

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 070568

**PERMIT ISSUED**

JUN - 5 2007

CITY OF PORTLAND

This is to certify that RENNER RICHARD K

has permission to Add two metal canopies over doors - one 3' x 5' (no signage)

AT 35 PLEASANT ST

039 F023001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Jay Kelley P.F.D. 05/31/07

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Scanned



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

3-11 2007

Received from Richard Banner

Location of Work 33 Pleasant St.

Cost of Construction \$ 143730

Permit Fee \$ 28

Building (IL) \_\_\_ Plumbing (I5) \_\_\_ Electrical (I2) \_\_\_ Site Plan (U2) \_\_\_

Other \_\_\_\_\_

CBL: 37 F 21

Check #: 3780 Total Collected \$ 300

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0568	Issue Date:	CBL: 039 F023001
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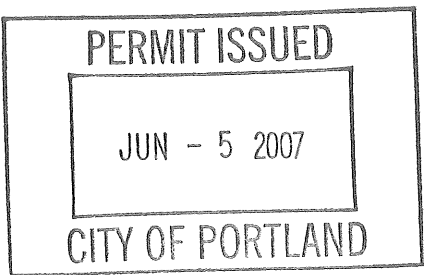
Location of Construction: 35 PLEASANT ST	Owner Name: RENNER RICHARD K	Owner Address: 61 PLEASANT ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Awning, no signage	Zone: B3

Past Use: Commercial / Residential	Proposed Use: Commercial / Residential - Add two metal canopies over doors - one 3' x 10' & one 3' x 5' 9" (no signage)	Permit Fee: \$58.00	Cost of Work: \$58.00	CEO District: 1
legal use - 1st floor office 2nd floor d.w.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description: Add two metal canopies over doors - one 3' x 10' & one 3' x 5' 9" (no signage)	Signature: <i>Jay Kelley</i> P.F.D. 5/31/07	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: ldobson	Date Applied For: 05/17/2007	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/condition Date: 5/31/07 <i>han</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>han</i> Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

8-9-07 Mike M. + Jay K.

Partial E.O. 1<sup>st</sup> FLOOR only!

- A. Returns on railing
  - B. Label Panel
  - C. Cage or light under stairway
  - D. Possibly lock Box? (See Jay)
-

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0568	<b>Date Applied For:</b> 05/17/2007	<b>CBL:</b> 039 F023001
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<b>Location of Construction:</b> 35 PLEASANT ST	<b>Owner Name:</b> RENNER RICHARD K	<b>Owner Address:</b> 61 PLEASANT ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Awning, no signage	

<b>Proposed Use:</b> Commercial / Residential - Add two metal canopies over doors - one 3' x 10' & one 3' x 5' 9" (no signage)	<b>Proposed Project Description:</b> Add two metal canopies over doors - one 3' x 10' & one 3' x 5' 9" (no signage)
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 05/31/2007  
**Note:** Canopies only have address so not signage.      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 06/04/2007  
**Note:**      **Ok to Issue:**

- 1) Separate Permits shall be required for any new signage.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved      **Reviewer:** Jay Kelley      **Approval Date:** 05/31/2007  
**Note:**      **Ok to Issue:**

- 1) OK to build



# Signage/Awning Permit Application

PDFV

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 35 Pleasant Street, Portland, Maine		
Tax Assessor's Chart, Block & Lot Chart# 39 Block# F Lot# Part of 21-24	Owner: Richard K. Renner	Telephone: 207.773.9699
Lessee/Buyer's Name (If Applicable) N/A	Contractor name, address & telephone: Richard K. Renner 61 Pleasant St Portland ME	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For H.D. signage= Total Fee: \$ <u>58.00</u> Awning Fee= cost of work _____ Total Fee: \$ <u>58.00</u>

Who should we contact when the permit is ready: Richard Renner phone: 773.9699

Tenant/allocated building space frontage (feet): Length: 25' Height: 17'  
Lot Frontage (feet) \_\_\_\_\_ Single Tenant or Multi Tenant Lot Owner occupied

Current Specific use: Under construction  
If vacant, what was prior use: Lower level-store/upper level-dwelling  
Proposed Use: Lower level-office/upper level-dwelling

Information on proposed sign(s):  
Freestanding (e.g., pole) sign? Yes \_\_\_\_\_ No x Dimensions proposed: \_\_\_\_\_ Height from grade: \_\_\_\_\_  
Bldg. wall sign? (attached to bldg) Yes x No \_\_\_\_\_ Dimensions proposed: \_\_\_\_\_

Proposed awning? Yes \_\_\_\_\_ No x Is awning backlit? Yes \_\_\_\_\_ No \_\_\_\_\_  
Height of awning: \_\_\_\_\_ Length of awning: \_\_\_\_\_ Depth: \_\_\_\_\_  
Is there any communication, message, trademark or symbol on it? Yes \_\_\_\_\_ No \_\_\_\_\_  
If yes, total s.f. of panels w/communications, message, trademark or symbol: \_\_\_\_\_ s.f.

10'8" Ft - 14' x 2' + 30"  
4'8" Ft -

Information on existing and previously permitted sign(s):  
Freestanding (e.g., pole) sign? Yes \_\_\_\_\_ No x Dimensions: \_\_\_\_\_  
Bldg. wall sign? (attached to bldg) Yes x No \_\_\_\_\_ Dimensions: 2'-0" H x 16'-0" W - being removed.  
Awning? Yes \_\_\_\_\_ No x Sq. ft. area of awning w/communication: \_\_\_\_\_

A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Richard K. Renner</u>	Date: <u>5.17.07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

B3-multi - ground floor.  
25x2 = 50 sq ft

P. 33  
10" x 10' = 100 sq ft  
10" x 4' = 40 sq ft  
= 11.66 sq ft





# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
5/17/2007

PRODUCER (207)774-6257 FAX: (207)774-2994  
**Clark Associates**  
 2385 Congress Street  
 P O Box 3543  
**Portland ME 04104**

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED  
**RICHARD RENNER ARCHITECTS**  
 61 PLEASANT STREET SUITE 105  
**PORTLAND ME 04101**

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: <b>Peerless Insurance</b>	<b>24198</b>
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		<b>GENERAL LIABILITY</b>	BOP9846203	5/8/2007	5/8/2008	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
		<input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMP/OP AGG	\$ 2,000,000
						GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
		<b>AUTOMOBILE LIABILITY</b>				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		<input type="checkbox"/> HIRED AUTOS					
		<input type="checkbox"/> NON-OWNED AUTOS					
		<b>GARAGE LIABILITY</b>				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
		<b>EXCESS/UMBRELLA LIABILITY</b>				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				WC STATU-TORY LIMITS	OTH-ER
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$
		<b>OTHER</b>				E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
 Certificate holder is named as additional insured with respects to general liability for 35 Pleasant Street, Portland, Me 04101.

## CERTIFICATE HOLDER

**City of Portland**  
 389 Congress Street  
 Portland, ME 04101

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
 Paula Hamilton/BSON

*Paula M. Hamilton*



# Richard Renner | Architects

61 Pleasant Street  
Suite 105  
Portland, ME 04101  
207.773.9699  
207.773.9599 fax

133 South Main St.  
Sherborn, MA  
01770  
508.651.2385  
508.651.0911 fax

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**Transmittal to** Michael Collins Date: August 8, 2007  
City of Portland Job No: \_\_\_\_\_  
Re: 35 Pleasant Street

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**Item**       Attached                       Hand Delivered                       Under Separate Cover Via:  
 Shop Drawings                       Prints                       Samples  
 Copy of Letter                       Change Order                       Other

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Copies	Date	No.	Description
1	1/25/07		Statement of Special Inspections

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**Purpose**       For Your Approval                       No Exception Taken                       Rejected  
 For Your Use                       Make corrections noted                       Review and comment  
 As Requested                       Revise and Resubmit                       Other Purpose

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**Remarks**

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Copy to \_\_\_\_\_ Signed Richard Renner

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# Statement of Special Inspections - Exhibit A

Project: 35 Pleasant St.  
Location: Portland, Maine  
Owner: Richard Renner

This Statement of Special Inspections encompass the following discipline:

- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: \_\_\_\_\_

Design Professional in Responsible Charge: Paul Becker  
Firm Name: Becker Structural Engineers, Portland, ME

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency:  Upon request of Building Official \_\_\_\_\_ or  per attached schedule.

