

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 061826

Please Read Application And Notes, If Any, Attached

This is to certify that Richard Renner/Richard Renner Architects
has permission to Renovations to first and second floor-Existing Unit for 1st and 2nd Floor - First Floor Office -Second Floor Residential Dwelling unit
AT 35 PLEASANT ST PORTLAND, OR 97204 039 F023001

PERMIT ISSUED

JAN 22 2007

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is provided. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg CARA
Health Dept. _____
Appeal Board _____
Other _____
Department Name

John Ruff 1/17/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1826	Issue Date:	CBL: 039 F023001
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Location of Construction: 35 PLEASANT ST	Owner Name: Richard Renner	Owner Address: 105 Spruce Street	Phone: 207-773-9699
Business Name:	Contractor Name: Richard Renner Architects	Contractor Address: 61 Pleasant St Portland	Phone: 2074439699
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B3

Past Use: Second Floor Dwelling unit and First Floor Retail	Proposed Use: First Floor Office second Floor Dwelling - Renovations to first and second floor-Establish Use for 1st and 2nd Floor - First Floor Office Second Floor Residential Dwelling unit	Permit Fee: \$1,795.00	Cost of Work: \$170,000.00	CEO District: 1
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>2 hrs separation 6.1.14.4</i>	INSPECTION: Use Group: <i>R3/B</i> Type: <i>3B</i> <i>1/16/07</i>
Signature: <i>Craig Cass</i>	Signature: <i>[Handwritten Signature]</i>

Proposed Project Description:
Renovations to first and second floor-Establish Use for 1st and 2nd Floor - First Floor Office -Second Floor Residential Dwelling unit

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Denied	
Signature:	Date:	

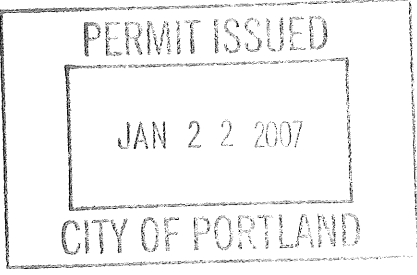
Permit Taken By: Idobson	Date Applied For: 12/27/2006	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland
<input type="checkbox"/> Wetland
<input type="checkbox"/> Flood Zone
<input type="checkbox"/> Subdivision
<input type="checkbox"/> Site Plan
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>
Date: <i>12/28/06</i> <i>AM</i>

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied
Date:

Historic Preservation
<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied
Date: <i>AM</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

3/01/07 - checked underground plumbers on
slab - test on pressure OK - OK to pour
Cement. JPM

5/17/07

close - in a way

forming okay

MUST CHECK continuity to 3rd

Floor (NOT installed) rise/run

~~MM~~

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1826	Date Applied For: 12/27/2006	CBL: 039 F023001
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Location of Construction: 35 PLEASANT ST	Owner Name: Richard Renner	Owner Address: 105 Spruce Street	Phone: 207-773-9699
Business Name:	Contractor Name: Richard Renner Architects	Contractor Address: 61 Pleasant St Portland	Phone: (207) 443-9699
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: First Floor Office (professional) second Floor Dwelling - Renovations to first and second floor-Establish Use for 1st and 2nd Floor - First Floor Professional Office Second Floor Residential Dwelling unit	Proposed Project Description: Renovations to first and second floor-Establish Use for 1st and 2nd Floor - First Floor Office -Second Floor Residential Dwelling unit
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/28/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) With the issuance of this permit and the certificate of occupancy this property will be a professional office on the first floor and one dwelling unit on the second floor. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 01/17/2007

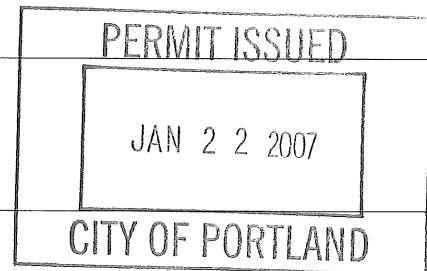
Note: **Ok to Issue:**

- 1) 2. Structural details and fire rating with UL listing of the existing vertical wall that separates the high space at the office entry from the apartment must be provided for approval prior to construction. This wall must have a 2-hour rating.
- 2) 3. A fire separation assembly penetration plan demonstrating compliance with Section 712 of the 2003 IBC Must be provided and approved prior to construction .
- 3) 4. A detail showing the typical stair nosing in the office must be provided. The nosings must comply with Section 1009.3.2 of the 2003 IBC
- 4) 5. A limited special inspections statement is required for Steel reinforcement in the project. This must be provided prior to construction.
- 5) 6. Required Guards for the Business Use Group must be 42" in height with openings less than 4", with graspable rails from 34" to 38" within both sides of the guards"
- 6) 1. Structural details of the entry floor above the existing ramp at the lower level must be provided for approval prior to construction.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 01/02/2007

Note: **Ok to Issue:**

- 1) 2 Hour separation between Apartment and Business NFPA 101 6.1.14.4
- 2) Size of project requires structure to meet NEW provisions of NFPA 101

**Comments:**

1/10/2007-ldobson: From MJN The following are issues that need to be addressed:

- 1) Stair risers are not specified, they are implied with the note to verify in field. We need a commitment that they will not exceed 7" in the commercial space.
- 2) The nosings shown on the commercial Stairs are not allowed (see Section 1009.3.2)

Location of Construction: 35 PLEASANT ST	Owner Name: Richard Renner	Owner Address: 105 Spruce Street	Phone: 207-773-9699
Business Name:	Contractor Name: Richard Renner Architects	Contractor Address: 61 Pleasant St Portland	Phone (207) 443-9699
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

- 3) How will the roof be used, also would like to discuss the ladder access.
4) Need more construction details.
5) Have questions about the continuity in the 2 hour fire separation.

1/12/2007-ldobson: Meeting On Tuesday w/ Owner MJN



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 PLEASANT ST., PORTLAND ME 04101</u>		
Total Square Footage of Proposed Structure <u>3,000 SF EXISTING</u>	Square Footage of Lot <u>2,096 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>39</u> Block# <u>F</u> Lot# <u>23</u> <u>PART OF</u> <u>21-24</u>	Owner: <u>RICHARD BENNER</u>	Telephone: <u>207-773-9699</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>RICHARD BENNER</u> <u>105 SPRUCE ST.</u> <u>PORTLAND ME 04102</u> <u>207-773-9699</u>	Cost Of Work: \$ <u>170,000</u> Fee: \$ <u>1795</u> C of O Fee: \$ <u>75</u>
Current Specific use: <u>VACANT</u> If vacant, what was the previous use? <u>DWELLING UNIT + STORE</u> Proposed Specific use: <u>DWELLING UNIT + OFFICE</u> Project description: <u>Change of Use (Est. Use)</u> <u>RENOVATION TO UPGRADE EXISTING DWELLING UNIT</u> <u>AND CONVERT STORE TO OFFICE</u> <u>office 1st floor Renovation to apartment 2nd flr</u>		
Contractor's name, address & telephone: <u>RICHARD BENNER ARCHITECTS, 61 PLEASANT ST., SUITE 105, PORTLAND, ME 04101 773-9699</u> Who should we contact when the permit is ready: <u>RICHARD BENNER</u> Mailing address: _____ Phone: <u>207-773-9699</u>		

