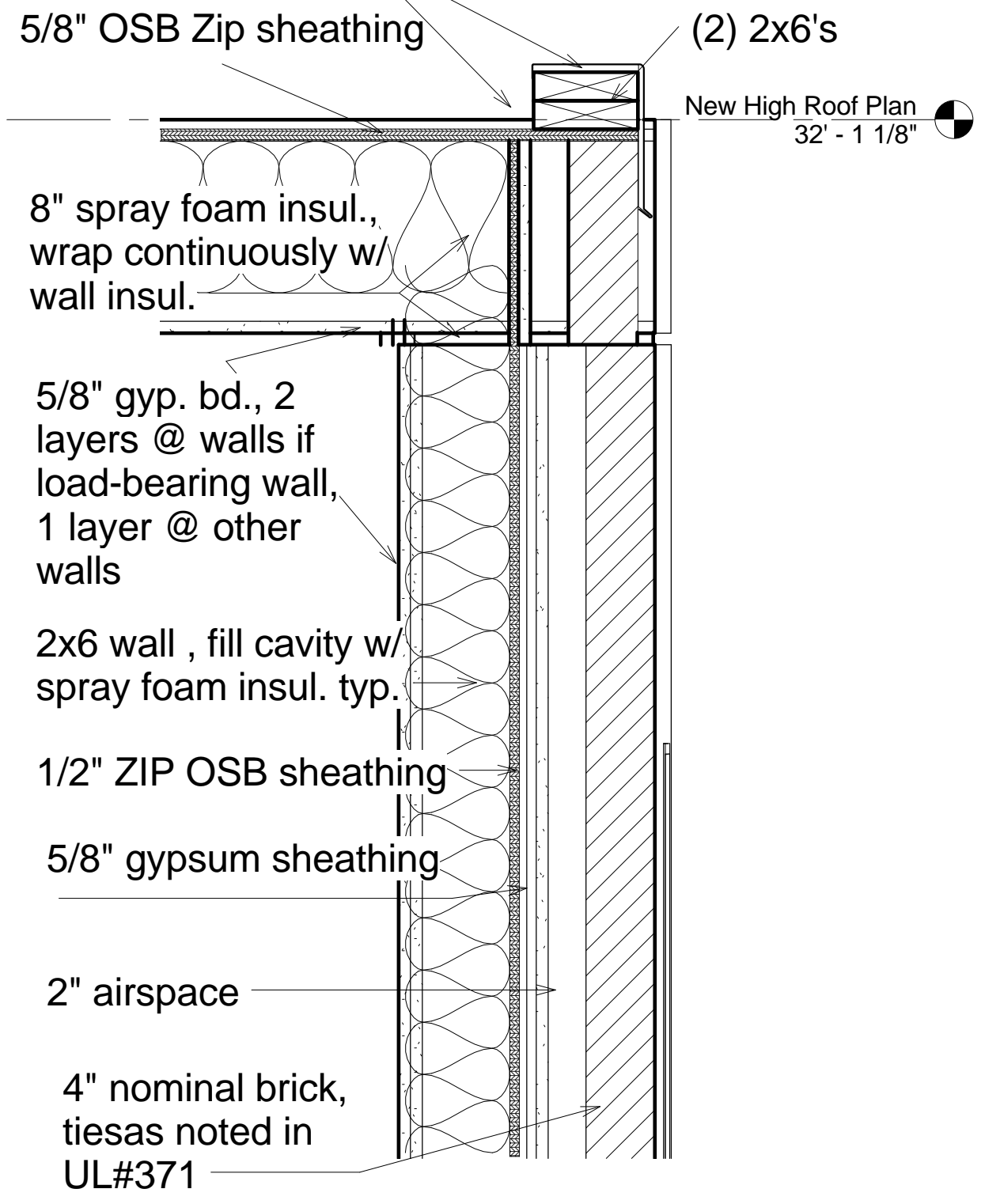