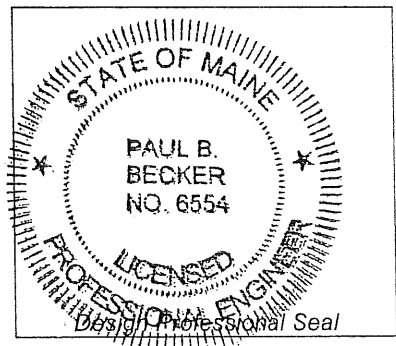
Prepared by:

Paul Becker

(type or print name of the Structural Registered Design Professional in Responsible Charge)

*Paul Becker*  
Signature

1.24.07  
Date



Owner's Authorization:

*Richard K. Renner* 1.25.07  
Signature Date  
RICHARD K. RENNER

Building Code Official's Acceptance:

\_\_\_\_\_  
Signature Date

Statement of Special Inspections (Continued) - Exhibit A

**List of Agents**

Project: 35 Pleasant St.

Location: Portland, Maine

Owner: Richard Renner

This Statement of Special Inspections encompass the following discipline:

- Structural       Mechanical/Electrical/Plumbing
- Architectural       Other: \_\_\_\_\_

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Soils and Foundations
- Cast-in-Place Concrete
- Precast Concrete
- Masonry
- Structural Steel
- Wood Construction
- Spray Fire Resistant Material
- Cold-Formed Steel Framing
- Exterior Insulation and Finish System
- Mechanical & Electrical Systems
- Architectural Systems
- Special Cases

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Structural Special Inspection Coordinator (SSIC)	Becker Structural Engineers (BSE)	75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com
2. Special Inspector (SI 1)	Becker Structural Engineers (BSE)	75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com
3. Special Inspector (SI 2)		
4. Testing Agency (TA 1)	Quality Assurance Labs, Inc	80 Pleasant St. South Portland, ME 04108 (207) 799-8911
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Statement of Special Inspections (Continued) - Exhibit A

**Final Report of Special Inspections (SSIC/SI 1)**

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: 35 Pleasant St.  
Location: Portland, Maine  
Owner: Richard Renner  
Owner's Address: 61 Pleasant St. Suite 105  
Portland, Maine 04101

Architect of Record: Richard Renner Richard Renner Architects  
(name) (firm)

Structural Registered Design  
Professional in Responsible Charge: Paul Becker Becker Structural Engineers  
(name) (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

*(Attach continuation sheets if required to complete the description of corrections.)*

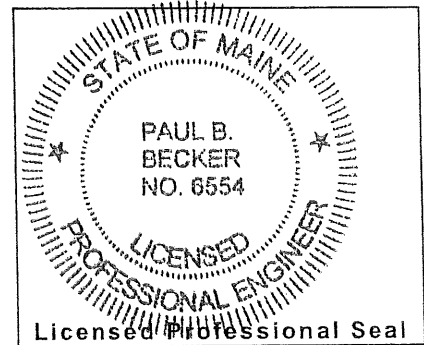
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,  
Structural Special Inspection Coordinator

Paul Becker  
(Type or print name)

BECKER STRUCTURAL ENGINEERS INC.  
(Firm Name)

*Paul Becker* 8/9/07  
Signature Date



## Schedule of Special Inspections - Exhibit B

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### Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

#### Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

#### American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

#### American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

#### American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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#### International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

#### National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

#### Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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Other

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# Schedule of Special Inspections – Exhibit B

## STEEL CONSTRUCTION

Project: 35 Pleasant St., Portland, ME  
 Date Prepared: 01/24/2007

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
1. Material verification of high-strength bolts, nuts and washers:							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	N	S	Applicable ASTM material specifications; AISC 335, Section A3.4; AISC LRFD, Section A3.3	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	N	S		SII	PE/SE or EIT		
2. Inspection of high-strength bolting							
a. Bearing-type connections.	N	P	AISC LRFD Section M2.5	TL	AWS/AISC-SSI		
b. Slip-critical connections.	N	C or P (method dependent)	IBC Sect 1704.3.3	TL	AWS/AISC-SSI		
3. Material verification of structural steel (IBC Sect 1708.4):							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT	1/30/07	PPB
b. Manufacturers' certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT	1/30/07	PPB
4. Material verification of weld filler materials:							
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	SII	PE/SE or EIT	1/31/07	AG SEE REPORT
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT	1/31/07	AG SEE REPORT

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector

*[Signature]*  
 Date: 8/19/07

# Schedule of Special Inspections – Exhibit B

## STEEL CONSTRUCTION

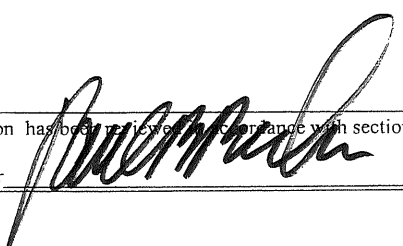
Project: 35 Pleasant St., Portland, ME

Date Prepared: 01/24/2007

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	SII	PE/SE or EIT	1/31/07	PMB
6. Inspection of welding (IBC 1704.3.1):							
a. Structural steel:							
1) Complete and partial penetration groove welds.	N	C	AWS D1.1	TA1	AWS-CWI	1/31/07	AG SEE REPORT
2) Multipass fillet welds.	Y	C		TA1	AWS-CWI		
3) Single-pass fillet welds > 5/16"	N	C		TA1	AWS-CWI		
4) Single-pass fillet welds < 5/16"	N	P		TA1	AWS-CWI		
5) Floor and Roof deck welds.	N	P		TA1	AWS-CWI		
b. Reinforcing steel (IBC Sect 1903.5.2):							
1) Verification of weldability of reinforcing steel other than ASTM A706.	N		Welding of Reinforcement not permitted	N/A			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	N	C	AWS D1.4 ACI 318: 3.5.2	TA1	AWS-CWI		
3) Shear reinforcement.	N	C		TA1	AWS-CWI		
4) Other reinforcing steel.	N	P		TA1	AWS-CWI		
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:							
a. Details such as bracing and stiffening.	N	P		SII	PE/SE or EIT		
b. Member locations.	N	P		SII	PE/SE or EIT		
c. Application of joint details at each connection.	N	P		SII	PE/SE or EIT		

Steel Construction has been reviewed for compliance with section 1704.3 of the IBC Code

Special Inspector



Date

8/9/07



# ATTN: - STEEL TEST REPORTS - MATT ALCORN

NUCOR STEEL - BERKELEY  
P.O. Box 2259  
Mt. Pleasant, S.C. 29464  
Phone: (843) 336-6000

CERTIFIED MILL TEST REPORT

3/03/06 12:43:10

100% MELTED AND MANUFACTURED IN THE USA  
All beams produced by Nucor-Berkeley are cast and rolled to a fully killed and fine grain practice.

Sold To: [REDACTED]  
ATTN: DEBBIE TAYLOR - A/P  
50 CABOT BOULEVARD EAST  
LANGHORNE, PA 19047

Ship To: [REDACTED]

[REDACTED]

SPECIFICATIONS: Tested in accordance with ASTM specification A6/A6M and A370.  
ASHTO : M270-36-00/M270-50-00  
ASME : SA-36  
ASTM : A992-04a/A36-04/A529-03-50/A572-04-50/A709-04a36/A709-04a50/A7  
CSA : CSA-44W/G40.21-50W

Description	Heat# Grade(s) Test	Yield/ Tensile Ratio	Yield (PSI) (MPa)	Tensile (PSI) (MPa)	Elong %	C	Mn	P	S	Si	Cu	Ni	CE1	CE2	Pcm
* WBX31 060" 00.00" W200X46.1 018.2880m	2602956	.81	53600	66500	25.63	.0740	.8040	.0076	.0337	.2420	.1310	.0470	.2319		
	A992-04a		370	459		.0340	.0210	.0069	.0026	.0054	.0288		.2785		
		.80	54000	57300	24.75	.0061	.0020	.0000	.0025	.0062	.0000	3.5012	.1458		
3 Piece(s)															
* WBX31 060" 00.00" W200X46.1 018.2880m	2602958	.81	55900	68700	24.08	.0660	.8330	.0071	.0294	.2280	.1330	.0370	.2786		
	A992-04a		385	474		.0340	.0200	.0067	.0023	.0047	.0310		.2728		
		.82	57100	69300	24.18	.0020	.0015	.0000	.0020	.0063	.0000	3.5057	.1360		
3 Piece(s)															
WBX35 035" 00.00" W200X52 010.6680m	1602888	.82	57100	69900	22.79	.0690	1.0380	.0091	.0264	.2220	.0690	.0300	.2575		
	A992-04a		394	482		.0270	.0140	.0043	.0041	.0035	.0255		.2996		
		.80	56000	69700	23.71	.0000	.0019	.0014	.0010	.0060	.0000	2.2550	.1398		
6 Piece(s)															
WBX35 050" 00.00" W200X52 015.2400m	1602834	.81	56700	69800	24.46	.0670	1.0130	.0079	.0227	.2090	.0830	.0310	.2530		
	A992-04a		391	481		.0270	.0160	.0051	.0042	.0049	.0253		.2829		
		.81	57100	70100	24.46	.0001	.0022	.0008	.0010	.0066	.0000	2.5084	.1370		
2 Piece(s)															
WBX35 050" 00.00" W200X52 015.2400m	2602851	.80	55900	70200	25.11	.0670	1.0480	.0068	.0203	.2500	.0690	.0310	.2572		
	A992-04a		385	484		.0230	.0160	.0048	.0039	.0051	.0284		.3045		
		.80	56200	70100	26.88	.0008	.0019	.0009	.0013	.0056	.0000	2.2561	.1406		
4 Piece(s)															

Elongation based on 8" (20.32cm) gauge length. 'No Weld Repair' was performed.