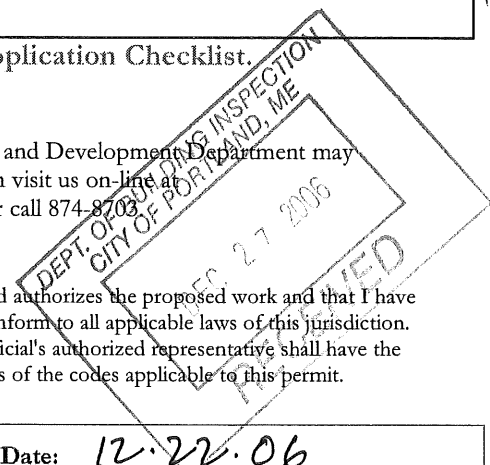
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Richard K. R.</u>	Date: <u>12.22.06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X [Signature] _____
Signature of Applicant/Designee Date
Donna Martin Admin _____
Signature of Inspections Official Date

CBL: 39 E 023 Building Permit #: 06-1826

Richard Renner | Architects

61 Pleasant Street
Suite 105
Portland, ME 04101
207.773.9699
207.773.9599 fax

133 South Main St.
Sherborn, MA
01770
508.651.2385
508.651.0911 fax

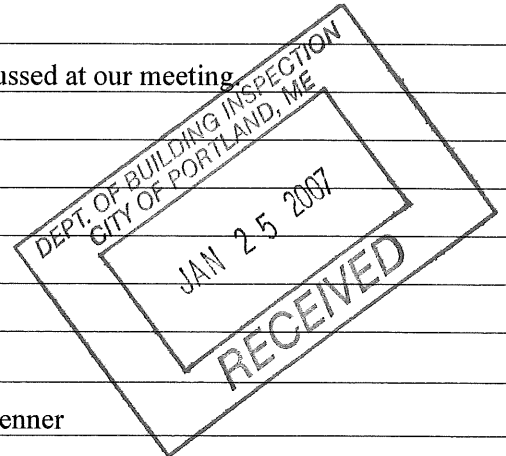
Transmittal to Jeanie Bourke and/or Mike Nugent **Date:** January 25, 2007
Inspection Services Division **Job No:** 2006-08.00
City of Portland **Re:** Permit follow-up
Room 315, 389 Congress Street
Portland, ME 04101

Item Attached Hand Delivered Under Separate Cover Via:
 Shop Drawings Prints Samples
 Copy of Letter Change Order Other

Copies	Date	No.	Description
1	1/25/07	FR-1	Fire Rating Details for 35 Pleasant Street
1	1/24/07		Statement of Special Inspections for 35 Pleasant Street

Purpose For Your Approval No Exception Taken Rejected
 For Your Use Make corrections noted Review and comment
 As Requested Revise and Resubmit Other Purpose

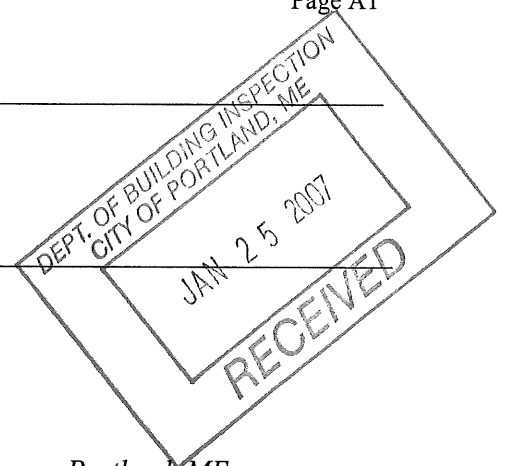
Remarks Jeanie and Mike,
The enclosed information addresses the outstanding items we discussed at our meeting.
35 Pleasant
397 23



Copy to Signed Richard Renner

Statement of Special Inspections - Exhibit A

Project: 35 Pleasant St.
Location: Portland, Maine
Owner: Richard Renner



This Statement of Special Inspections encompass the following discipline:

- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: _____

Design Professional in Responsible Charge: Paul Becker

Firm Name: Becker Structural Engineers, Portland, ME

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

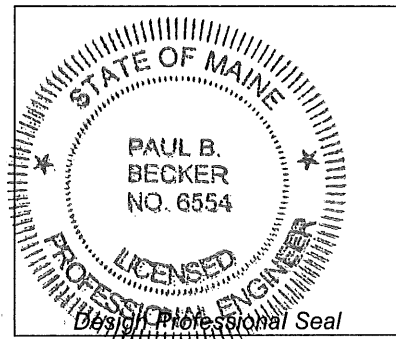
Prepared by:

Paul Becker

(type or print name of the Structural Registered Design Professional in Responsible Charge)

Paul Becker
Signature

1.24.07
Date



Owner's Authorization:

Building Code Official's Acceptance:

Richard K. Renner 1.25.07
Signature Date
RICHARD K. RENNENR

Signature Date

Statement of Special Inspections (Continued) - Exhibit A

List of Agents

Project: 35 Pleasant St.

Location: Portland, Maine

Owner: Richard Renner

This Statement of Special Inspections encompass the following discipline:

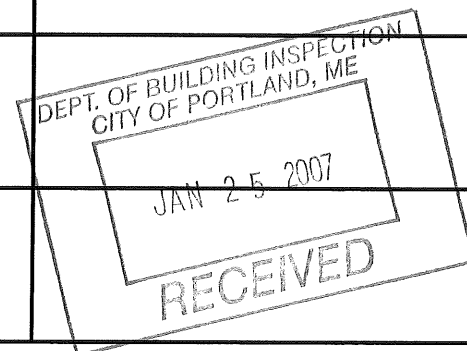
- Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Cold-Formed Steel Framing |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Wood Construction | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Structural Special Inspection Coordinator (SSIC)	Becker Structural Engineers (BSE)	75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com
2. Special Inspector (SI 1)	Becker Structural Engineers (BSE)	75 York Street Portland, ME 04107 (207) 879-1838 info@beckerstructural.com
3. Special Inspector (SI 2)		
4. Testing Agency (TA 1)	Quality Assurance Labs, Inc	80 Pleasant St. South Portland, ME 04108 (207) 799-8911
5. Testing Agency (TA 2)		
6. Other (O1)		



Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Statement of Special Inspections (Continued) - Exhibit A

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: 35 Pleasant St.
Location: Portland, Maine
Owner: Richard Renner
Owner's Address: 61 Pleasant St. Suite 105
Portland, Maine 04101

Architect of Record: Richard Renner (name) Richard Renner Architects (firm)

Structural Registered Design Professional in Responsible Charge: Paul Becker (name) Becker Structural Engineers (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the Statement of Special Inspections submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

