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PROJECT LOCATION: 35 Pleasant Street / 6 South Street

CBL 039 F023001

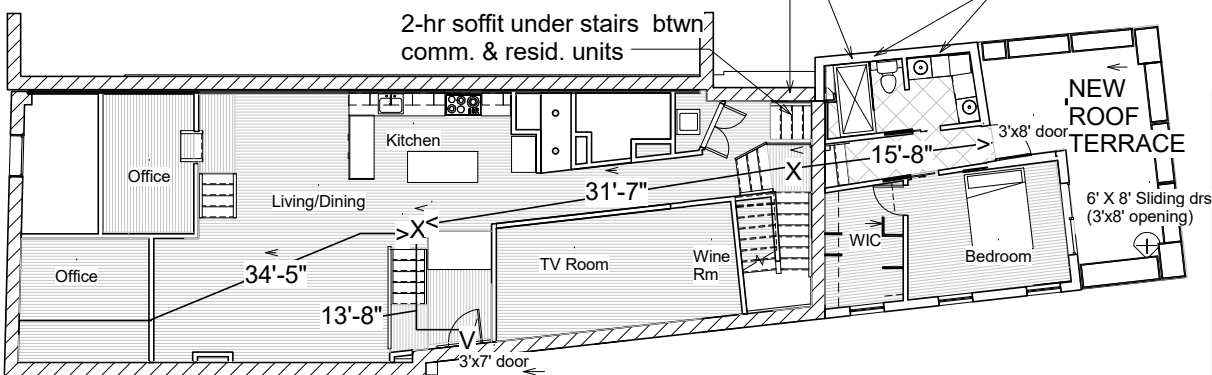
Zoning: B3

Use: Mixed Use: 1 Commercial Unit / 1 Residential Unit

NO CHANGE PROPOSED TO USE or NUMBER of UNITS

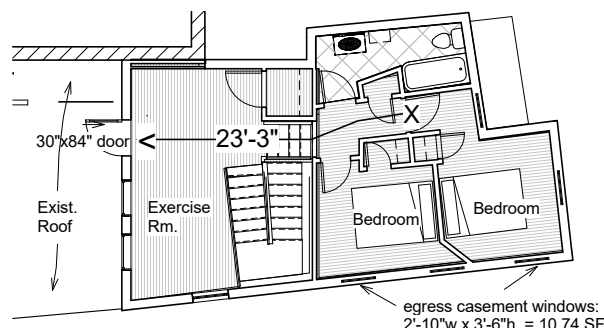
Parapet wall not req'd at Lot line, per IBC Section 705.11 because roof covering is Class C rated, and decking is fire-retardant. See notes on Roof Plan 4/A104.

NOTE: no new windows proposed along lot-line wall



① Level 2 Egress Plan
1/8" = 1'-0"

Dimensions note travel distances to exits. All travel distances are less than 75'.



Dimensions note travel distances to exits

② Level 3 Egress Plan
1/8" = 1'-0"

EGRESS PLANS

NOTE: no change to Lvl. 1 floor plan and/or exiting plan

Exist. fire exting. & smoke detectors @ kitchen/furnace clos. to remain. Provide new smoke/fire/CO detectors @ all new bedrooms.

ANALYSIS of IBC 2009 BUILDING CODE, NFPA 101 & IECC 2009					
note: references are to IBC 2009 unless otherwise noted					
Use & Occupancy Classification					
Lower Level (Lvl 1)	Business Group B (304.1), Business (NFPA 6.1.11)				
Upper Level (Lvl 2 & 3)	Residential Group R-3 (310.1) Residential (NFPA 6.1.8)				
Required Separation of Occupancies (Table 508.4 & NFPA 6.1.14.4.1(a))					
2 hour per Table 508.4	Already in place - no change except for new 2 hour soffit under new stair				
Construction Type - 602.3					
Type IIIB. Exterior walls are of non-combustible material & interior building elements are of any material permitted by code					
General Building Information:					
	Existing	Proposed			
Lower Flr (Lvl 1) SF	1516	1516			
Upper Flr (Lvl 2) SF	1402	1402			
Level 2A SF	NA	375			
Level 3/3A SF	NA	695			
TOTAL SF	2918	3988			
plus Garage	NA	609			
Allowable Area - Table 503					
	Per code	Actual//Proposed			
Allowable Area per floor	19,000 SF	1777 SF (Lvl 2 & 2A)			
Allowable height	55'	28'-10" abv. med. grade			
Allowable # of stories	3	**3			
**Note: existing Level 1 is technically a Basement (more than 50% below grade). Therefore, actual number of stories is technically 2					
Occupant Load - Table 1004.1.1					
	Area per Occupant	Actual (Interior)Area	Occupancy Load		
Lower Level-Business	100 SF	1475 SF	15		
Upper Level - Residence	200 SF	1725 SF	8		
		585 SF	3		
Classification of Contents - NFPA 39.1.5					
Business Occupancy (Professional Office) classified as "Ordinary Hazard"					
Minimum Fire Resistance Requirements of Building Elements - Tables 601 & 602					
Structural frame	0 hours	Per Section 705.8.1.2: Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings. Note: North-facing wall of addition is non-loadbearing though will be same detail as load-bearing walls for materials continuity.			
Loadbearing Ext. Walls	2 hours				
Loadbearing Int. Walls	0 hours				
Non-Loadbearing Ext. Walls (fire-separation distance < 10')	1 hour				
Non-Loadbearing Ext. Walls (fire-separation distance > 10')	0 hours				
Floor Construction	0 hours				
Roof Construction	0 hours				
Means of Egress - 1021.2 & Table 1021.2					
Number of Exits provided @ 1stFloor				1	
Number of Exits provided @ 2nd Floor				2	
Number of Exits provided @ 3rd Floor			1		
Required number of exits per floor			1		
Exist access travel distance without automatic sprinkler system			75 feet max.		
Exit signs not required in rooms/areas with only one required exit - 1011.1					
Insulation Levels - IECC 2009					
Climate Zone 6A					
Residential Occupancy within Commercial Building - refer to Table 502.2 (1)					
	Min. required	Actual			
Exterior walls abv grade	R13 + R7.5	R37			
Exterior walls bel. grade	NA	NA			
Roofs (Attics)	R38	R60			
Windows	U0.35	U0.20			
	R15 IECC / R7.5 (ASHRAE 90.1)	R10 (occurs in garage only)			