CI = 26.01Cu+3.88Ni+1.20Cr+1.49Si+17.28P-(7.29Cu+Ni)-(9.10Ni+P)-33.39(Cu+Cu)  
Pcm = C+(Si/30)+(Mn/20)+(Cu/20)+(Ni/60)+(Cr/20)+(Mo/15)+(V/10)+5B

CE1 = C+(Mn/6)+((Cr+Mo+V)/5)+((Ni+Cu)/15)  
CE2 = C+(Mn-Si)/6+((Cr+Mo+V+Cb)/5)+((Ni+Cu)/15)

I hereby certify that the contents of this report are accurate and correct. All test results and operations performed by the material manufacturer are in compliance with material specifications, and when designated by the Purchaser, meet applicable specifications.

(State of South Carolina)  
(County of Berkeley)

Sworn and subscribed before me

Bruce A. Work  
Metallurgist

*Bruce A. Work* 3 day of *March* 2007

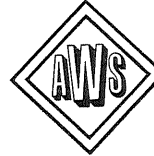


**AWS Certified Welder**  
Welders, Brazers and Operators

**James E. Gregoire**

Cert # 0701044W

SSN # XXX-XX-2614



**AMERICAN WELDING SOCIETY**

**VALID ONLY IF ACCOMPANIED BY PHOTO ID**

This Card is the property of AWS and shall be returned on demand.

**1-800-443-9353**

Information relating to identification and certification of the  
bearer of this card may be verified by calling or writing:  
**CERTIFICATION DEPARTMENT OF THE AMERICAN WELDING SOCIETY**  
550 N.W. LeJeune Road, Miami, FL 33126

James E. Gregoire

#	Test Date	Sup Code	Process	Gas	Filler	Metal	Base Metal	Position	Thickness	Expires
2	06/22/04	G D1.5	FCAW	75/25	E71T-1		P1	A	L	06/15/07
3	06/22/04	G D1.1	SMAW	N/A	F4		P1	A	U	06/15/07

# Quality Assurance Labs Inc.

NON-DESTRUCTIVE TESTING AND INSPECTION SERVICES

80 PLEASANT AVENUE • SOUTH PORTLAND, MAINE 04106 • TEL: (207) 799-8911 • FAX: (207) 799-7251

## INSPECTION REPORT

CUSTOMER: RICHARD RENNER ARCHITECTS			PAGE 1 OF 1
ADDRESS: 61 PLEASANT STREET SUITE 105, PORTLAND, MAINE 04101			
ATTENTION: RICHARD RENNER			
COPIES:			
PROJECT: 35 PLEASANT STREET			
OWNER:			
CONTRACTOR:			
JOB No.:	REPORT No.: QAL-07-0217	P. O. NUMBER:	DATES INSPECTED: 1/31/07

### REMARKS

VISUAL INSPECTION PERFORMED ON BEAM HANGER WELDS AND BEAM REINFORCEMENT WELDS. ALL WELDING WAS IAW AWS D1.1 AND SITE DWGS.

**FAA REPAIR STATION NUMBER RX5R187N**  
**METHOD(S), PROCESS(ES), PROCEDURE(S) MERCURY FREE**

ADDITIONAL INFORMATION - SEE ATTACHED:  SKETCH(ES)  SUPPLEMENTARY SHEET(S)  NDT REPORTS  VIDEO

### SIGNATURES

INSPECTOR ARTHUR GALLANT CWI#90100091

SUPERVISOR

CERTIFICATION		DATE		
LEVEL		M	D	Y
ASNT	III	1	31	07

From: Dan Kolbert <dan@kolbertbuilding.com>  
Subject: **report from Collins**  
Date: August 6, 2007 1:11:27 PM EDT  
To: Rick Renner <rrenner@rrennerarchitects.com>

Rick - got Janet's call and called Inspections again - got thru to Collins this time, who was as big a pain in the ass as always.

Here's what he said:

He can issue separate C of O's for the floors. What he noticed on the first floor on his brief visit:

- ↘ The guardrail needs to be 42"
- ↘ The handrail needs to be returned to the wall.
- ↘ Need a final report on testing for the fire alarm system
- ↘ Need a final report from the engineers on structural elements.
- ↘ If the kitchen is in the plans, it needs to be in.

Never a dull moment. Sounded like he was in if you want to try to deal with him directly. I tried to argue the tenant fit-out argument with him, but he didn't budge.

# Richard Renner | Architects

61 Pleasant Street  
Suite 105  
Portland, ME 04101  
207.773.9699  
207.773.9599 *fax*

133 South Main St.  
Sherborn, MA  
01770  
508.651.2385  
508.651.0911 *fax*

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**Transmittal to** Michael Collins Date: August 8, 2007  
City of Portland Job No: \_\_\_\_\_  
Re: 35 Pleasant Street

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**Item**  Attached  Hand Delivered  Under Separate Cover Via:  
 Shop Drawings  Prints  Samples  
 Copy of Letter  Change Order  Other

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Copies	Date	No.	Description
1	8/7/07		A0.1, A1.1, A2.1, A4.2 Revised -- 24x36
1	8/7/07		A0.1, A1.1, A2.1, A4.2 Revised -- 11x17

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**Purpose**  For Your Approval  No Exception Taken  Rejected  
 For Your Use  Make corrections noted  Review and comment  
 As Requested  Revise and Resubmit  Other Purpose

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**Remarks** Note: Drawings revised to show possible future kitchenette.

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

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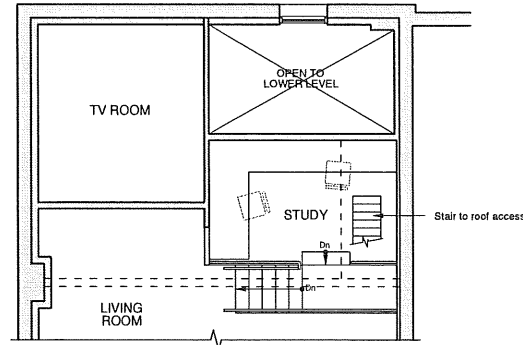
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Copy to \_\_\_\_\_ Signed Richard Renner

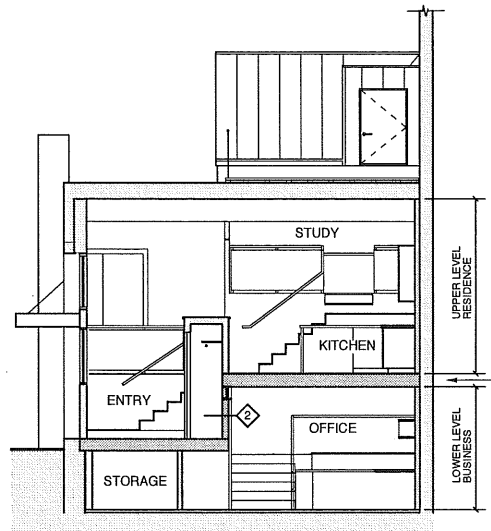
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Building Code Analysis (IBC 2003, NFPA 101)			
Use and Occupancy Classification Lower Level	Business Group B (304.1), Business (6.1.11)		
Use and Occupancy Classification Upper Level	Residential Group R-3 (310.1), Residential (6.1.8)		
Required Separation of Occupancies	2 hours (Table 302.3.2)		
Construction Type	Type III B (602.3) Exterior walls are of non-combustible material and interior building elements are of any material permitted by code		
<b>1. General Building Information</b>			
	Existing Area	Proposed Area	
Lower Level	1,475 sq ft	1,475 sq ft	
Upper Level	1,475 sq ft	1,475 sq ft	
Total	2,950 sq ft	2,950 sq ft	
	Existing Height	Proposed Height	
Number of Stories Above Grade	1 w/ basement	1 w/ basement	
Building Height	16 ft	26 ft	
<b>2. Allowable Area (Table 503)</b>			
Allowable area per floor	19,000 sq ft		
Allowable height	55 ft		
Allowable number of stories	4		
<b>3. Occupant Load (Table 1004.1.2, Table 7.3.1.2)</b>			
Floor Level	Area per occupant	Area	Occupancy Load
Lower Level - Business	100 sq ft/person	1475 sq ft	15
Upper Level - Residence	200 sq ft/person	1475 sq ft	8
<b>4. Classification of Hazard of Contents</b>			
Contents of business occupancies shall be classified as "Ordinary Hazard" (39.1.5.1)			
<b>5. Minimum Fire Resistance Requirements of Building Elements (Table 601, Table 602)</b>			
Structural Frame	0 hour		
Loadbearing exterior walls	2 hours		
Loadbearing interior walls	0 hour		
Non-loadbearing exterior walls (fire separation distance less than 30 ft.)	1 hour		
Non-loadbearing exterior walls (fire separation distance greater than 30 ft.)	0 hours		
Floor construction	0 hour		
Roof construction	0 hour		
<b>6. Means of Egress Components</b>			
Number of exits provided per floor	1		
Minimum number of exits required per floor	1 (Table 1016.2, Table 1014.1)		
Exit access travel distance (without automatic sprinkler system)	75 ft (Table 1016.2)		
Exit signs are not required in rooms or areas which require only one exit (1011.1)			

