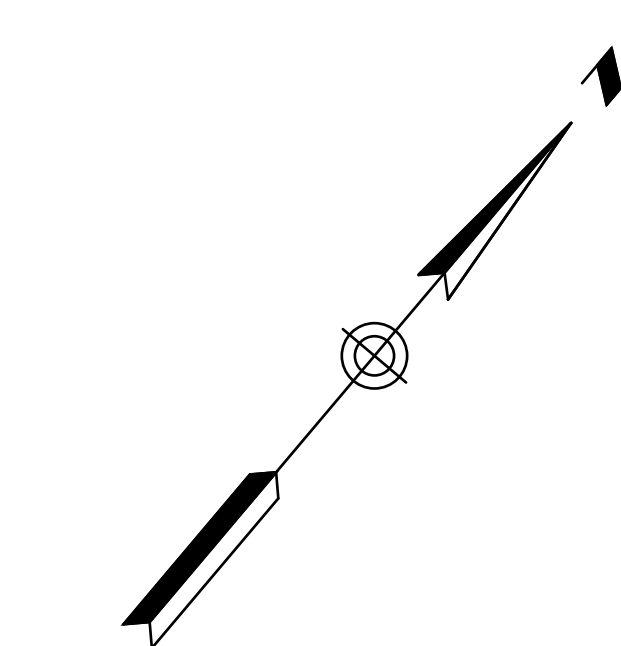


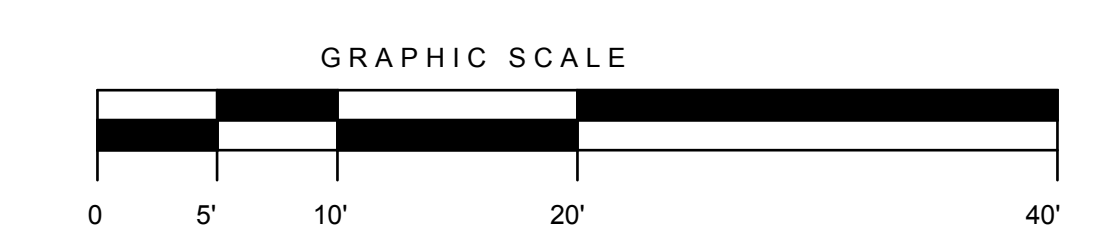
GENERAL NOTES:

- 1- Site Area = 2,096 square feet, 0.048 acre
 Building Footprint Area = 1,497 square feet
 Average Housing Density = 20.78 units per acre [SS6.3]
- 2- Landscaping - Verify Extent With Architect
 - No invasive plant species are to be incorporated into the landscape [SS2.1]
 - Design plantings to minimize landscape water demand. Use native, drought-tolerant plants [SS2.4]
 - Plant four (4) trees or sixteen (16) 5-gallon shrubs to offset built area of site (one tree or four 5-gallon shrubs per 500 sf of site area) [SS4.3]
 - Install landscaping so that all parts of mature plants will be at least 24" from building [SS5]



LEGEND:

	GAS VALVE
	WATER VALVE
	UTILITY POLE
	MANHOLE
	CATCH BASIN
	SIGN
	DECIDUOUS TREE
	FENCE
	OVERHEAD WIRES



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35 Pleasant Street
 Portland, Maine

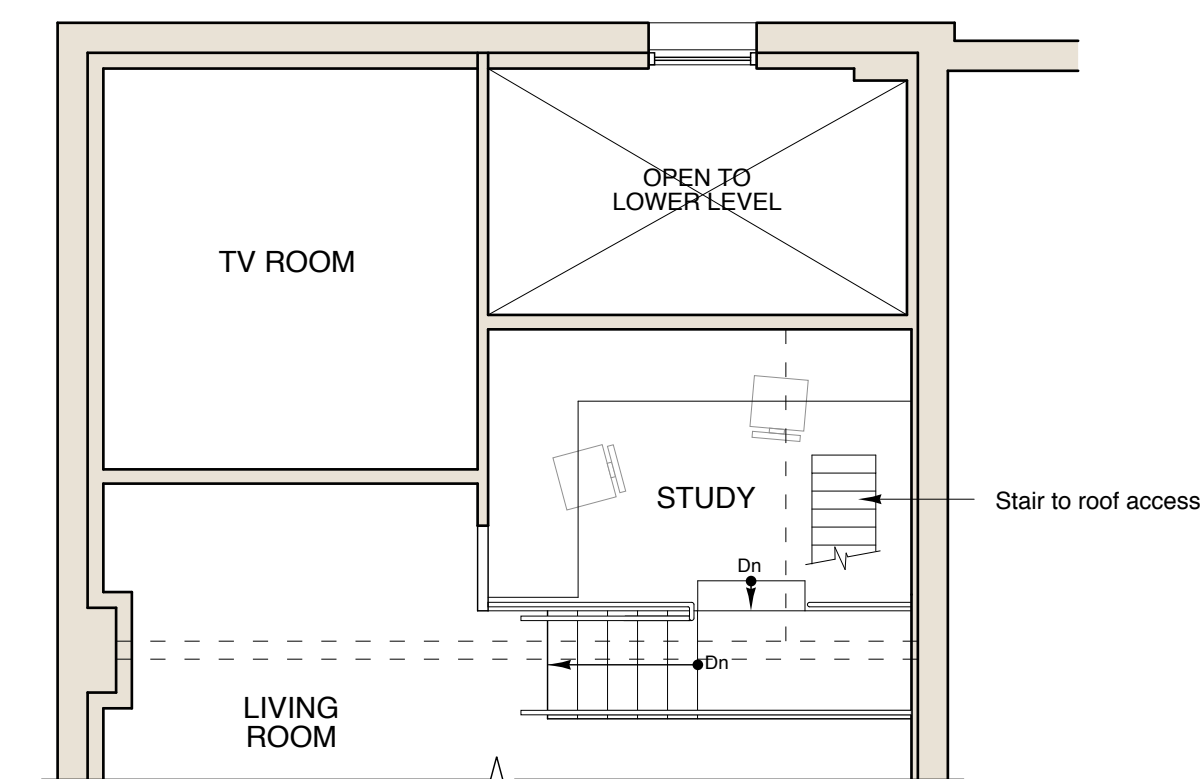
Site Plan

Drawn by: File Name: L1.1 Site Plan
 Scale: 1/8" = 1'-0" Project No. 2006-08
 Date: 10.19.06 Revised:

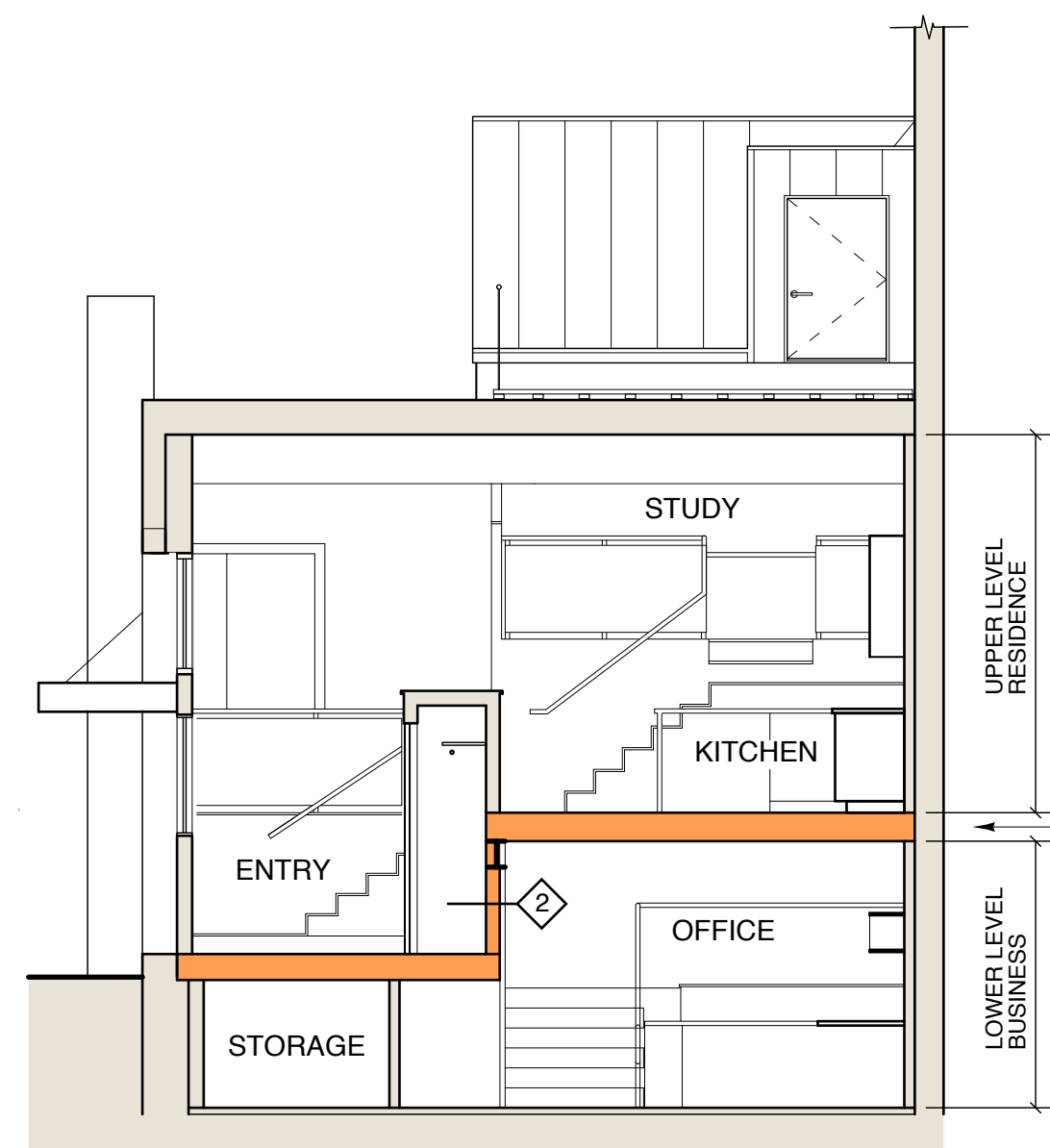
L1.1

Building Code Analysis (IBC 2003, NFPA 101)			
Use and Occupancy Classification Lower Level	Business Group B (304.1), Business (6.1.11)		
Use and Occupancy Classification Upper Level	Residential Group R-3 (310.1), Residential (6.1.8)		
Required Separation of Occupancies	2 hours (Table 302.3.2)		
Construction Type	Type III B (602.3) Exterior walls are of non-combustible material and interior building elements are of any material permitted by code		
1. General Building Information			
	Existing Area	Proposed Area	
Lower Level	1,475 sq ft	1,475 sq ft	
Upper Level	1,475 sq ft	1,475 sq ft	
Total	2,950 sq ft	2,950 sq ft	
	Existing Height	Proposed Height	
Number of Stories Above Grade	1 w/ basement	1 w/ basement	
Building Height	16 ft	26 ft	
2. Allowable Area (Table 503)			
Allowable area per floor	19,000 sq ft		
Allowable height	55 ft		
Allowable number of stories	4		
3. Occupant Load (Table 1004.1.2, Table 7.3.1.2)			
Floor Level	Area per occupant	Area	Occupancy Load
Lower Level - Business	100 sq ft/person	1475 sq ft	15
Upper Level - Residence	200 sq ft/person	1475 sq ft	8
4. Classification of Hazard of Contents			
Contents of business occupancies shall be classified as "Ordinary Hazard" (39.1.5.1)			
5. Minimum Fire Resistance Requirements of Building Elements (Table 601, Table 602)			
Structural Frame	0 hour		
Loadbearing exterior walls	2 hours		
Loadbearing interior walls	0 hour		
Non-loadbearing exterior walls (fire separation distance less than 30 ft.)	1 hour		
Non-loadbearing exterior walls (fire separation distance greater than 30 ft.)	0 hours		
Floor construction	0 hour		
Roof construction	0 hour		
6. Means of Egress Components			
Number of exits provided per floor	1		
Minimum number of exits required per floor	1 (Table 1018.2, Table 1014.1)		
Exit access travel distance (without automatic sprinkler system)	75 ft (Table 1018.2)		
Exit signs are not required in rooms or areas which require only one exit (1011.1)			