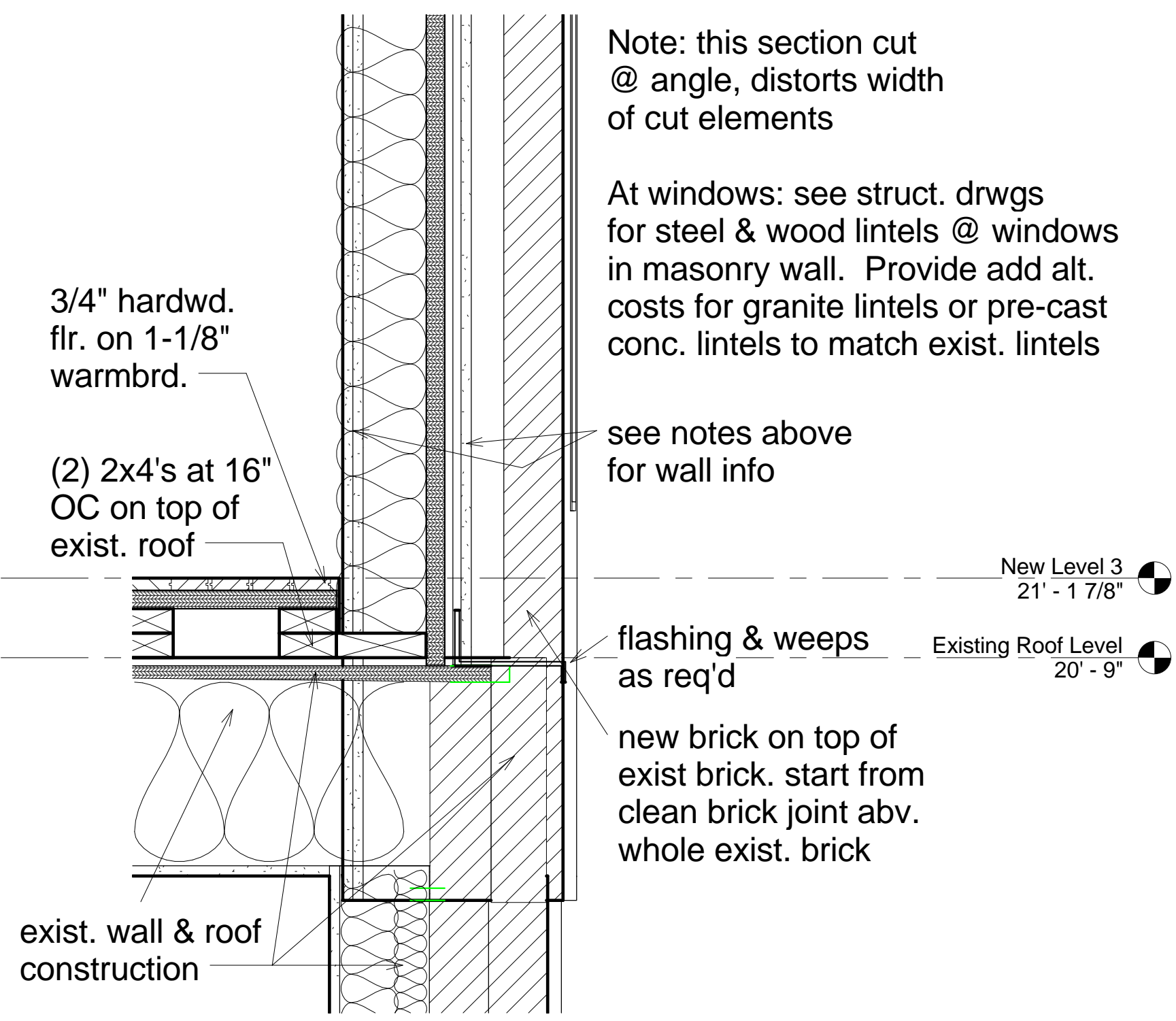