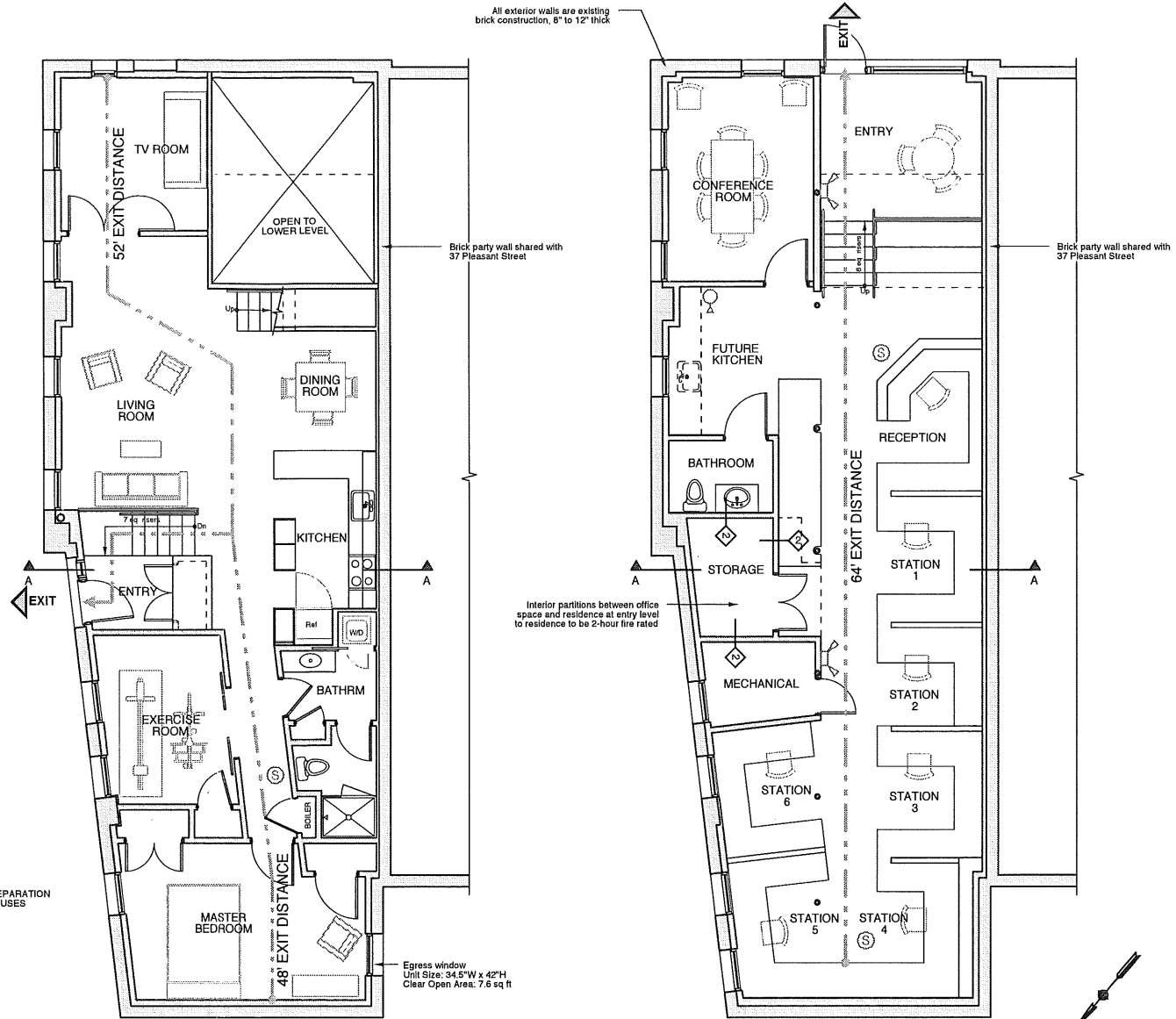
-  EMERGENCY LIGHTING
-  FIRE EXTINGUISHER
-  SMOKE DETECTOR



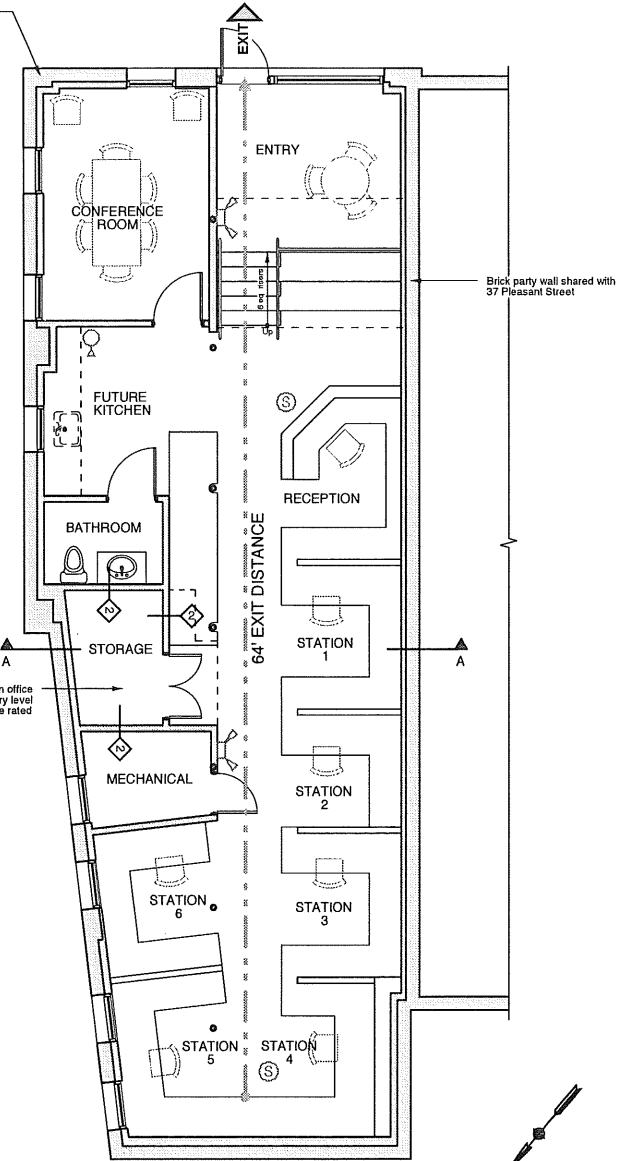
7 Loft Floor Plan - Residence  
SCALE: 3/16" = 1'-0"



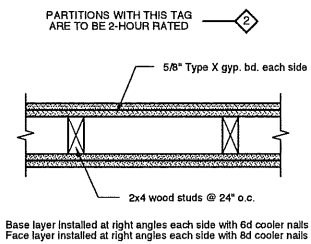
6 Section A-A at Residence Entry  
SCALE: 3/16" = 1'-0"



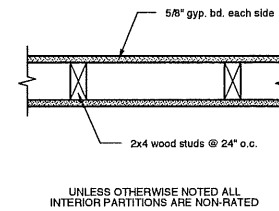
5 Upper Floor Plan - Residence  
SCALE: 3/16" = 1'-0"