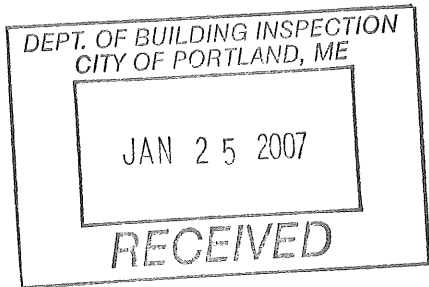
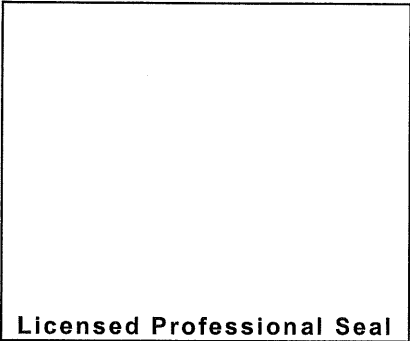
Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Structural Special Inspection Coordinator

Paul Becker
(Type or print name)

(Firm Name)

Signature Date



Schedule of Special Inspections - Exhibit B

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

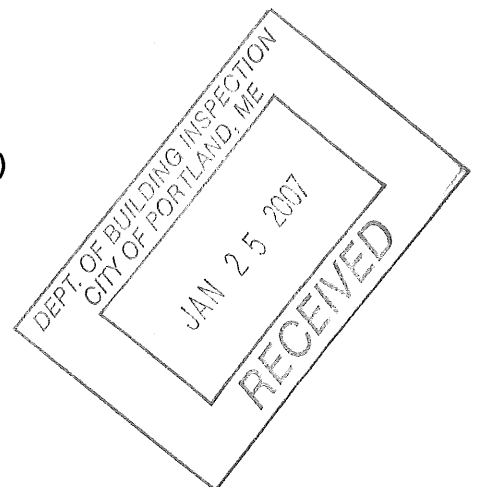
National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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Other



Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: 35 Pleasant St., Portland, ME

Date Prepared: 01/24/2007

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
1. Material verification of high-strength bolts, nuts and washers:							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	N	S	Applicable ASTM material specifications; AISC 335, Section A3.4; AISC LRFD, Section A3.3	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	N	S		SII	PE/SE or EIT		
2. Inspection of high-strength bolting							
a. Bearing-type connections.	N	P	AISC LRFD Section M2.5	TL	AWS/AISC-SSI		
b. Slip-critical connections.	N	C or P (method dependent)	IBC Sect 1704.3.3	TL	AWS/AISC-SSI		
3. Material verification of structural steel (IBC Sect 1708.4):							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
b. Manufacturers' certified mill test reports.	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
4. Material verification of weld filler materials:							
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	S	AISC, ASD, Section A3.6; AISC LRFD, Section A3.5	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector _____

Date _____

Schedule of Special Inspections – Exhibit B

STEEL CONSTRUCTION

Project: 35 Pleasant St., Portland, ME

Date Prepared: 01/24/2007

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
IBC Section 1704.3							
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	SII	PE/SE or EIT		
6. Inspection of welding (IBC 1704.3.1): a. Structural steel:							
1) Complete and partial penetration groove welds.	N	C	AWS D1.1	TA1	AWS-CWI		
2) Multipass fillet welds.	N	C		TA1	AWS-CWI		
3) Single-pass fillet welds > 5/16"	N	C		TA1	AWS-CWI		
4) Single-pass fillet welds < 5/16"	N	P		TA1	AWS-CWI		
5) Floor and Roof deck welds.	N	P	AWS D1.3	TA1	AWS-CWI		
b. Reinforcing steel (IBC Sect 1903.5.2):							
1) Verification of weldability of reinforcing steel other than ASTM A706.	N		Welding of Reinforcement not permitted	N/A			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement.	N	C	AWS D1.4 ACI 318: 3.5.2	TA1	AWS-CWI		
3) Shear reinforcement.	N	C		TA1	AWS-CWI		
4) Other reinforcing steel.	N	P		TA1	AWS-CWI		
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:							
a. Details such as bracing and stiffening.	N	P		SII	PE/SE or EIT		
b. Member locations.	N	P		SII	PE/SE or EIT		
c. Application of joint details at each connection.	N	P		SII	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector _____ Date _____

FROM DESIGNER: RICHARD RENNER ARCHITECTS
 DATE: 12/27/06
 Job Name: 35 PLEASANT STREET
 Address of Construction: 35 PLEASANT ST. PORTLAND ME 04101

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) B/R-3
 Type of Construction III B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO
 Is the Structure mixed use? YES if yes, separated or non separated (see Section 302.3) SEPARATED
 Supervisory alarm system? NO Geotechnical/Soils report required? (See Section 1802.2) NO

STRUCTURAL DESIGN CALCULATIONS		<u>NO</u>	Live load reduction (1603.1.1, 1607.9, 1607.10)
<u>COMPLETED</u>	Submitted for all structural members (108.1, 108.1.1)	<u>40 PSF</u>	Roof live loads (1603.1.2, 1607.11)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)		<u>60</u>	Roof snow loads (7603.7.3, 1608)
Uniformly distributed floor live loads (7603.11, 1607)		<u>46</u>	Ground snow load, P_g (1608.2)
Floor Area Use	Loads Shown	<u>1.0</u>	If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
<u>RESIDENTIAL</u>	<u>40 PSF</u>	<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
<u>BUSINESS</u>	<u>50 PSF</u>	<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
		<u>1.1</u>	Roof thermal factor, C_t (Table 1608.3.2)
		<u>NA</u>	Sloped roof snowload, P_s (1608.4)
Wind loads (1603.1.4, 1609)			Seismic design category (1616.9)
<u>SIMPLIFIED</u>	Design option utilized (1609.1.1, 1609.6)		Basic seismic-force-resisting system (Table 1617.8.2)
<u>100</u>	Basic wind speed (1609.3)		Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.8.2)
<u>1.0</u>	Building category and wind importance factor, I_w (Table 1604.5, 1609.5)		Analysis procedure (1616.6, 1617.5)
<u>B</u>	Wind exposure category (1609.4)		Design base shear (1617.4, 1617.8.1)
<u>± 0.18</u>	Internal pressure coefficient (ASCE 7)		
<u>-18.7 PSF</u>	Component and cladding pressures (1609.1.1, 1609.6.2.2)		
<u>15.9, 10.5 PSF</u>	Main force wind pressures (7603.1.1, 1609.6.2.1)		
Earthquake design data (1603.1.5, 1614-1623)			Flood loads (1603.1.6, 1612)
<u>NA</u>	Design option utilized (1614.1)		<u>NA</u> Floodhazard area (1612.3)
	Seismic use group ("Category") (Table 1604.5, 1616.2)		<u>NA</u> Elevation of structure
	Spectral response coefficients, S_{DS} & S_{D1} (1615.1)		Other loads
	Site class (1615.1.5)		<u>NA</u> Concentrated loads (1607.4)
			Partition loads (1607.5)
			Impact loads (1607.8)
			Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: RICHARD RENNER ARCHITECTS

Address of Project: 35 PLEASANT STREET

Nature of Project: INTERIOR RENOVATION AND EXTERIOR
REPAIR TO CREATE NEW OFFICE AND
RESIDENTIAL SPACE.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: 

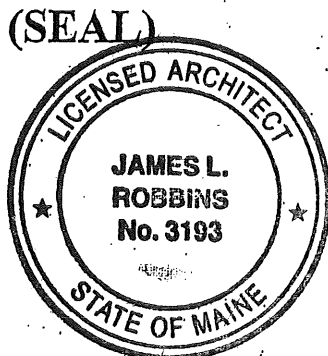
Title: ARCHITECT

Firm: RICHARD RENNER ARCHITECTS

Address: 61 PLEASANT ST.