EPDM roof membrane, wrap up around blocking & under mtl cap



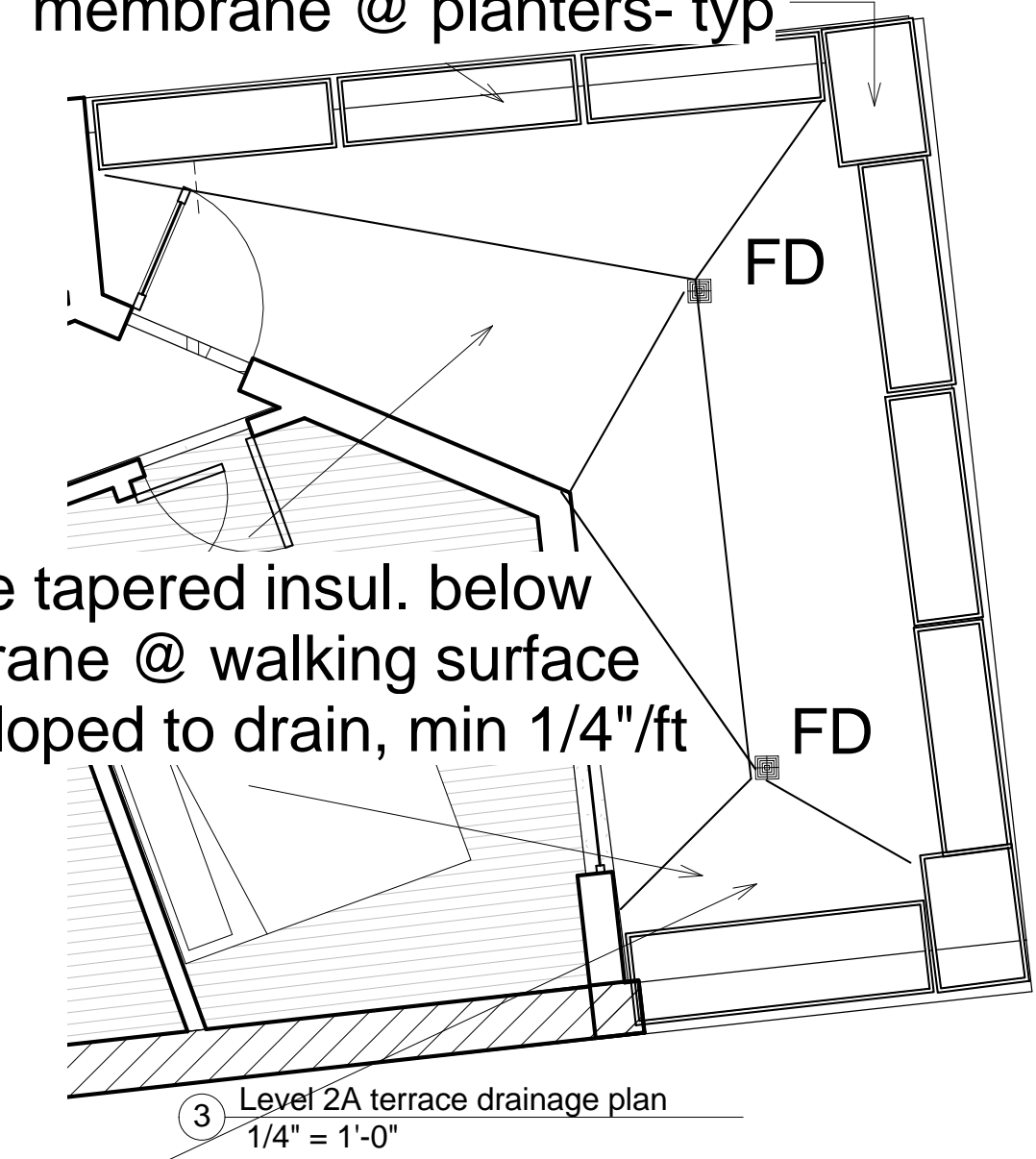
2 Section thru Top Roof @ Masonry wall  
1 1/2" = 1'-0"

R-VALUE CALCULATIONS		
<b>WALLS</b>	Metal Panel	Brick Veneer
air barrier	0.17	0.17
brick		0.8
5/8" gypsum sheathing	0.56	0.56
1/2" OSB sheathing	0.62	0.62
5.5" closed cell poly insul	34.125	34.125
2 layers 5/8" gyp. Bd.	1.12	1.12
air barrier	0.68	0.68
<b>TOTAL R VALUE</b>	<b>37.275</b>	<b>38.075</b>
<b>ROOFS</b>	High Roof	Terrace Roofs
air barrier	0.17	0.17
rigid insul - avg. 2.5" th.		10
5/8" OSB sheathing	0.78	
3/4" OSB sheathing		0.93
8" closed cell poly insul	52	52
1 layer 5/8" gyp. Bd.	0.56	0.56
air barrier	0.68	0.68
<b>TOTAL R VALUE</b>	<b>54.19</b>	<b>64.34</b>
<b>WINDOWS</b>	Based on Integrity triple-glazed Wood-Ultrex awning/casement/fixed windows, argon-filled. Energy Star	
	<b>U = .19</b>	
	<b>SHGC = .27</b>	