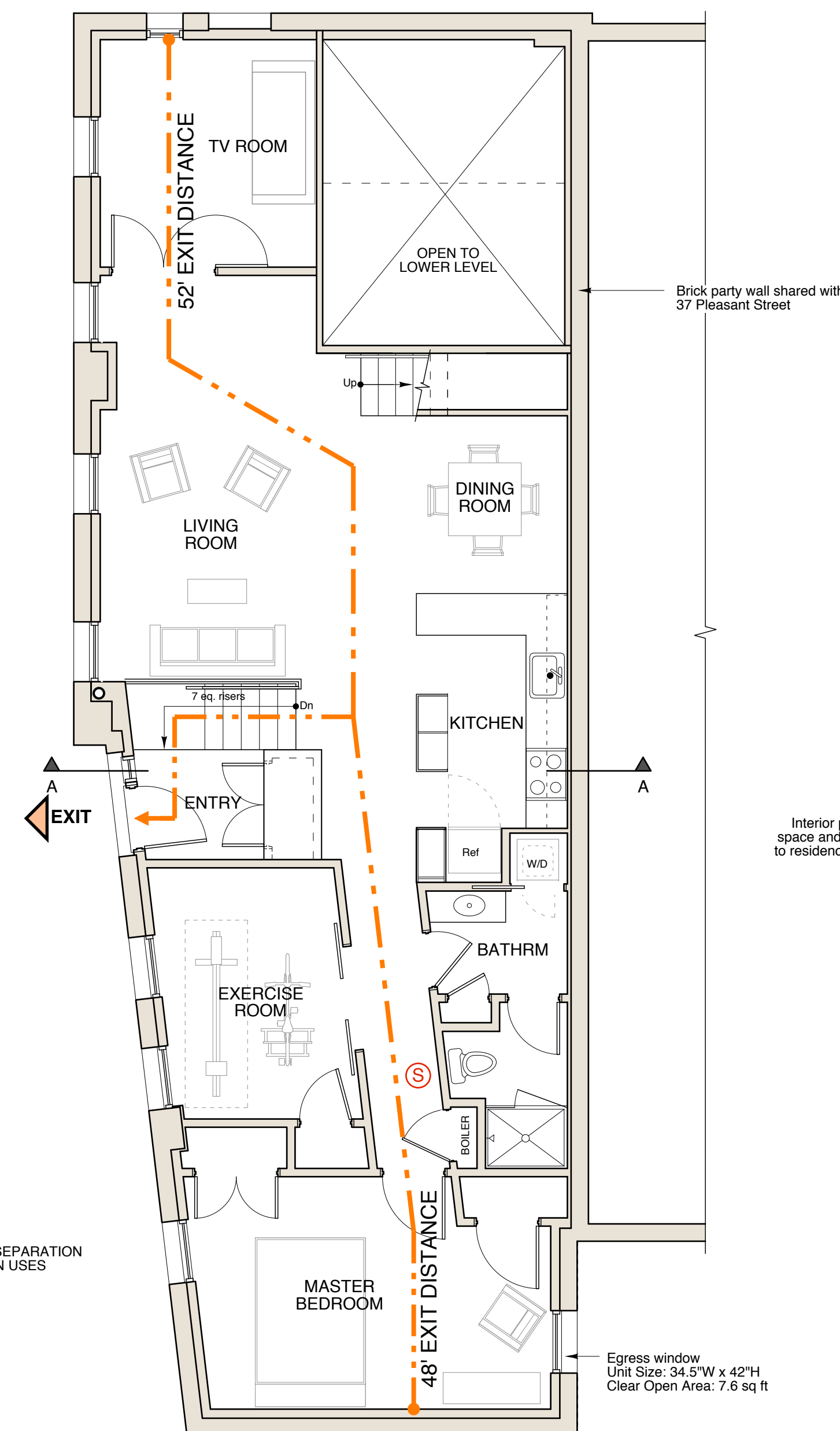
-  EMERGENCY LIGHTING
-  FIRE EXTINGUISHER
-  SMOKE DETECTOR



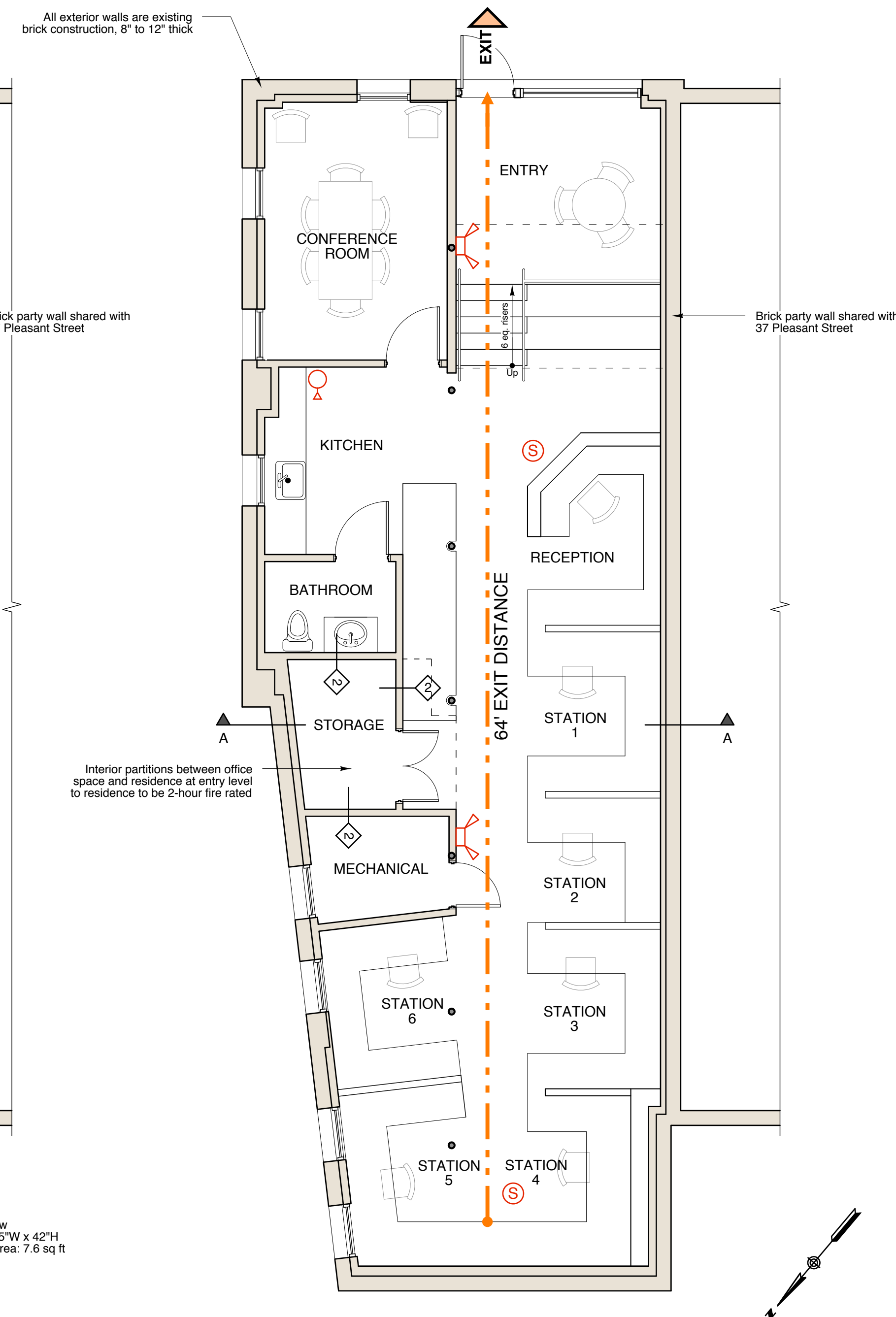
7 Loft Floor Plan - Residence
SCALE: 3/16" = 1'-0"