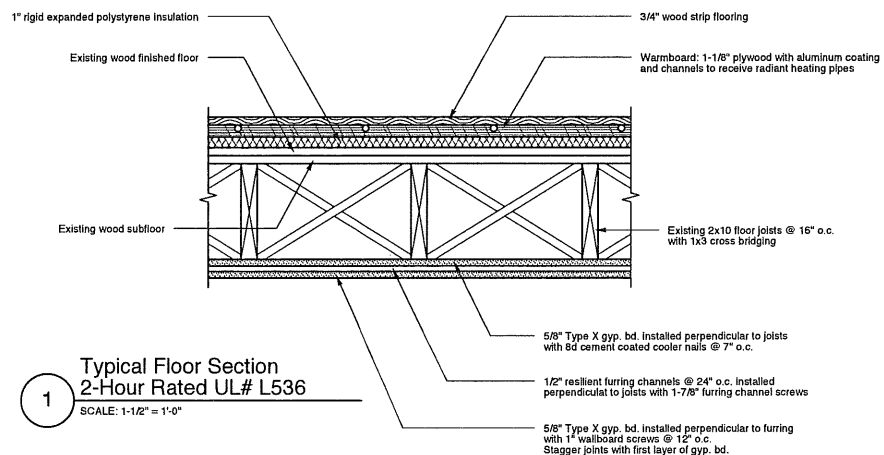
4 Lower Floor Plan - Business  
SCALE: 3/16" = 1'-0"



3 Interior Partition  
2-Hour Rated WP 360  
SCALE: 1-1/2" = 1'-0"



2 Interior Partition  
Non-Rated  
SCALE: 1-1/2" = 1'-0"

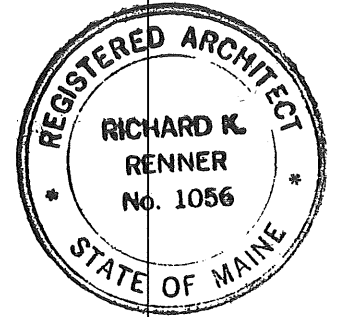


1 Typical Floor Section  
2-Hour Rated UL# L536  
SCALE: 1-1/2" = 1'-0"

NOTE: ALL INTERIOR WALLS ARE NEW CONSTRUCTION,  
ALL EXTERIOR WALLS ARE EXISTING BRICK 8" TO 12" THICK

**Richard Renner/Architects**  
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508.851.0911 fax

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Suite 105  
Portland, ME 04101  
207.773.9599 fax



Consultants:

**35 Pleasant Street**  
Office and Loft Renovation

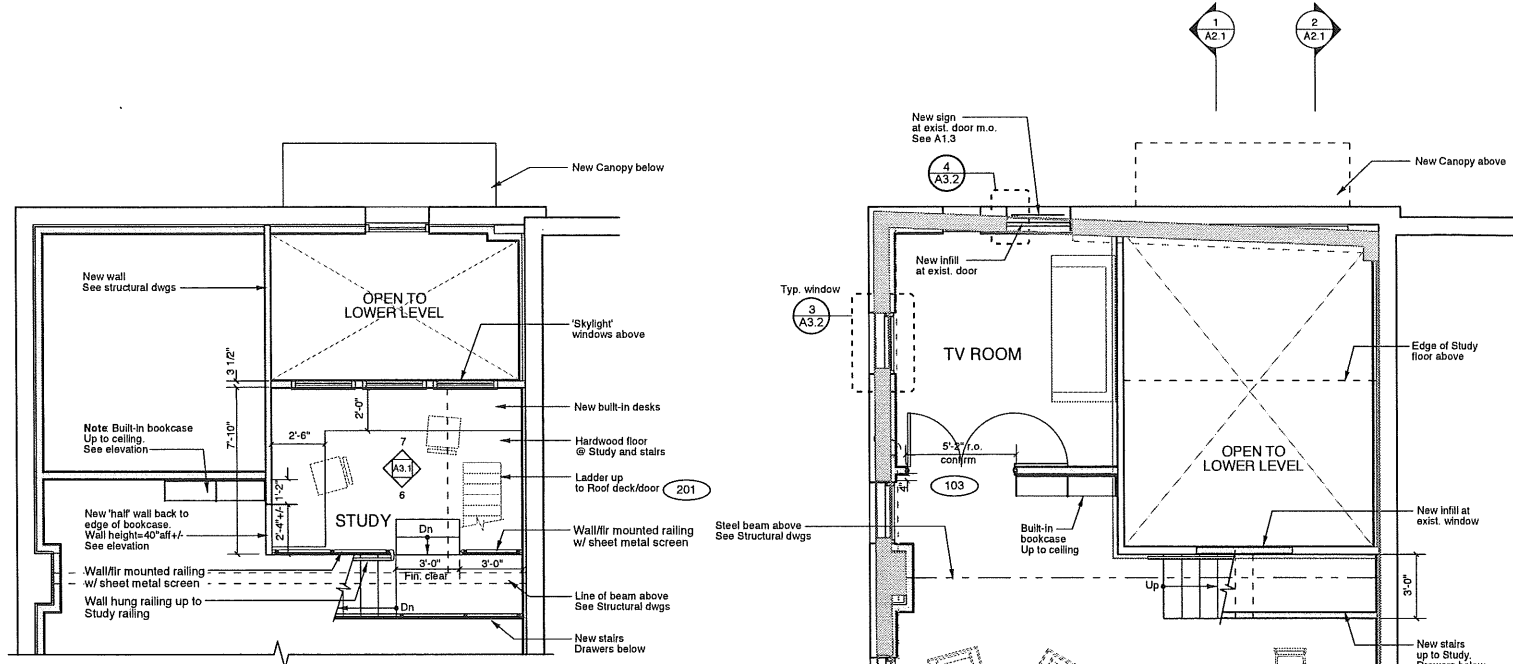
35 Pleasant Street  
Portland, Maine

**Building Code Analysis**

File Name: A0.1CodeAnalysis  
Project No. 2006-08.00  
Revised: 08.07.07  
Drawn by: RJP  
Scale: as noted  
Date: 12.20.06

**A0.1**





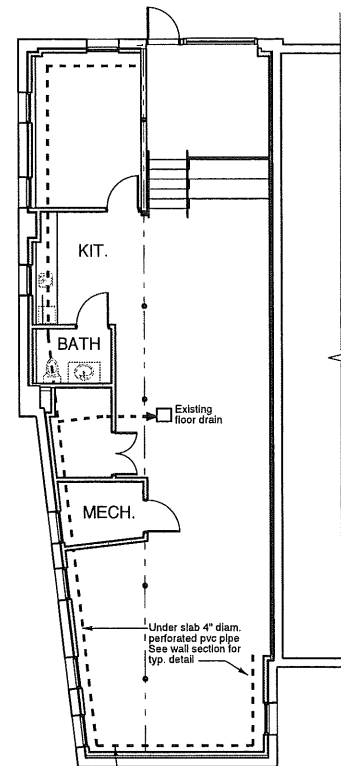
**3 Loft/Study Floor Plan**  
SCALE: 1/4" = 1'-0" See A3.1 for enlarged Study floor plan

**LEED-H NOTES:**

- 1- Keep all wood used (ie. siding, trim, structure) at least 12" above soil.  
- Seal all cracks, joints, penetrations, edges and entry points with caulking  
- Separate any wood to concrete connections with metal or plastic fasteners/dividers or have no wood to concrete connections  
- Install landscaping so that all parts of mature plants will be at least 24" from building [BS5]
- 2- Install a carbon monoxide (CO) monitor on each floor of the building [IEQ2.1]
- 3- No tropical hardwoods to be used anywhere in this project [MR2.1]
- 4- Use advanced framing techniques when furring-out exterior walls and building new interior walls:  
- Space joists at 24" o.c.  
- Size headers for actual loads, use no headers in non-load bearing walls  
- Use ladder blocking or drywall clips [MR1.2]
- 5- All new wood framing to be FSC certified [MR2.2]
- 6- Install the following types of very high efficiency plumbing fixtures in bathrooms:  
- average flow rate for all lavatory faucets must be <= 1.5 GPM  
- average flow rate for all shower heads must be <= 1.5 GPM  
- average flush rate for all toilets must be <= 1.1 GPF [WE3.2]

**WASTE MANAGEMENT**

- 1- During the course of construction and demolition recycle all cardboard packaging and other "household" recyclables (eg. beverage containers) brought onto the site [MR3.1]
- 2- Investigate and document local options for diversion (recycling, reuse, etc.) of all anticipated major constituents of the project waste stream [MR3.1]
- 3- Document rate of diversion; record diversion rate for demolition separately from rate for new construction phase of project [MR3.1]
- 4- Generate 2.5 pounds (0.159 cubic yards) or less of waste per square foot of conditioned floor area -OR- Divert 25% or more of the total materials taken off the construction site from landfills and incinerators [MR3.2]
- 4- Overall waste factor (WF) for framing is not to exceed 10% [MR1.1]