LIST of DRAWINGS

- A100 COVER SHEET & GENERAL INFO
- A101 SURVEY & SITE INFO
- A102 EXISTING PLANS / DEMO
- A103 EXISTING ELEVATIONS / DEMO
- A104 PROPOSED PLANS
- A105 PROPOSED ELEVATIONS & SCHEDULES
- A106 BUILDING SECTIONS
- A107 3D VIEWS
- A108 WALL SECTIONS & PLAN DETAILS
- A109 WALL & ROOF DETAILS
- A110 STAIR DETAILS
- A111 ENLARGED BATHROOMS & DETAILS
- A112 ENLARGED KITCHEN PLAN & DETAILS
- A113 REF. CLG & ELECTRICAL PLANS
- A115 ENLARGED SURVEY

- S0 GENERAL NOTES & TYPICAL DETAILS
- S1 FOUNDATION & LVL 2A FRAMING PLAN
- S2 LEVEL 3 & ROOF FRAMING PLAN
- S3 FOUNDATION SECTIONS & DETAILS
- S4 FRAMING SECTIONS & DETAILS
- S5 FRAMING SECTIONS & DETAILS

GENERAL NOTES:

1. This project involves minor interior renovations of an existing residential unit, and additions to this unit. There is no change to the first floor (Basement level) commercial unit. There is no change to occupancy or use of the building. There is no change to number of units.
2. Permits must be obtained for all aspects of the work, including but not limited to: General Building, Plumbing, HVAC & Electrical work.
3. All work must conform to Local, State and/or Federal codes as applicable and as having jurisdiction. IBC 2009 and NFPA 101 are relevant codes.
4. Existing curb cut, driveway & utility connections to remain. One new connection to City storm drain in South Street may be required for foundation drain. New stormwater connection is not required/allowed. Repair sidewalk and street paving where disturbed by new work to equal or better condition.
5. All work must be done in good workmanlike manner. Protect all areas not called to receive new work and/or to remain. Damage to any existing portion of the building or property that is called to remain is to be repaired to be in equal or superior condition.
6. All work occurring on the west side of the new addition must be done within property lines. All work occurring on the north end of the property must be done within the 6' easement granted by owner of adjacent property (J.B. Brown).
7. Protect building interior from weather at all times.
8. Contractor to verify all dimensions and existing conditions and alert Architect of any conditions which conflict with proposed work.
9. Remove any items not specifically called to be removed which conflict with new work.
10. Monitor all areas of demolition to ensure no loss of structural integrity. Identify to architect any items which appear to be in conflict with new work that present a problem in removing.
11. Fire-rated walls & soffits are as noted on drawings.
12. All new interior walls to be 2x4 wood studs with painted 5/8" gyp.bd. both sides U.O.N. Use water proof gyp. bd. at all wet areas.
13. All new walls, ceilings, doors, windows and trim to be painted U.O.N, minimum one coat primer, two finish coats. Provide minimum two coats of paint at existing walls, windows, doors and other interior surfaces called to remain.
14. Provide new interior base, trim and door trim. Where new materials meet existing, tie materials together for minimal joints & seamless appearance. Where existing sections of base, trim or similar materials are too small to be stable, replace entire section(s).
15. At new interior lighting fixtures, allow 3-way switching at rooms with 2 or more entrances.
16. Coordinate all electrical outlets & other requirements with new appliances. All kitchen & bathroom electrical outlets to be GFI.
17. All work at party wall (with #37) to be consistent with existing party wall agreement.
18. See Site Work Notes Sheet A101, which are part of the General Requirements.
19. Construction Contract for this project shall be an AIA Document with associated General Conditions.
20. Note: Structural drawings will be revised/resubmitted for revised terrace shape @ Lvl. 2A; revised shape of upper roofs @ Lvl. 3/3A; removal of brick from east elevation.



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Revision Schedule		
Revision Number	Revision Description	Revision Date

1 Issued for permit 2/14/16¹

Re-issue to City in response to review 4/14/16

Re-issue to City in response to review 5/28/16

Reiter Residence
35 Pleasant Street / 6 South Street
Portland, Maine 04101
RENOVATION

Cover Sheet & General Info	
Project number	RENOVATION
Date	Issue Date
Drawn by	Author
Checked by	Checker
A100	
Scale	1/8" = 1'-0"