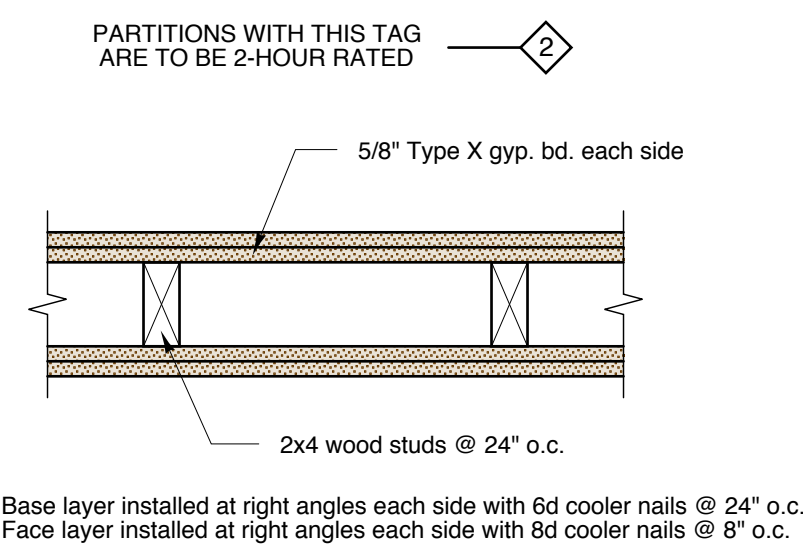
6 Section A-A at Residence Entry
SCALE: 3/16" = 1'-0"



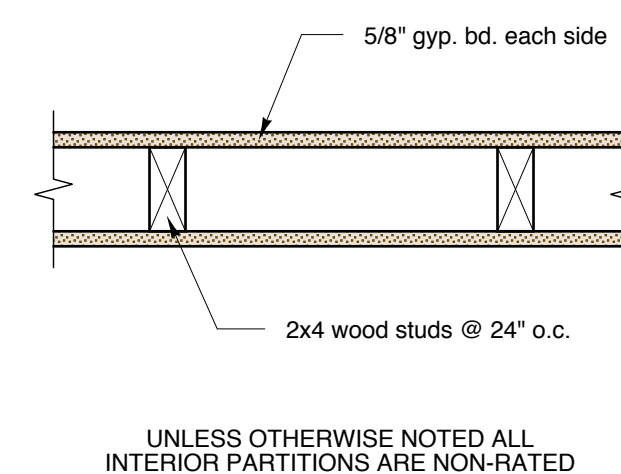
5 Upper Floor Plan - Residence
SCALE: 3/16" = 1'-0"



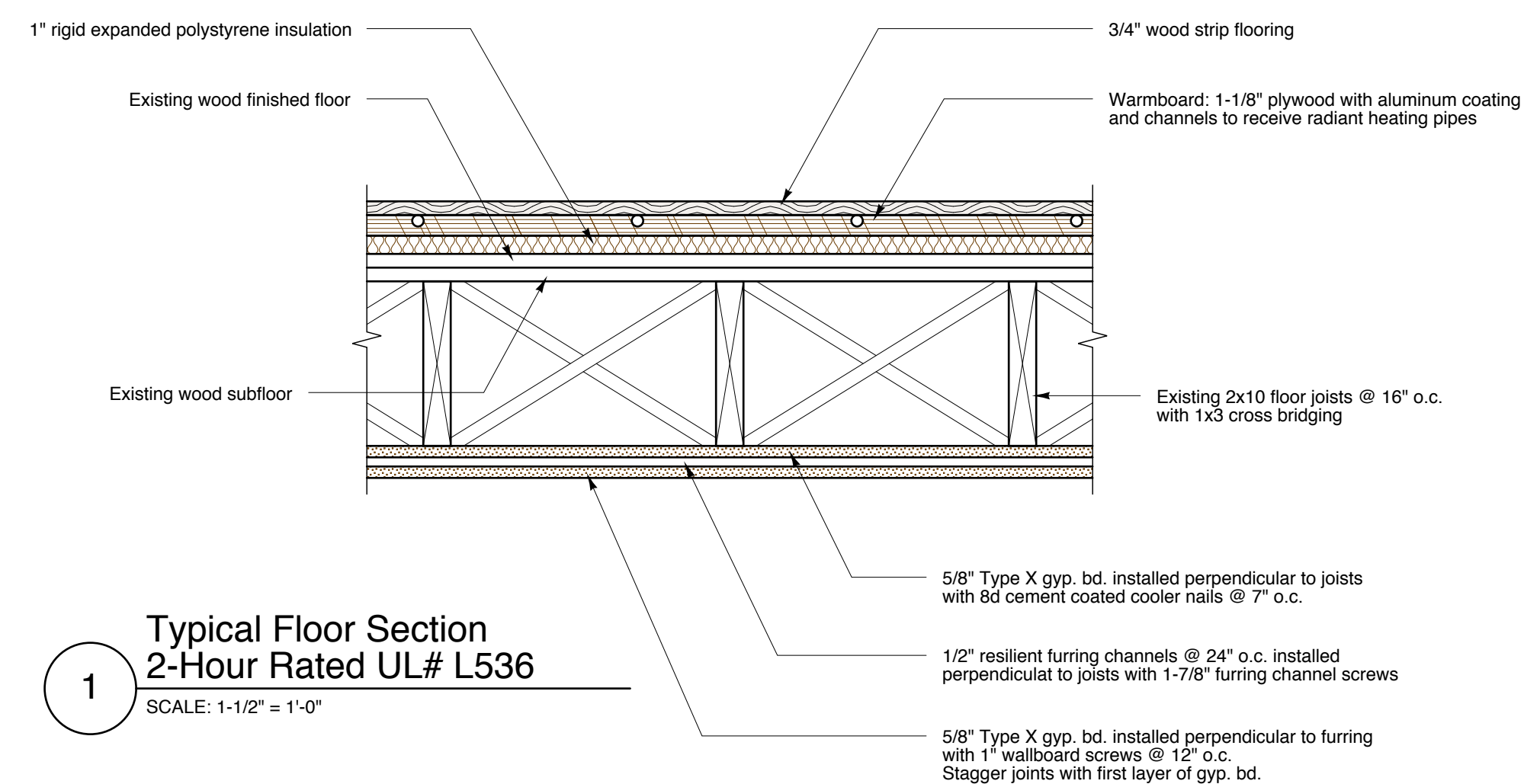
4 Lower Floor Plan - Business
SCALE: 3/16" = 1'-0"