PORTLAND, ME 04101

Phone: 207-773-9699



NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.

Richard Renner | Architects

61 Pleasant Street
Suite 105
Portland ME 04101
207.773.9699
207.773.9599 *fax*

133 South Main Street
Sherborn MA 01770
508.651.2385
508.651.0911 *fax*

Fax Cover Sheet

To: Department of Inspections, City of Portland

Project: 35 Pleasant Street

Project No.: 2006-08.00

Fax No.: 207-874-8716

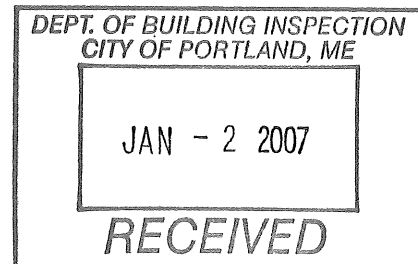
Voice No.:

Date/Time: 1/2/2007
10:37:06 AM

From: Richard Renner

Regarding: Copy of 35 Pleasant Street deed and Purchase-Sale Agreement for Building Permit Application, 35 Pleasant Street renovations

This fax contains 7 page(s), including the cover page.



Copy to:

Fax No. 207-874-8716

QUITCLAIM DEED WITH COVENANT
(Statutory Short Form)

KNOW ALL BY THESE PRESENTS, that J.B. BROWN & SONS, a Maine corporation of Portland, County of Cumberland and State of Maine ("Grantor"), for full value and consideration paid, hereby grants to RICHARD K. RENNER, of 61 Pleasant Street, Suite 105, Portland, Maine 04101 ("Grantee") with QUITCLAIM COVENANT, the land with the buildings and improvements situated thereon located in the City of Portland, County of Cumberland and State of Maine, and described as follows:

A certain parcel of land situated on the northerly side of Pleasant Street as shown on a plan entitled "Boundary Survey on Pleasant Street and South Street Portland, Maine made for J. B. Brown & Sons" dated July 27, 2006 and revised through September 18, 2006 by Owen Haskell, Inc. (the "Plan"), in the City of Portland, County of Cumberland, State of Maine being bounded and described as follows:

Beginning on the northerly sideline of Pleasant Street at the intersection with the westerly sideline of South Street;

Thence S 70° 22' 00" W along said sideline of Pleasant Street a distance of 25 feet, more or less, to the center of the common wall of the 3 story brick building on the lot adjacent to the west and the building on the lot being hereby conveyed;

Thence in a generally northerly and westerly direction following said centerline to its intersection with the westerly face of the exterior brick wall of the brick building on the lot being conveyed;

Thence continuing northerly along said exterior brick wall of the brick building on the lot being conveyed a distance of 9.3 feet, more or less, to the northwesterly corner of said brick building;

Thence S 67° 11' 45" W a distance of 2.56 feet;

Thence N 28° 56' 00" W a distance of 27.75 feet;

Thence N 62° 21' 44" E a distance of 21.01 feet to said westerly sideline of South Street;

Thence S 28° 56' 00" E along said sideline a distance of 97.54 feet to the point of beginning.

TOGETHER WITH the right and easement to access, maintain and repair the building or structure currently located on the above-described parcel, in its present existing location, and for such express purposes only, such easement to be a width of five (5) feet, and to be located directly abutting the aforementioned structure running from the northwesterly corner of the building, along the common wall boundary line described above to the northeasterly corner of the building situated adjacent to the building hereby conveyed, meaning to describe the location

noted on the above described Plan as "Building Maintenance Easement Area". The foregoing access and maintenance easement is given subject to the following limitations:

- (a) Grantee will give proper written notice to Grantor of Grantee's intent to use the easement, which notice shall include the nature of the intended use and the estimated length of time the intended use will take;
- (b) Use of the access and maintenance easement shall (except in the event of an emergency) be restricted to weekdays during the hours of 8:00 a.m. to 5:00 p.m. with no use on weekend days or holidays;
- (c) All work done on, or other use made of the said easement, shall be in accordance with all federal, state and local laws, with all applicable permits and approvals having been obtained by Grantee in advance of any such work;
- (d) All work done on, or other use made of the easement, shall be by competent licensed and bondable professionals, provided however, that minor tasks such as cleaning and window washing need not be performed by bondable professionals;
- (e) All work done, or other use made of the easement, shall be in a safe manner and in such a manner as not to pose a health or safety risk to Grantee and Grantor, and their respective invitees, licensees, guests and the like;
- (f) Any and all destruction of or disturbance of the Grantee's property shall be replaced or restored to its original condition at the sole cost of Grantee;
- (g) Grantee will be liable for all damages or other liabilities or claims resulting from the use of the easement by Grantee or its agents, licensees, invitees or employees, and in furtherance, but not in limitation, thereof, Grantee agrees to indemnify and hold harmless the Grantor for any liability, claim, damage, loss or cost, including reasonable attorneys' fees, arising out of the exercise of such Grantee's easement and access rights described above;
- (h) Any materials used or debris generated by Grantee, its agents, licensees, invitees or employees on the easement area will be cleaned and removed no less frequently than daily, except for any staging or similarly constructed apparatus used in the proper exercise of Grantee's right under the easement herein granted, provided that any staging or related structure is removed after the Grantee's use (which was noticed to Grantors as described in paragraph (a) above) is completed;
- (i) The Grantor shall not be liable to the Grantee for any cost or expense relating to or arising from the easement and access rights described above or its use.

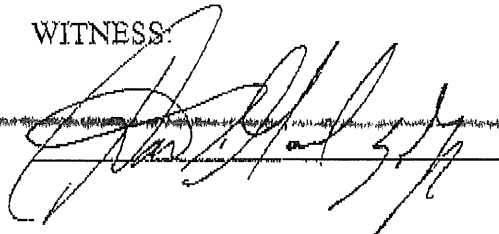
The above-described premises are also conveyed subject to that certain Party Wall Agreement dated of near or even date to be recorded herewith, and the easements, rights, benefits and terms thereof.

The above-described premises are also conveyed subject to the encroachments of the existing building into the brick sidewalk area as shown on the Plan.

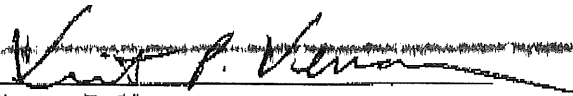
This conveyance is made subject to all utility easements which serve the premises, zoning and building restrictions, other easements, obligations, conditions and restrictions described above and of record to which the Grantee, by acceptance of this deed, hereby agrees, and real estate taxes which the Grantee, by acceptance of this deed, assumes and agrees to pay. All terms, conditions, covenants and restrictions described above shall be covenants running with the land.

IN WITNESS WHEREOF, J.B. Brown & Sons has caused this instrument to be duly executed this 22nd day of September, 2006.