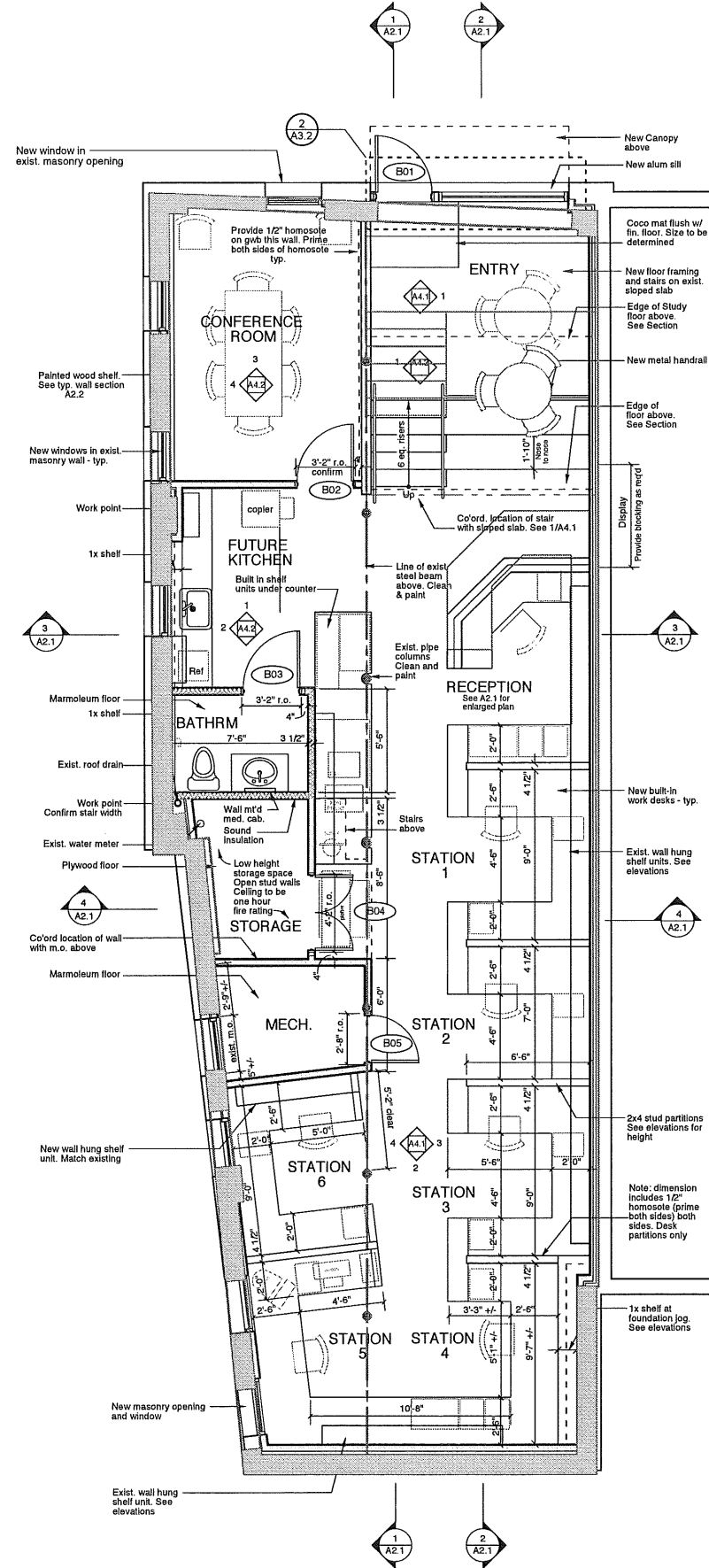


**4 Lower Floor Drainage Plan**  
SCALE: 1/4" = 1'-0"

**General Notes**

- New wall construction
- See A2.2 for typ. walls - new and existing
- All dimensions are from face of stud to face of stud unless noted
- All desk top dimensions are from face to face of finished desk unless noted
- Verify all dimensions in the field. Notify Architect of significant discrepancies.
- Co-ordinate all dimensions with final selection of appliances and fixtures
- Provide solid wood blocking for all wall hung shelves, bath TP, towel bars, mirrors, med.cabs/railings, and all other fittings as req'd.

**2 Upper Floor Plan**  
SCALE: 1/4" = 1'-0"

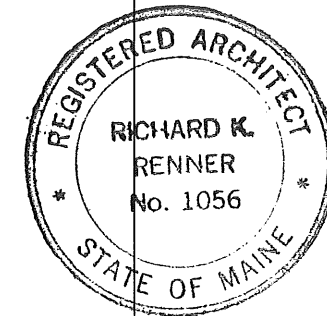


**1 Lower Floor Plan**  
SCALE: 1/4" = 1'-0"

**Richard Renner/Architects**

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Shelburne, MA 01770  
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508.651.0911 fax

81 Pleasant Street  
Sullivan, ME 04101  
207.775.9699  
207.775.9699 fax



Consultants:

**35 Pleasant Street  
Office and Loft Renovation**

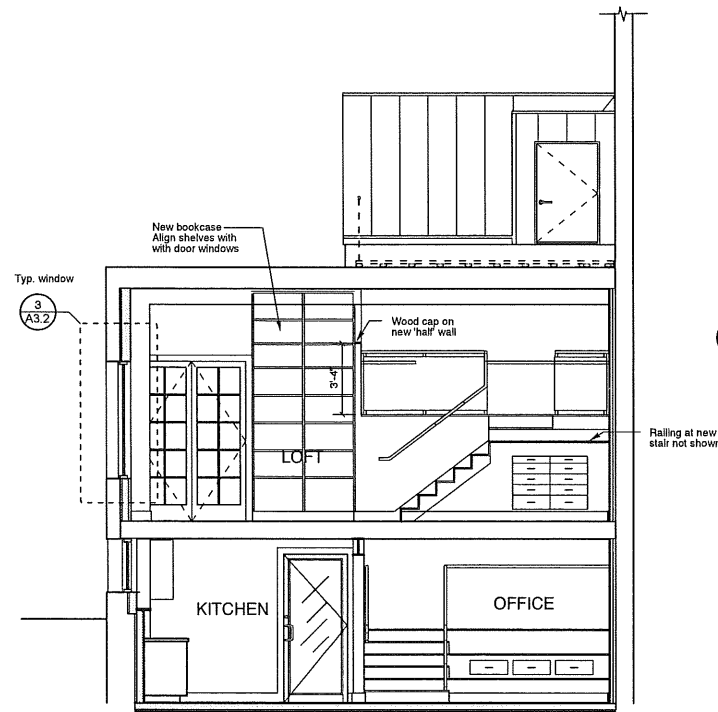
35 Pleasant Street  
Portland, Maine

**Floor Plans**

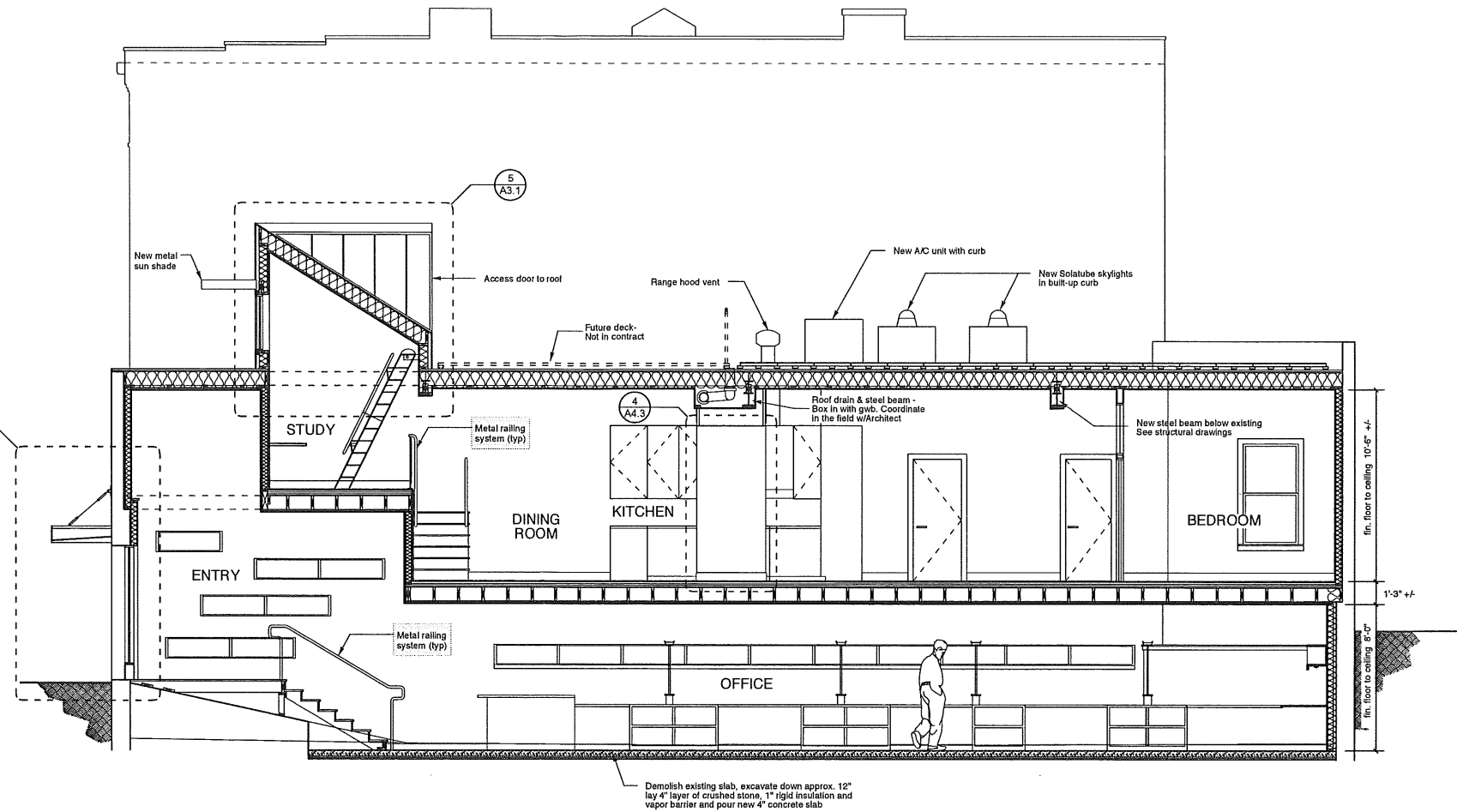
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Project No.  
Scale: 1/4" = 1'-0"  
Date: 12.06.06  
Revised: 08.07.07