3 Interior Partition
2-Hour Rated WP 360
SCALE: 1-1/2" = 1'-0"



2 Interior Partition
Non-Rated
SCALE: 1-1/2" = 1'-0"



1 Typical Floor Section
2-Hour Rated UL# L536
SCALE: 1-1/2" = 1'-0"

NOTE: ALL INTERIOR WALLS ARE NEW CONSTRUCTION,
ALL EXTERIOR WALLS ARE EXISTING BRICK 8" TO 12" THICK

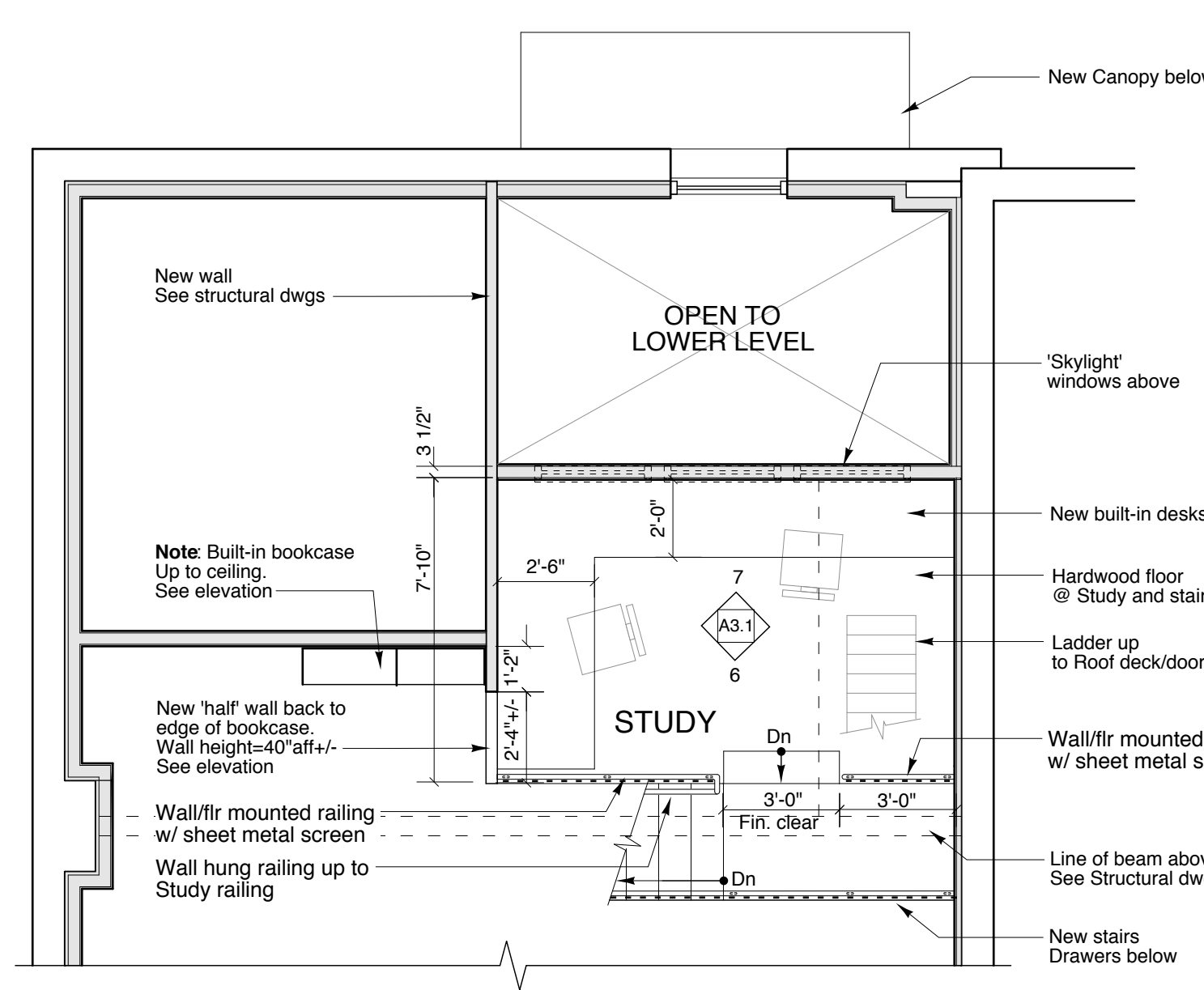
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Building Code Analysis
File Name: A0.1CodeAnalysis
Project No. 2006-08.00
Date: 12.20.06
Revised:

A0.1



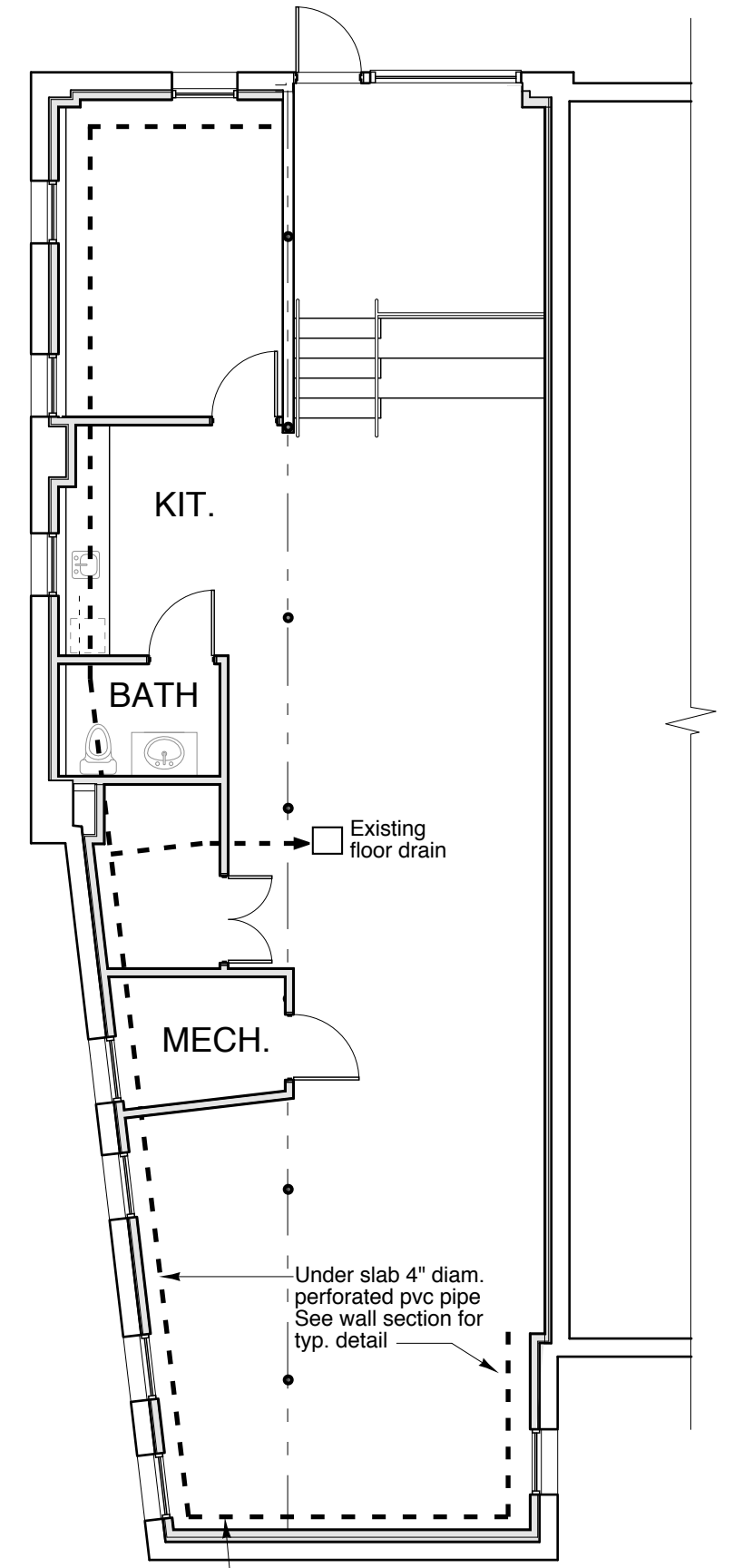
3 Loft/Study Floor Plan
SCALE: 1/4" = 1'-0" See A3.1 for enlarged Study floor plan