WITNESS:



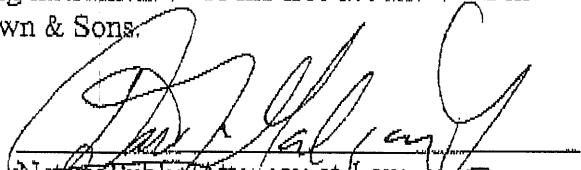
J.B. BROWN & SONS

By: 
Vincent P. Veroneau
Its President

STATE OF MAINE
COUNTY OF CUMBERLAND

September 22, 2006

Then personally appeared before me the above-named Vincent P. Veroneau, President of J.B. Brown & Sons, and acknowledged the foregoing instrument to be his free act and deed in said capacity, and the free act and deed of J. B. Brown & Sons.


Notary Public/Attorney-at-Law
Print Name: David L. Galgay Jr
My Commission Expires: _____

CONTRACT FOR THE SALE OF COMMERCIAL REAL ESTATE

RECEIVED from Richard K. Renner, whose mailing address is 61 Pleasant St, Suite 105 (hereinafter called "Purchaser"), this 12th day of May, 2006, the sum of Ten Thousand Dollars (\$10,000.00) as earnest money deposit toward purchase of real estate located at 35 Pleasant St in the city/town of Portland, Maine, described as follows: 3,032 +/- SE building on .033 acres and a to be later determined piece of land in back of 35 Pleasant St big enough for three code complaint parking spaces and being more fully described at said County's Registry of Deeds in Book 2188, Page 137, upon the terms and conditions indicated below.

- 1. PERSONAL PROPERTY: The following items of personal property are included in this sale (if applicable) n/a
2. PURCHASE PRICE: The total Purchase Price is Three Hundred Fifteen Thousand Dollars (\$315,000.00), with payment to be made as follows:

Earnest money deposit, in the form of a check, received on this date: May 12, 2006 \$10,000.00
Other:
Other:
Balance due at closing, in cash or certified funds: \$305,000.00

- 3. EARNEST MONEY/ACCEPTANCE: Malone Commercial Brokers ("Escrow Agent") shall hold the earnest money in a non-interest bearing account (no interest) and act as escrow agent until closing; this offer shall be valid until May 18, 2006 at 5:00 (AM PM). Upon acceptance of this offer, the earnest money (and all additional earnest deposits) will be deposited within three (3) business days of receipt. In the event of Seller's non-acceptance of this offer, the earnest money shall be returned promptly to Purchaser.
4. TITLE: That a deed, conveying the premises in fee simple with good and marketable title in accordance with Standards of Title adopted by the Maine Bar Association shall be delivered to Purchaser and this transaction shall be closed and Purchaser shall pay the Purchase Price as provided herein and execute all necessary papers for the completion of the purchase on or before July 27, 2006. If Seller is unable to convey title to the premises in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days from the time Seller receives written notice of the defect, unless otherwise agreed to by both parties, to remedy the title, after which time, if such defect is not corrected so that there is marketable title, Purchaser may within Thirty days thereafter, at Purchaser's option, withdraw said earnest money and neither party shall be under any further obligation hereunder. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

DEED: That the property shall be conveyed by a quit claim with covenant deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record and usual public utilities servicing the premises and shall be subject to applicable land use and building laws and regulations.

- 6. LEASES/TENANT SECURITY DEPOSITS: Seller agrees at closing to transfer to Purchaser, by proper assignment thereof, all Seller's rights under the current leases to the property and any and all security deposits held by Seller pursuant to said leases.
7. POSSESSION/OCCUPANCY: Possession/occupancy of premises shall be given to Purchaser immediately at closing unless otherwise agreed by both parties in writing.
8. RISK OF LOSS: Until transfer of title, the risk of loss or damage to said premises by fire or otherwise is assumed by Seller unless otherwise agreed in writing. Said premises shall at closing be in substantially the same condition as at present, excepting reasonable use and wear.
9. PRORATIONS: The following items shall be prorated as of the date of closing:
a. Real Estate Taxes based on the municipality's tax year. Seller is responsible for any unpaid taxes for prior years.
b. Fuel
c. Metered utilities, such as water and sewer, shall be paid by the Seller through the date of closing.
d. Purchaser and Seller shall each pay one-half of the transfer tax as required by the laws of the State of Maine.
e.

10. INSPECTIONS: Purchaser is advised to seek information from professionals regarding any specific issue of concern. Purchaser acknowledges receipt of disclosure form attached hereto. The Selling Agent and Listing Agent make no warranties regarding the condition, permitted use or value of Seller's real or personal property. This Contract is subject to the following inspections, with the results being satisfactory to Purchaser:

TYPE OF INSPECTION	YES	NO	RESULTS REPORTED	TYPE OF INSPECTION	YES	NO	RESULTS REPORTED
a. General Building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within 30 days	g. Lead Paint	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days
b. Sewage Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within 30 days	h. Pests	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days
c. Water Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days	i. ADA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days
d. Radon Air Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within 30 days	j. Wetlands	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days
e. Radon Water Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days	k. Environmental Scan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within 30 days
f. Asbestos Air Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days	l. Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Within 0 days

The use of days is intended to mean from the Effective Date of the Contract. All inspections will be done by inspectors chosen and paid for by Purchaser. If the result of any inspection or other condition specified herein is unsatisfactory to Purchaser, Purchaser may declare the Contract null and void by notifying Seller in writing within the specified number of days set forth above, and said earnest money shall be returned to Purchaser. If Purchaser does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Purchaser. In the absence of inspection(s) mentioned above, Purchaser is relying completely upon Purchaser's own opinion as to the condition of the premises.

13. AGENCY DISCLOSURE: Purchaser and Seller acknowledge that they have been informed that Peter Harrington/Malone Commercial Brokers ("Selling Agent") is acting as a Purchaser's agent in this transaction and is representing the Purchaser and that n/a ("Listing Agent") is acting as a Seller's agent in this transaction and is representing the Seller (both Selling Agent and Listing Agent are hereinafter called "Brokers")

14. DEFAULT: If Purchaser fails to perform any of the terms of this Contract, Seller shall ~~have the option of either retaining the earnest money as full and complete liquidated damages or employing all available legal and equitable remedies.~~ Should Seller elect to retain the earnest money, and this Contract shall terminate and neither party shall be under any further obligation hereunder. In the event of default by either party, the Escrow Agent shall not return the earnest money to Purchaser or Seller without written releases from both parties. If a dispute arises between Purchaser and Seller as to the existence of a default hereunder and said dispute is not resolved by the parties within thirty (30) days, Escrow Agent shall file an action in interpleader and deposit the earnest money in the court to resolve said dispute. Purchaser and Seller, jointly and severally, shall indemnify Escrow Agent for all costs, losses, expenses, and damages, including reasonable attorneys' fees, incurred by Escrow Agent in connection with said dispute.

15. MEDIATION: Any dispute or claim arising out of or relating to this Contract or the premises addressed in this Contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the American Arbitration Association. ~~This clause shall survive the closing of this transaction.~~

PRIOR STATEMENTS: This Contract sets forth the entire agreement between the parties, and there are no other representations, agreements or understandings with respect to the subject matter of this Contract. This Contract shall be construed according to the laws of the State of Maine.