**A1.1**

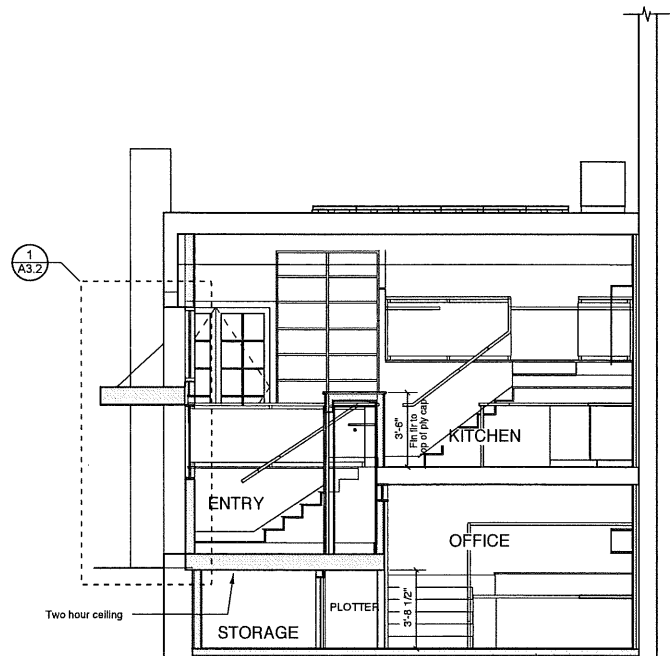




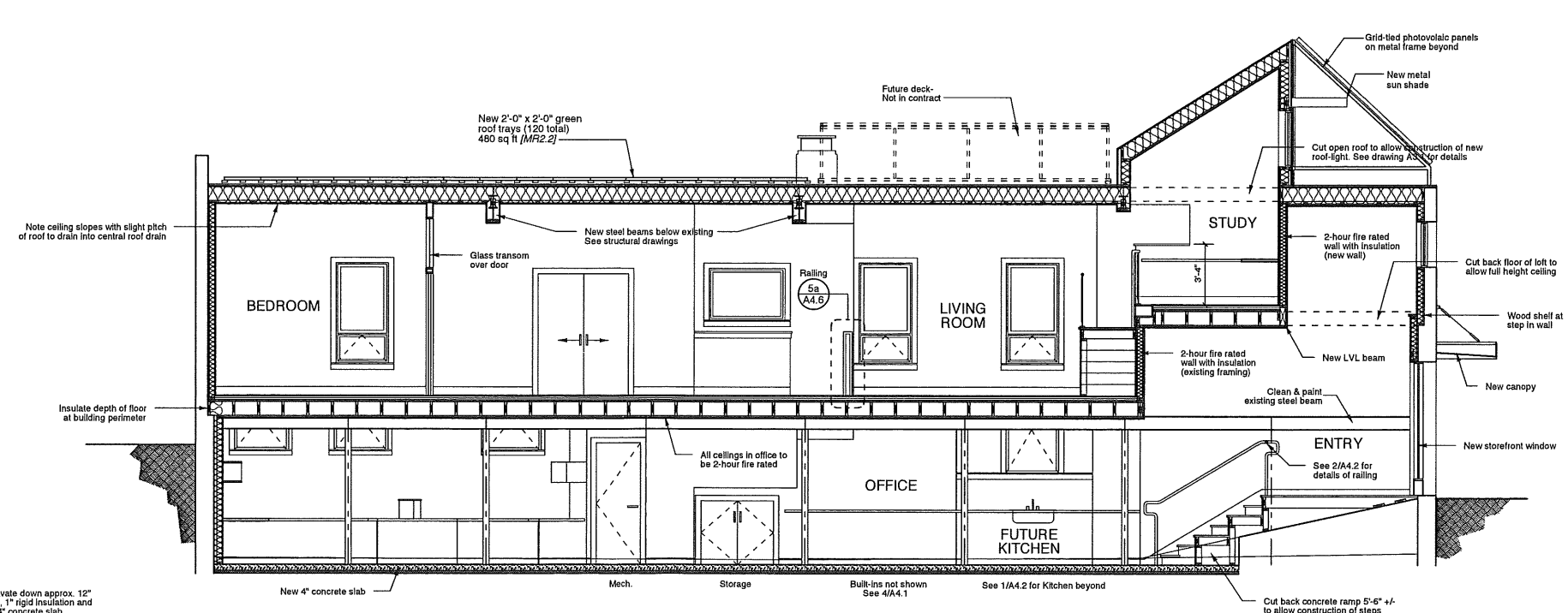
**3 Building Section 3**  
SCALE: 1/4" = 1'



**1 Building Section 1**  
SCALE: 1/4" = 1'



**4 Building Section 4**  
SCALE: 1/4" = 1'

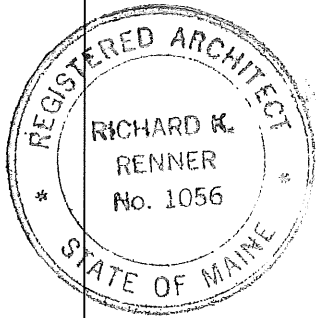


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508.657.2885  
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Consultants:  
**35 Pleasant Street  
Office and Loft Renovation**  
35 Pleasant Street  
Portland, Maine

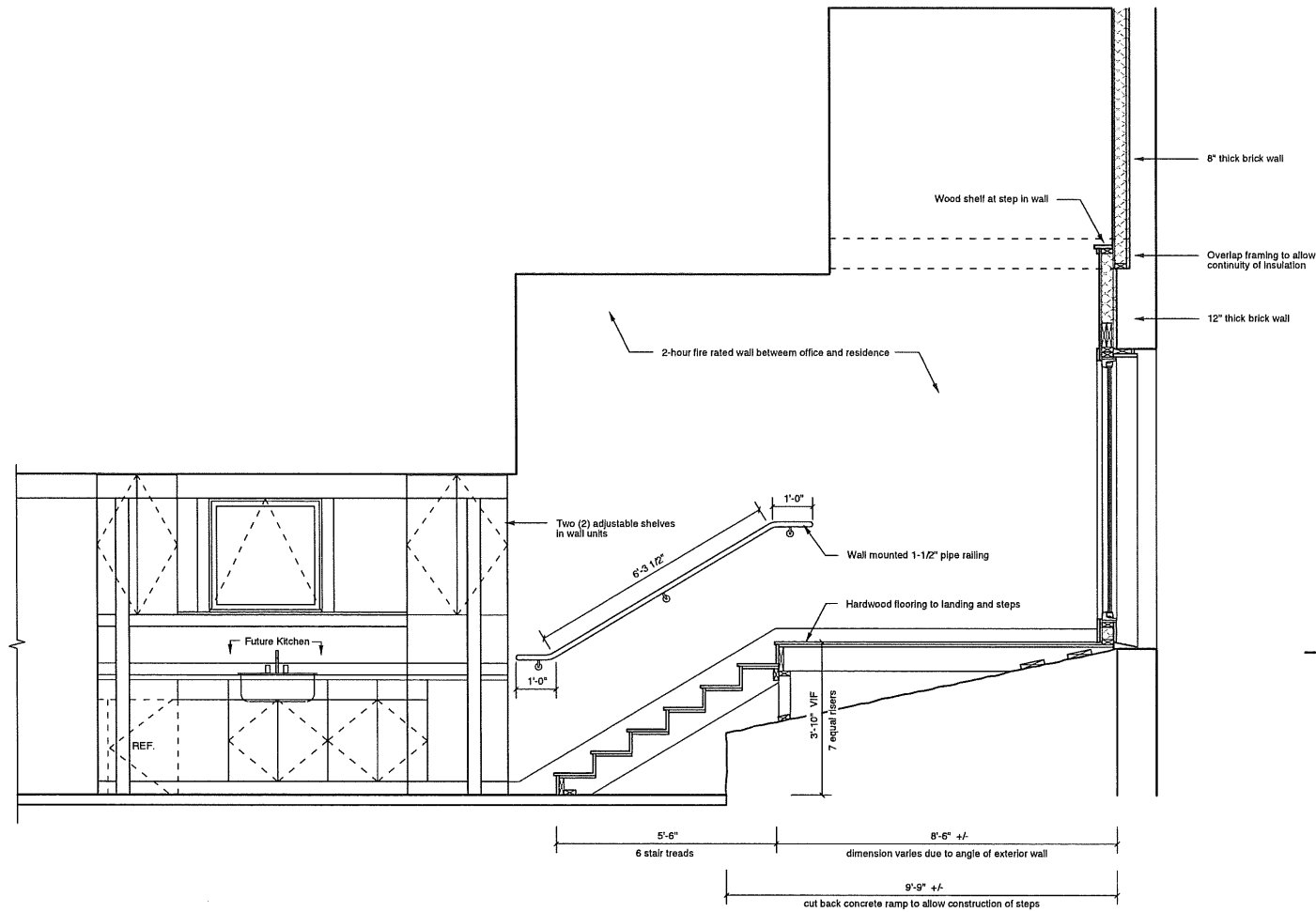
Building Sections  
File Name: A2.1 Building Sections  
Project No. 2006-08  
Scale: 1/4" = 1'-0"  
Date: 12.15.06  
Revised: 08.07.07