GENERAL NOTES:

- 1- Keep all wood used (ie. siding, trim, structure) at least 12" above soil.
- 2- Install a carbon monoxide (CO) monitor on each floor of the building [IEQ2.1]
- 3- No tropical hardwoods to be used anywhere in this project [MR2.1]
- 4- Use advanced framing techniques when furring-out exterior walls and building new interior walls.
- 5- All new wood framing to be FSC certified [MR2.2]
- 6- Install the following types of very high efficiency plumbing fixtures in bathrooms:

WASTE MANAGEMENT

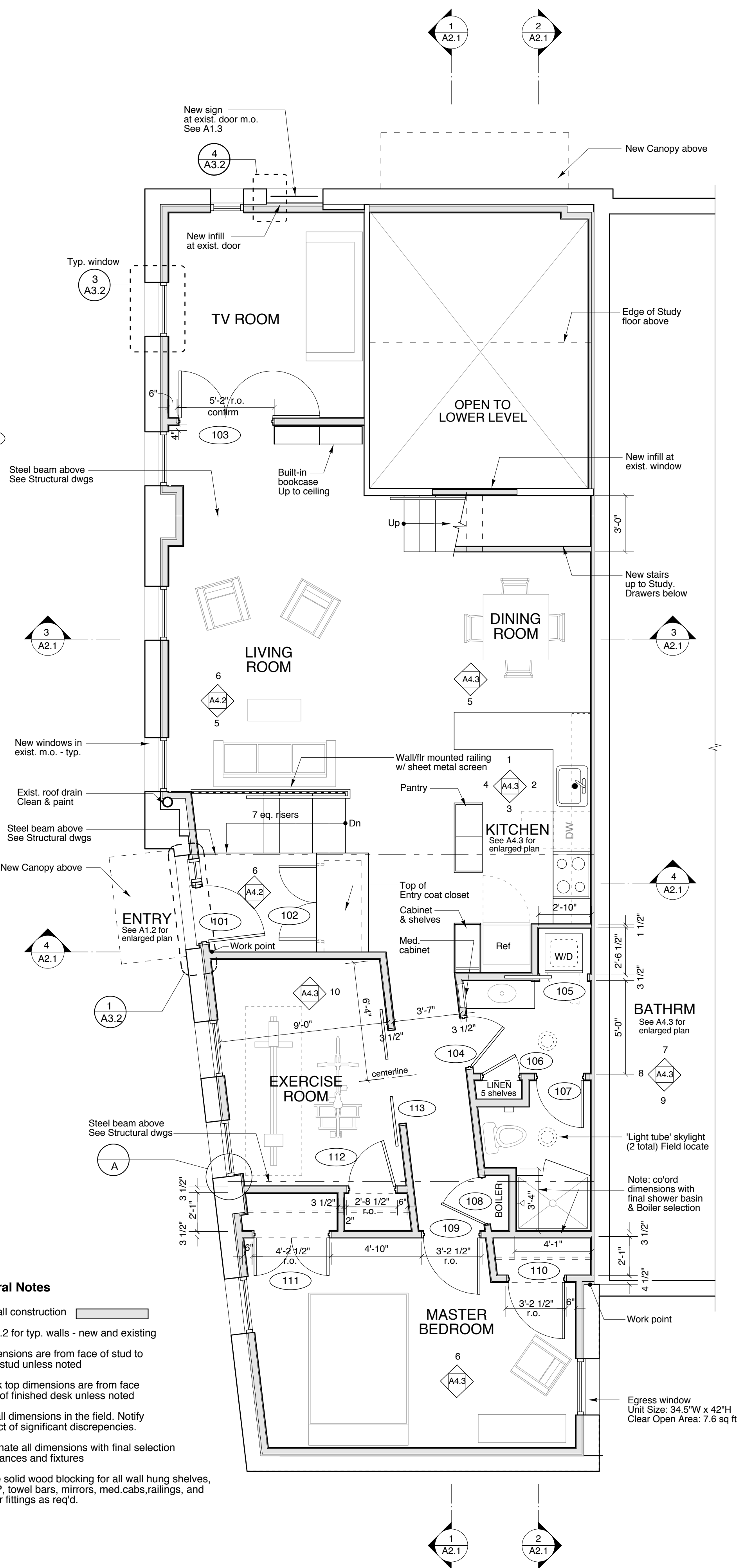
- 1- During the course of construction and demolition recycle all cardboard packaging and other "household" recyclables (eg. beverage containers) brought onto the site [MR3.1]
- 2- Investigate and document local options for diversion (recycling, reuse, tec.) of all anticipated major constituents of the project waste stream [MR3.1]
- 3- Document rate of diversion; record diversion rate for demolition separately from rate for new construction phase of project [MR3.1]
- 4- Overall waste factor (WF) for framing is not to exceed 10% [MR1.1]