- 17. HEIRS/ASSIGNS: This Contract shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the respective parties.
- 18. COUNTERPARTS: This Contract may be signed on any number of identical counterparts, including telefax copies, with the same binding effect as if all of the signatures were on one instrument.
- 19. EFFECTIVE DATE: This Contract is a binding contract when signed by both Seller and Purchaser and when that fact has been communicated to all parties or to their agents. Time is of the essence of this Contract.
- 20. Seller and Purchaser acknowledge receipt of the Maine Real Estate Commission Disclosure of Agency Relationship Form (Form 2).
- 21. ADDENDA: This contract has addenda containing additional terms and conditions: Yes No
- 22. EXTENSION: Seller and Purchaser agree to extend the following date(s) set forth in this Contract to the new dates shown:

Date for _____, changed from _____ To _____, 20__

Date for _____, changed from _____ To _____, 20__

Date for _____, changed from _____ To _____, 20__

Handwritten initials: JAV

23. The parties agree that none of the above are collateral agreements. It is the intent of the parties that except as expressly set forth in this Contract, all covenants, representations, statements and obligations of both parties herein shall not survive closing.

A COPY OF THIS CONTRACT IS TO BE RECEIVED BY ALL PARTIES AND, BY SIGNATURE, RECEIPT OF A COPY IS HEREBY ACKNOWLEDGED. IF NOT FULLY UNDERSTOOD, CONSULT AN ATTORNEY.

Seller acknowledges that the laws of the State of Maine provide that every buyer of real property located in Maine must withhold a withholding tax equal to 2½% of the consideration unless Seller furnishes to Purchaser a certificate by the Seller stating, under penalty of perjury, that Seller is a resident of Maine or the transfer is otherwise exempt from withholding.

RICHARD K. BENNETT

Legal Name of Purchaser

Richard K. Bennett

Signature

097-38-8486

Social Security # or Tax I.D. #

Name/Title, there unto duly authorized

Seller accepts Purchaser's offer and agrees to deliver the premises at the price and upon the terms and conditions set forth above and agrees to pay the Brokers the commission for services according to the terms of the listing agreement or if there is no listing agreement, the sum of _____. In the event the earnest money is forfeited by Purchaser, it shall be evenly distributed between (1) Brokers and (2) Seller; provided, however, that the Brokers' portion shall not exceed the full amount of the commission specified.

Signed this _____ day of May, 2006.

J. B. Brown & Sons

Seller

01-0036030

Social Security # or Tax I.D. #

President

Name/Title, there unto duly authorized

Vincent P. Brown

Signature

Name/Title

[Signature]

Escrow Agent

Signature

The Listing Agent is _____ of _____ (Agency)

The Selling Agent is _____ of _____ (Agency)

EFFECTIVE DATE OF CONTRACT: 5/17/06, 2006.

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UAV



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: RICHARD RENNER ARCHITECTS

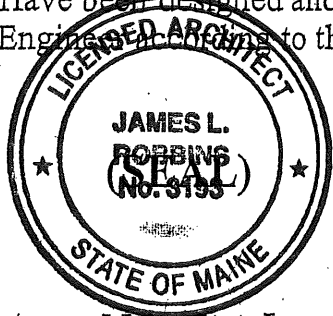
RE: Certificate of Design

DATE: 12/27/06

These plans and/ or specifications covering construction work on:

35 PLEASANT STREET

Have been designed and drawn up by the undersigned, a Maine registered Architect /
Engineer, according to the 2003 International Building Code and local amendments.



As per Maine State Law:

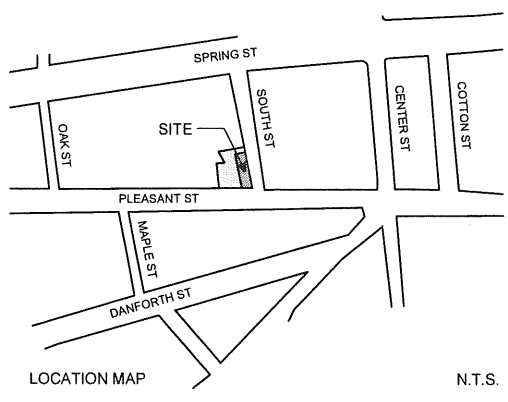
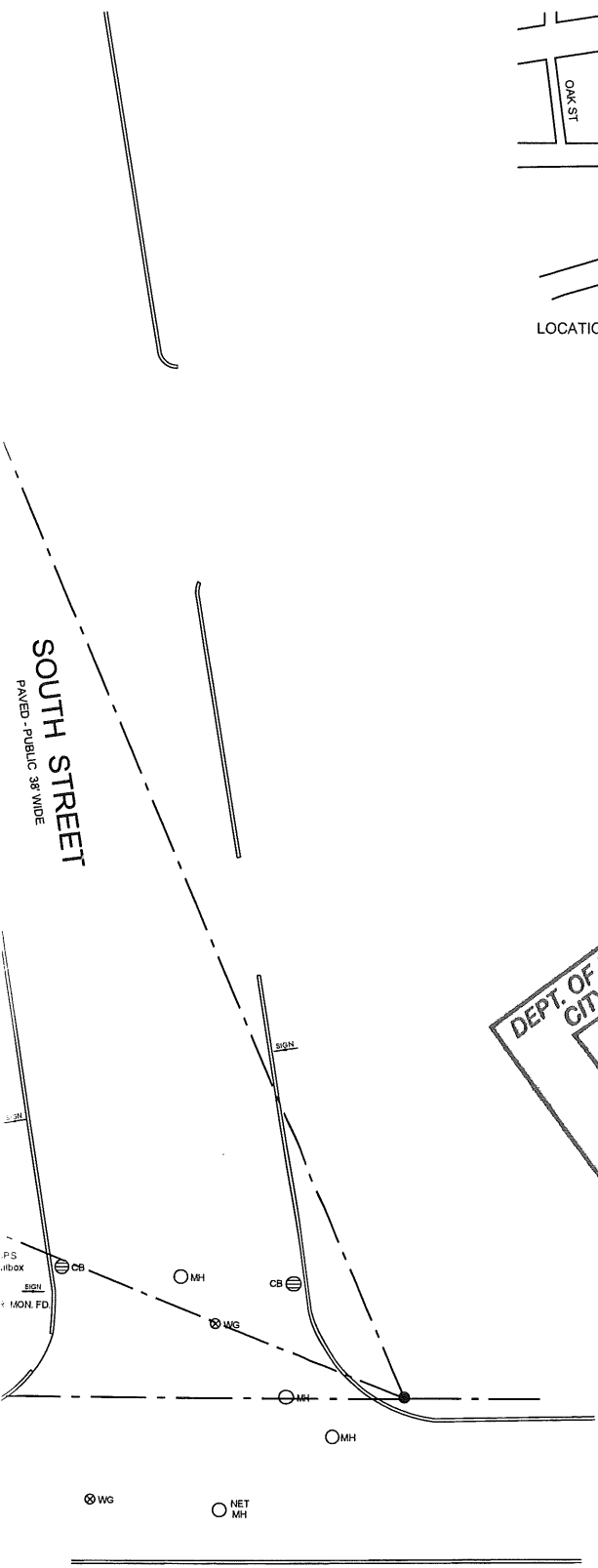
\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: [Handwritten Signature]