Drawn by:  
Scale: 1/4" = 1'-0"  
Date: 12.15.06  
Revised: 08.07.07

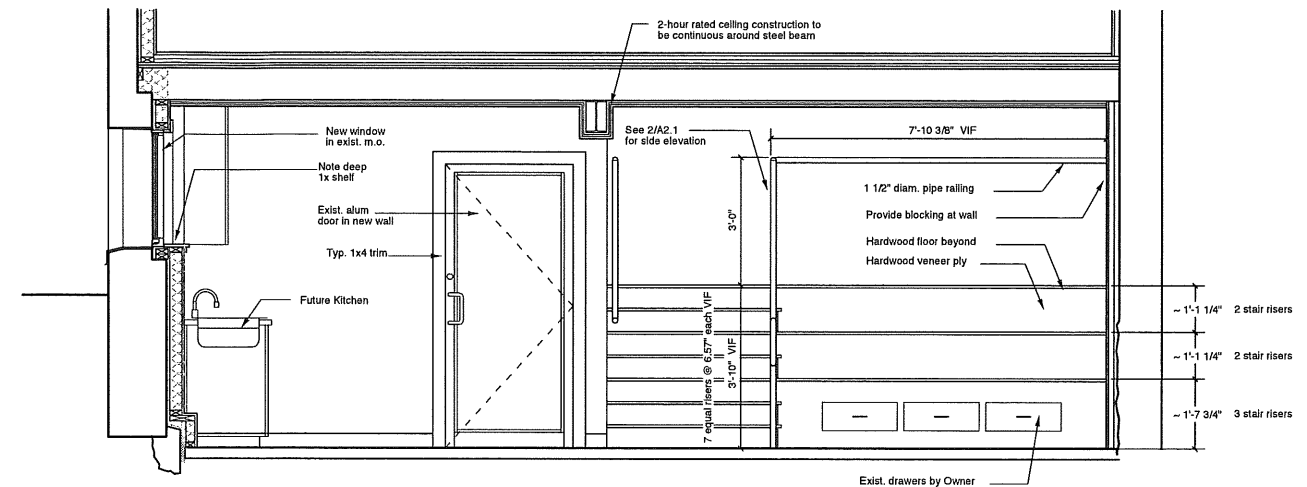


**A2.1**

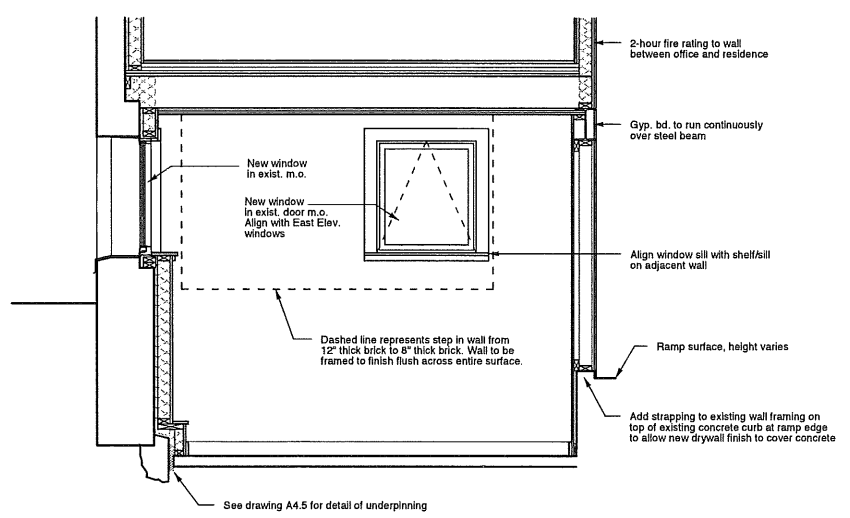
█ New wall construction



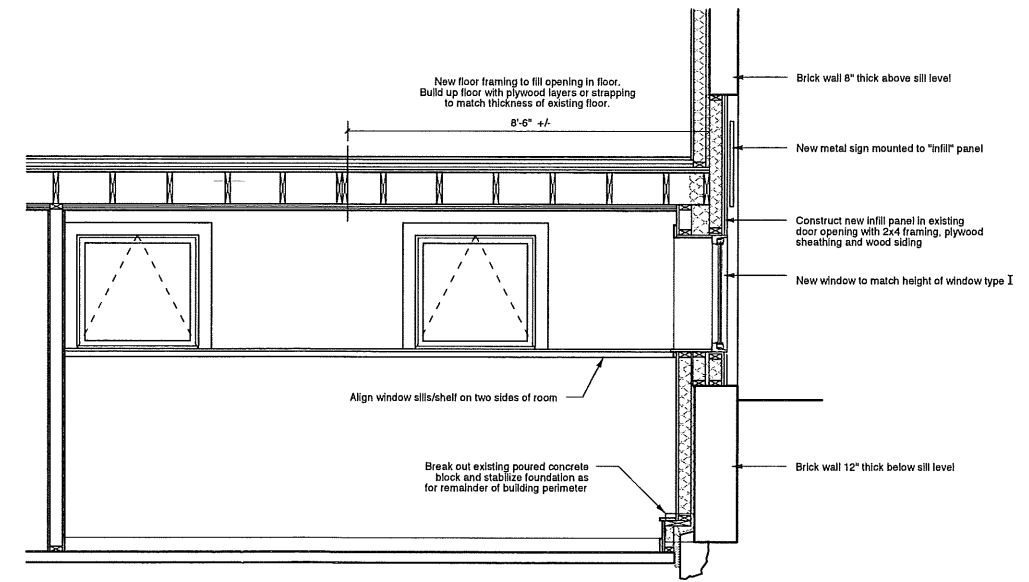
1 East Elevation - Office Entry  
SCALE: 1/2" = 1'-0"



2 South Elevation - Office Entry  
SCALE: 1/2" = 1'-0"



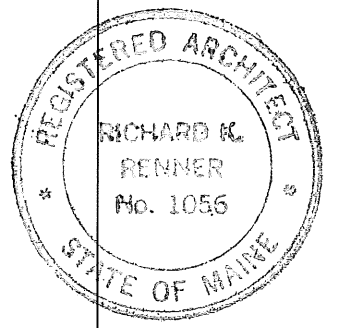
3 South Elevation - Conference Room  
SCALE: 1/2" = 1'-0"



4 East Elevation - Conference Room  
SCALE: 1/2" = 1'-0"

**Richard Renner/Architects**  
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207.773.9599 fax



Consultants:  
**35 Pleasant Street  
Office and Loft Renovation**  
35 Pleasant Street  
Portland, Maine

**Interior Elevations  
Lower Level Office**  
Drawn by: File Name: A4.2 InteriorElev  
Scale: 1/2" = 1'-0" Project No. 2006-08  
Date: 12.15.06 Revised: 08.07.07

**A4.2**