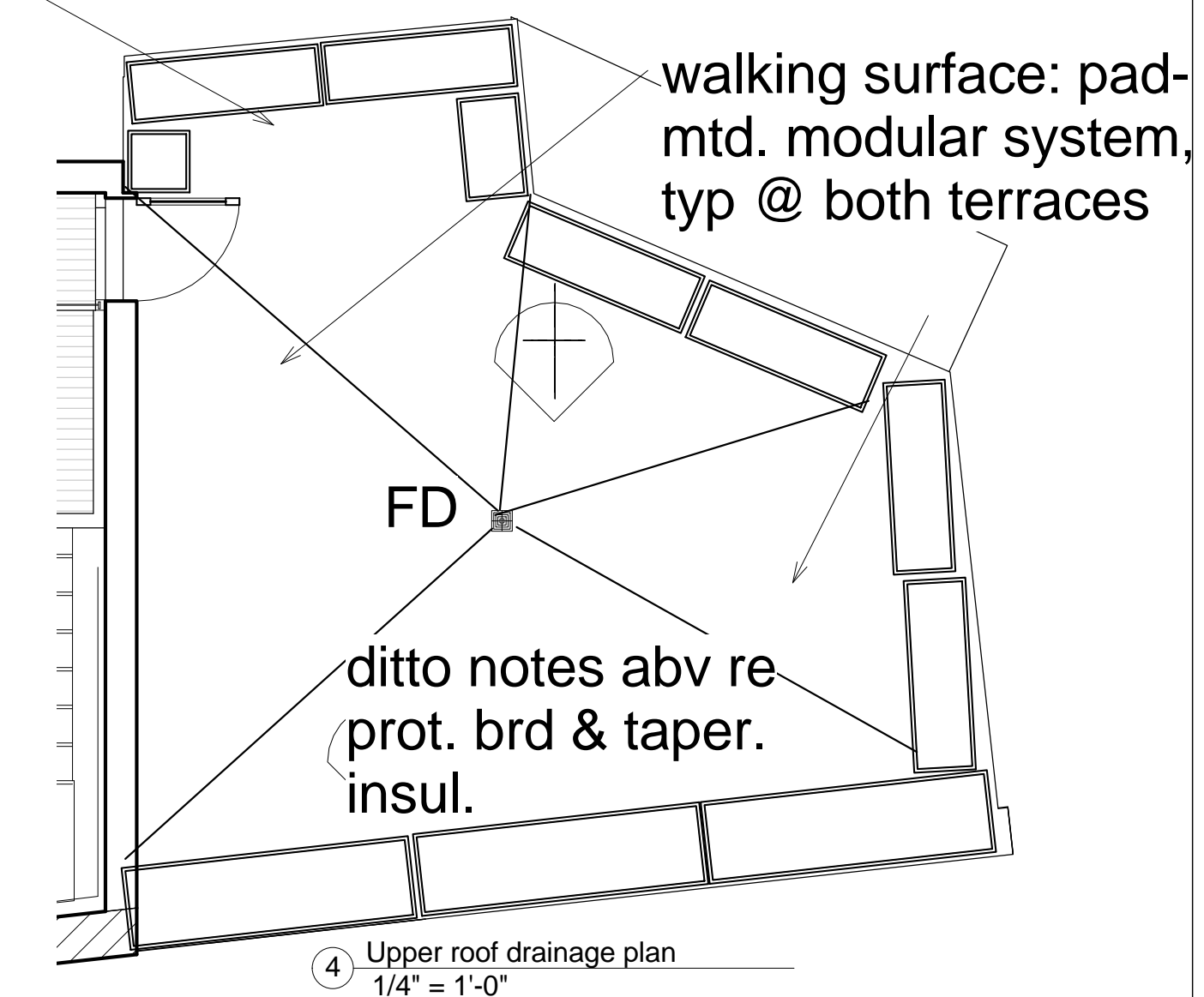
1 Wall Section @ new & exist masonry  
1 1/2" = 1'-0"

