



Tuck O'Brien
City Planning Director, Planning Division

April 11, 2016

Reiter Architecture & Design
Attention: Lauren Reiter
P.O. Box 275
Brooklin, ME 04616

Project Name:	Interior Renovation/ Addition	Project ID:	2015-138
Address:	35 Pleasant Street	CBL:	C39 F023001
Applicant:	Lauren Reiter		
Planner:	Shukria Wiar		

Dear Ms. Reiter:

On April 11, 2016, the Planning Authority approved with conditions a Level II site plan for a building addition to the structure at 35 Pleasant Street. The proposed building addition expands the existing residential use by adding one story to the rear of the building and expands the building over the existing parking area to create a garage and upper floor residential space. This project includes a construction analysis from the construction company outlining how the building expansion to the property lines can be achieved from the applicant's property and will not affect adjoining properties during construction. The applicant has a construction easement along the property boundary for 14 South Street. The decision is based upon the application, documents and plans as submitted by and prepared by Lauren Reiter with a revised date of 03.24.2016. The proposal was reviewed for conformance with the standards of Portland's site plan ordinance.

SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval and the standard conditions of approval prior to the issuance of a building permit:

1. The applicant shall cleanly cut any disturbed roots of the Elm tree, on the abutters property at 37 Pleasant Street during construction and be watered if conditions are dry. Deadwood shall be pruned next dormant period as not to attract elm bark beetle to the new wound wood. The applicant shall follow 'best management practices', refer to <http://www.treesaregood.com/treecare/resources/ConstructionDamage.pdf>.
2. Based upon Lauren Reiter's email dated 03.28.2016, the proposed garage will be a two bay garage (the two bays on the southerly side of garage and in line with existing curb cut) for the parking of motor vehicles. The third bay closest to the northerly property line shall not be used for motor vehicle parking space. The doors for the third bay shall not swing onto the City's right-of-way.
3. The site work and general notes #1 and #4 on Plan A101 shall be deleted from the plan.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

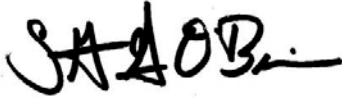
Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at (207) 756-8083 or via shukriaw@portlandmaine.gov

Sincerely,



Stuart G. O'Brien
City Planning Director

Attachments:

1. Jeff Tarling's memorandum dated 04.05.2016
2. Performance Guarantee Packet

Electronic Distribution:

cc: Jeff Levine, AICP, Director of Planning and Urban Development
Stuart G. O'Brien, City Planning Director
Barbara Barhydt, Development Review Services Manager
Shukria Wiar, Planner
Philip DiPierro, Development Review Coordinator, Planning
Ann Machado, Zoning Administrator, Inspections Division
Tammy Munson, Inspections Division Director
Jonathan Rioux, Inspections Division Deputy Director
Jeanie Bourke, Plan Reviewer/CEO, Inspections Division
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Katherine Earley, Engineering Services Manager, Public Services
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Doug Roncarati, Stormwater Coordinator, Public Services
Greg Vining, Associate Engineer, Public Services
Michelle Sweeney, Associate Engineer
John Low, Associate Engineer, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Services
Mike Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Jeff Tarling, City Arborist, Public Services
Jeremiah Bartlett, Public Services
Keith Gautreau, Fire Department
Jennifer Thompson, Corporation Counsel
Thomas Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File



Shukria Wiar <shukriaw@portlandmaine.gov>

Fwd:

Jeff Tarling <jst@portlandmaine.gov>
To: Shukria Wiar <shukriaw@portlandmaine.gov>

Tue, Apr 5, 2016 at 3:05 PM

Hi Shukria -

The American Elm tree located near the corner of Pleasant & South Streets appears to be fair to good condition, estimated 80 - 90 % from the newly opening flower buds. Recommendations for the tree during construction would be to cleanly cut any disturbed roots, watering if conditions are dry. Off site tree damage is always a challenge in urban areas, proposed construction within the root zone will have some impact the extent is unknown. Following 'best management practices' is recommended. Deadwood could be pruned next dormant period as not to attract elm bark beetle to the new wound wood.

See:

<http://www.treesaregood.com/treecare/resources/ConstructionDamage.pdf>

Jeff Tarling
Portland Parks & Recreation - City Arborist
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