of affected area(s).
- Sketches or elevation drawings (at a MINIMUM 1/4" scale). Please label relevant dimensions. 11" X 17" plans are recommended for legibility.
- Details or sections, where applicable
- Floor plans (where applicable)
- Site plans showing relative location of adjoining structures.
- Catalog cuts or product information (eg; proposed windows, doors, lighting fixtures, HVAC, etc.)
- Materials – list all visible exterior materials. Samples are helpful.

OTHER (explain)

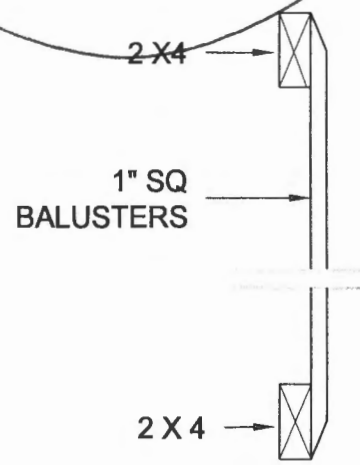
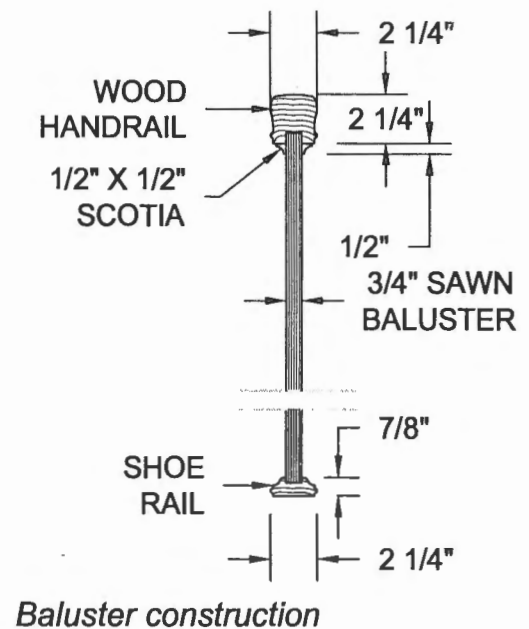
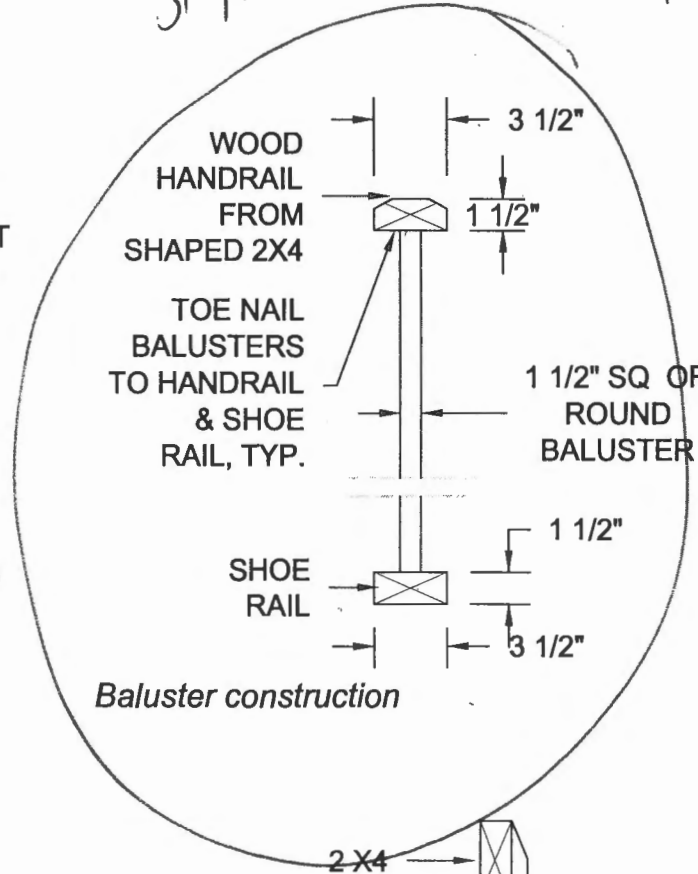
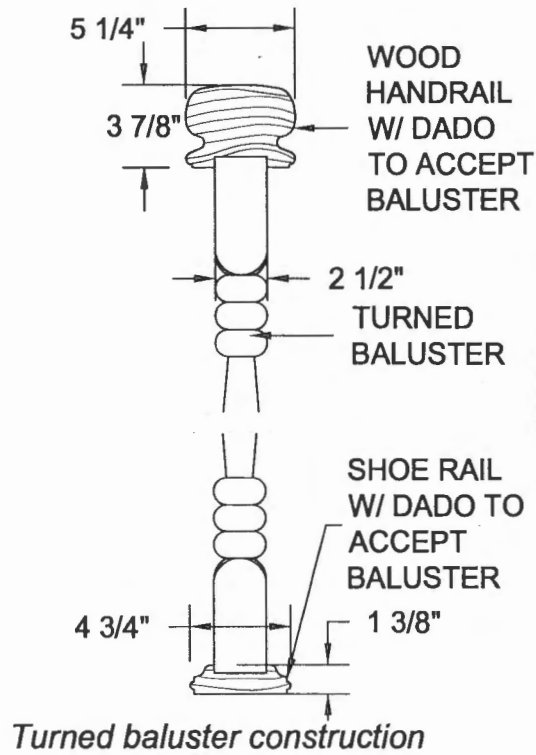
P.T. joists (2x6) balusters (2x2)  
Post (6x6) Rails (2x4)  
Decking (5/4 x 6)



95 Park St. Rear entry

BALUSTER DETAILS

*Style to be Used*



*This type of baluster, while easy to construct, is not appropriate for traditional buildings.*

# Repairing a Deck

## BUILDING A DECK???

### INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube or pre cast concrete pier size
- b. depth below grade (minimum 4'-0" below grade)
- c. anchorage of column to footing
- d. spacing and location of tubes/piers

→ see photo 1  
8" tube for new post  
4'  
post base anchor  
same as existing

3. Framing Members

- a. Columns – wood size and location (members supporting framing of floor system)
- b. Ledger size attached to building
- c. Fastener size and spacing attaching ledger
- d. Girder Size and spans carrying floor system
- e. Joist size, span, and spacing
- f. Joist hangers or ledger

6x6 P.T.

2-~~2x10 P.T.~~ 2x10 P.T.

Lags every 12"

2x6 on 16" for 8' span

galvanized 2x6

4. Guardrails & Handrail Details

- a. Guardrail height
- b. Baluster spacing
- c. Handrail height

36"

3 1/2"

36"

5. Stair Details

- a. Tread depth (measured nosing to nosing)
- b. Riser height
- c. Nosing on tread
- d. Width of stairs

9 1/2"

8"

square

34 1/2"

existing stairs

\* Making repairs as needed



95 Park St.

Scope of work - Repairing back deck/egress

- Jack up right hand corner of deck
- Replace footing on right hand corner post  
(4 foot depth)
- Replace post - right hand corner only
- Replace damage framing; decking, stringers + stairs
- Replace railings w/ balusters  
spaced  $3\frac{1}{2}$  inches ~~on center~~

railing/Baluster height 36"

- Stair rails height 36"

- Additional support railing to be installed  
on stair

↓  
graspable hand rail @ 34"  
w/ returns