Title: ARCHITECT

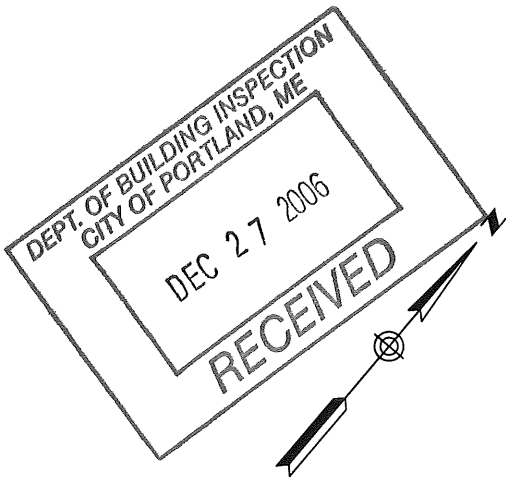
Firm: RICHARD RENNER ARCHITECTS

Address: 61 PLEASANT ST.
PORTLAND, ME 04101



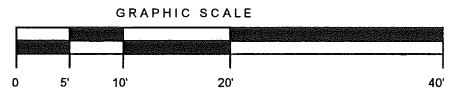
GENERAL NOTES:

- 1- Site Area = 2,096 square feet, 0.048 acre
 Building Footprint Area = 1,497 square feet
 Average Housing Density = 20.78 units per acre [SS6.3]
- 2- Landscaping - Verify Extent With Architect
 - No invasive plant species are to be incorporated into the landscape [SS2.1]
 - Design plantings to minimize landscape water demand. Use native, drought-tolerant plants [SS2.4]
 - Plant four (4) trees or sixteen (16) 5-gallon shrubs to offset built area of site (one tree or four 5-gallon shrubs per 500 sf of site area) [SS4.3]
 - Install landscaping so that all parts of mature plants will be at least 24" from building [SS5]



LEGEND:

- ⊗ GAS VALVE
- ⊙ WATER VALVE
- UTILITY POLE
- MANHOLE
- ⊖ CATCH BASIN
- SIGN SIGN
- DECIDUOUS TREE
- X — FENCE
- - - OVERHEAD WIRES



Richard Renner|Architects
 61 Pleasant Street
 Suite 605
 Portland, ME 04101
 207.773.9699
 207.773.9599 fax

133 South Main Street
 Portland, ME 04179
 508.651.2345
 508.651.0911 fax

Consultants:

**35 Pleasant Street
 Office and Loft Renovation**

35 Pleasant Street
 Portland, Maine

Site Plan

File Name: L1.1 Site Plan
 Project No. 2006-08
 Revised:

Drawn by:
 Scale: 1/8" = 1'-0"
 Date: 10.19.06

L1.1



Maine Department of Environmental Protection
Lead & Asbestos Hazard Prevention Program

17 State House Station, Augusta, Me 04333-0017

Tel: (207) 287-2651 Fax: (207) 287-7826



Building Demolition Notification Form (BDNF)

Important Notice: Maine law requires the filing of this "Building Demolition Notification Form" prior to demolition of any building except a single-family home

1) Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is not required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also not required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. *Demolition* means the tearing down or intentional burning of a building or part of a building.

2) Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

3) Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.state.me.us/dep/rwm/asbestos/index.htm for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that municipalities have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

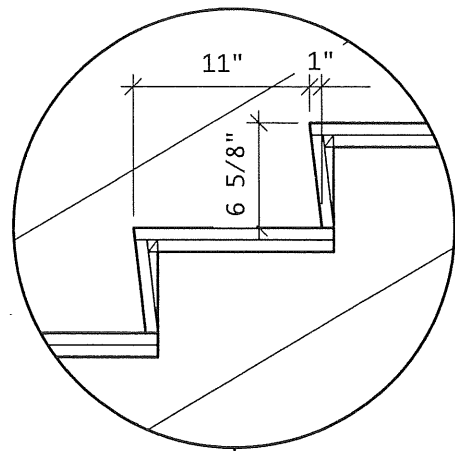
Were asbestos-containing materials found? yes no no inspection or survey required (post-1980 2-4 unit)

property address: 35 PLEASANT STREET PORTLAND, ME 04101	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other: PRE-1981 COMMERCIAL/RESIDENTIAL
asbestos survey performed by: (name & address) ENVIRONMENTAL SAFETY & HYGIENE ASSOCIATES INC. 5 DELTA DRIVE, WESTBROOK, ME 04092	asbestos inspection performed by: (name of licensed Asbestos Consultant) MARK COLEMAN (A1-0088)
telephone: 207-854-2711	telephone: 207-854-2711
property owner: (name & address) RICHARD RENNER 105 SPRUCE ST., PORTLAND ME 04101	demolition contractor: (name & address) ABATEMENT PROFESSIONALS 590 COUNTY RD. SUITE 2 WESTBROOK, ME 04092
telephone: 207-773-9699	telephone: 207-773-1276
demolition start date: 11-27-06	demolition end date: 12-11-06

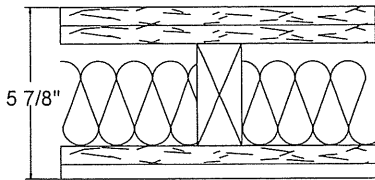
Notification Submitted by: (please print)

Date Submitted

Help save Maine fisheries – Remove and recycle mercury thermostats and fluorescent lamps from your building prior to demolition!



Rise and Run Detail



System Performance

2 HR Fire
UL Design No. U308

Wood Stud Partition

(2) Layers of 5/8" SHEETROCK Brand gypsum sheathing,
Firecode Core, FIBEROCK Brand Panel

2" x 4" Wood Stud 16" o.c.

3" Mineral Wool Batt

(1) Layer of 5/8" SHEETROCK Brand gypsum sheathing,
Firecode Core, FIBEROCK Brand Panel

1/2" DUROCK Brand Cement Board

2 Two Hour Rated Wall

SCALE: N.T.S.