provide protection brd under membrane @ planters- typ

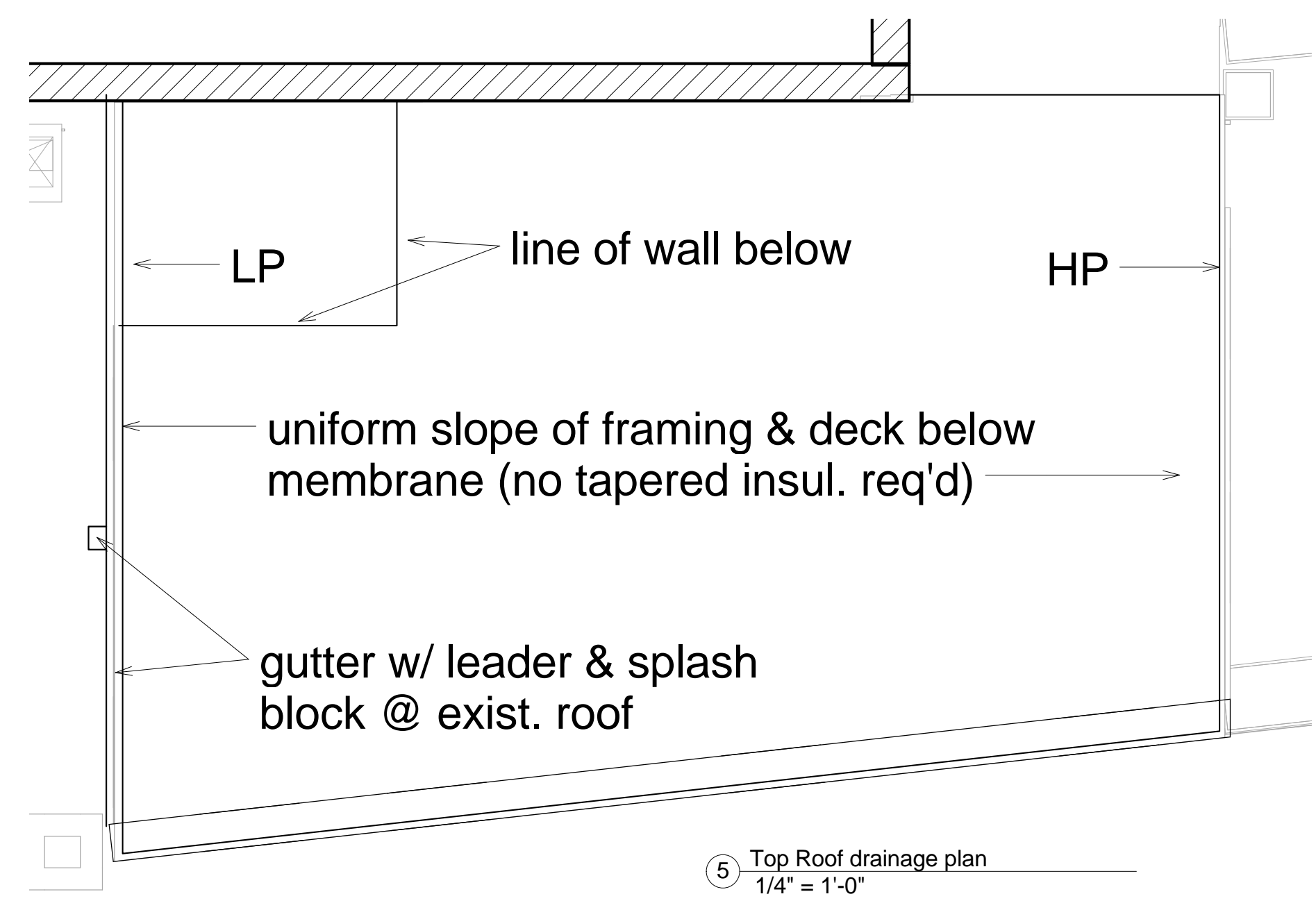


3 Level 2A terrace drainage plan  
1/4" = 1'-0"

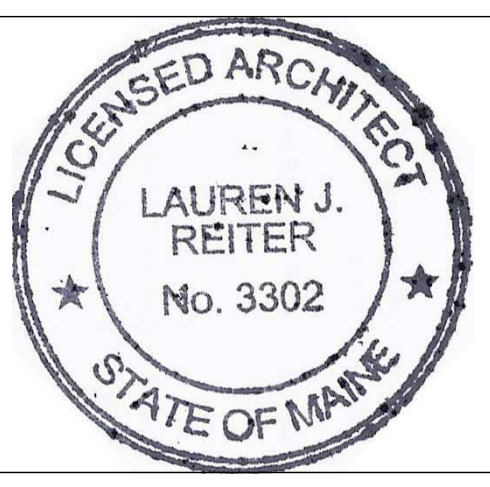
Note: Stormwater from these roofs to be directed to grade @ sidewalk area (not piped to City storm system).



4 Upper roof drainage plan  
1/4" = 1'-0"



5 Top Roof drainage plan  
1/4" = 1'-0"



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Revision Schedule		
Revision Number	Revision Description	Revision Date

Issued for permit 8/15/15  
 Revised for permit 9/14/15

**Reiter Residence**  
 35 Pleasant Street /  
 6 South Street  
 Portland, Maine 04101  
**RENOVATION**

**Wall & Roof Details**

Project number	RENOVATION
Date	Issue Date
Drawn by	Author
Checked by	Checker

**A109**

Scale As indicated