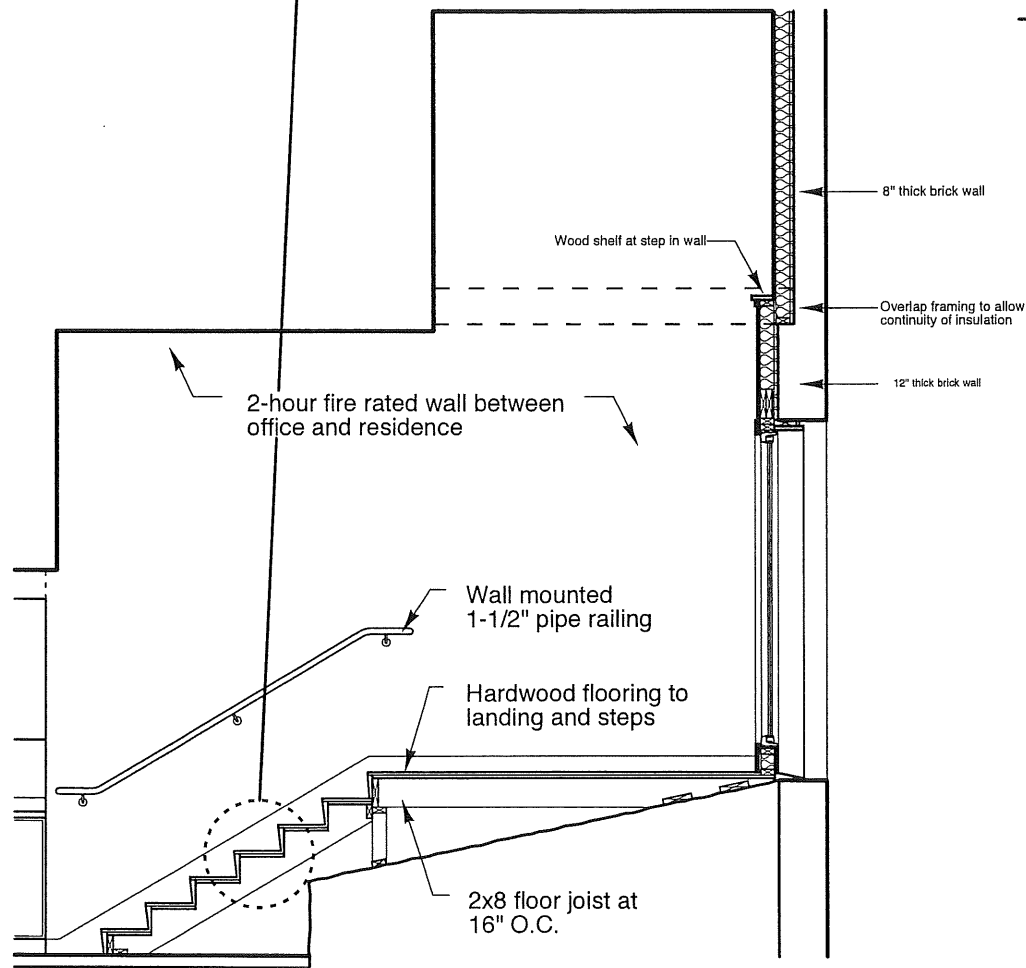
UL Design No. U308

Fire Rating Notes

For the following constructions, provide through-penetration firestop systems that are:

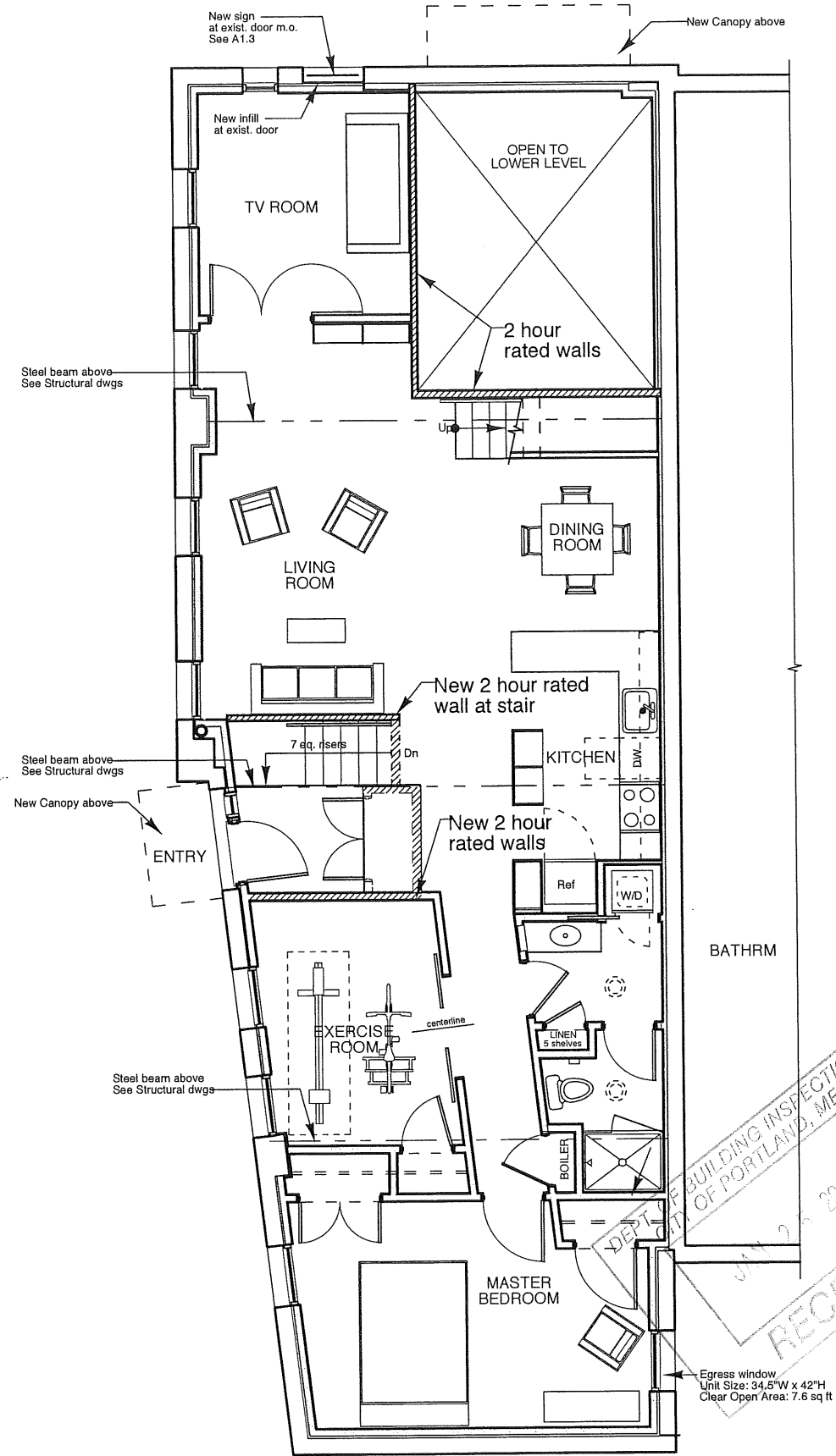
1. Fire-resistance rated floor assemblies.
2. Fire-resistance-rated load-bearing walls, including partitions, with fire-protection-rated openings.
3. Fire-resistance-rated non-load-bearing walls, including partitions, with fire-protection-rated openings.

Provide through-penetration firestop systems with ratings not less than that equaling or exceeding fire-resistance rating of constructions penetrated.



3 Section @ Office Entry

SCALE: 1/4"=1'-0"



1 Upper Floor Plan

SCALE: N.T.S.

Richard Renner Architects

61 Pleasant Street
Suite 105
Portland, Maine 04101
207.773.9699
207.773.9599 fax

35 Pleasant Street, Portland, Maine

Fire Rating Plan, Section and Details

Drawn by: RR File Name:

Scale: 1/4" = 1'-0" Project No. RRA

Date: 01/25/07 Revised:

Office and Loft Renovation

FR-1