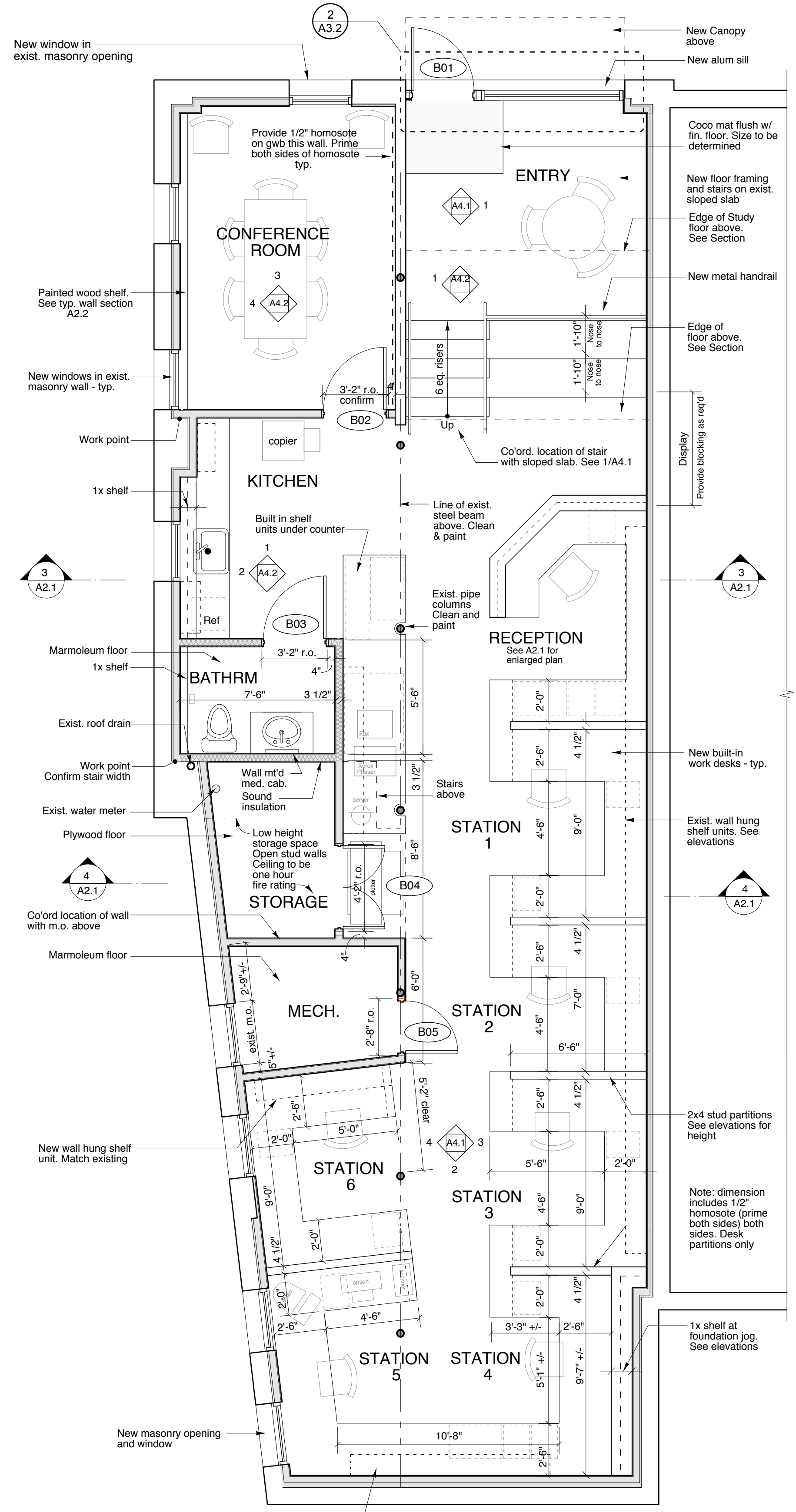
4 Lower Floor Drainage Plan
SCALE: 1/4" = 1'-0"

General Notes

- New wall construction
- See A2.2 for typ. walls - new and existing
- All dimensions are from face of stud to face of stud unless noted
- All desk top dimensions are from face to face of finished desk unless noted
- Verify all dimensions in the field. Notify Architect of significant discrepancies.
- Co-ordinate all dimensions with final selection of appliances and fixtures
- Provide solid wood blocking for all wall hung shelves, bath TP, towel bars, mirrors, med.cabs,railings, and all other fittings as req'd.



2 Upper Floor Plan
SCALE: 1/4" = 1'-0"



1 Lower Floor Plan
SCALE: 1/4" = 1'-0"

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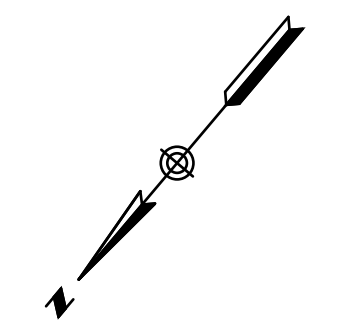
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Floor Plans
Drawn by: RIP
Scale: 1/4" = 1'-0"
Date: 12.06.06

File Name: A1.1 Floor Plans
Project No.
Revised:

A1.1

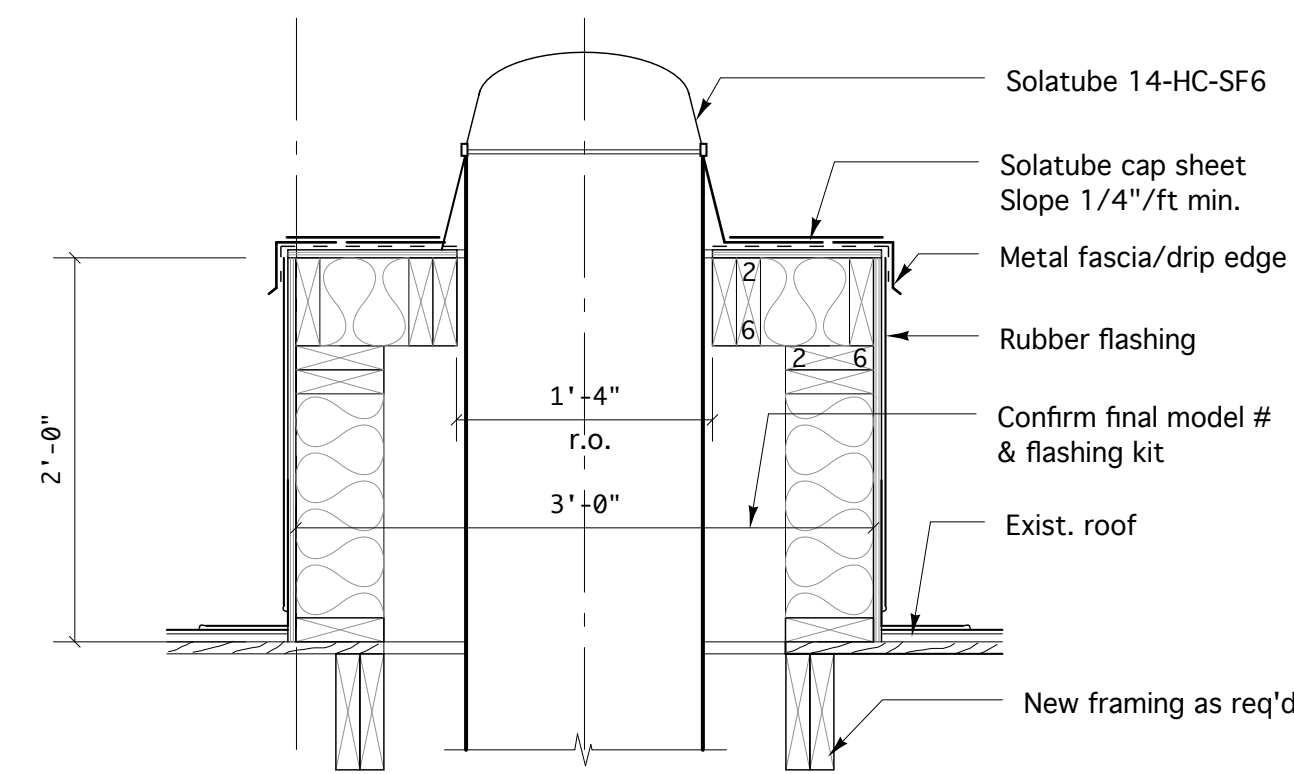


Door Schedule - Exterior doors by Thermotech						
No.	Size	WXH	Type	Material	Function	Comments
B01	3'-0"X 8'-0"	v.i.f.		Fiberglass		Exterior w/ full tempered light
B02	Existing					
B03	3'-0"X 6'-8"			Wood-solid core	Privacy	
B04	4'-0"X 3'-4"	v.i.f.		Wood-hollow core	Passage	Pair / Confirm ht.
B05	3'-0"X 6'-8"			Wood-solid core	Passage	
101	3'-0"X 7'-0"			Fiberglass		Exterior / solid panel
102	4'-0"X 6'-8"			Wood-solid core	Closet	Pair w/roller catch
103	Existing				Privacy	Pair / Confirm size
104	2'-8"X 6'-8"			Wood-solid core	Privacy	
105	2'-10"X 6'-8"			Wood-solid core		Pocket door w/recessed pull
106	2'-0"X 6'-8"			Wood-solid core	Passage	
107	2'-6"X 6'-8"			Wood-solid core	Privacy	
108	2'-6"X 6'-8"			Wood-solid core	Passage	Vent ?
109	3'-0"X 6'-8"			Wood-solid core	Privacy	Transom above
110	3'-0"X 6'-8"			Wood-solid core	Closet	
111	4'-0"X 6'-8"			Wood-solid core	Closet	Pair w/roller catch
112	2'-6"X 6'-8"			Wood-solid core	Closet	
113	Existing				Privacy	Rolling (top hung) Confirm size
201	3'-0"X 4'-8"	v.i.f.		Fiberglass		Exterior(outward acting) Solid panel

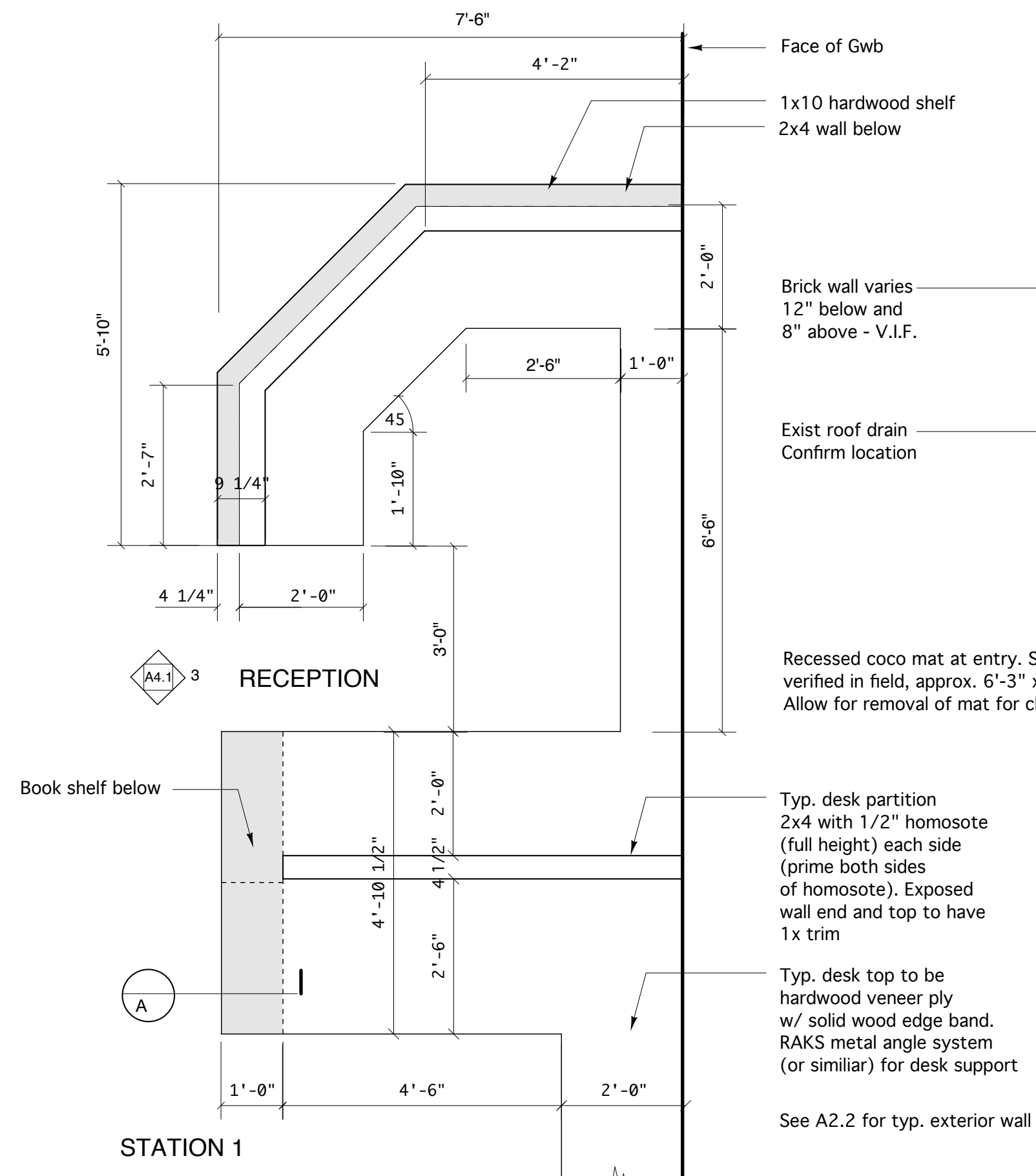
Window Types		Window Schedule	
	Fixed Storefront	Type	Size WXH Qty. Comments Type
	Fixed	A	6'-10"X 7'-4" 1 Fixed / Tempered / Nail/g fin A
	Fixed / Single Hung*	B	1'-9"X 1'-2" 1 Fixed / Tempered B
	Casement	C	0'-11"X 2'-0" 1 Casement C
	Awning	D	3'-0"X 2'-9" 1 Fixed / Tempered / Nail/g fin D
	Fixed / Awning	E	2'-10"X 5'-6" 4 Awning w/ fixed above E
		F	2'-8"X 5'-6" 2 Awning w/ fixed above F
		G	3'-2"X 5'-6" 1 Awning w/ fixed above G
		H	4'-2"X 2'-10" 1 Fixed / Tempered / Nail/g fin H
		I	2'-10"X 2'-9" 3 Awning / Tempered I
		J	0'-9 1/2"X 3'-6" 1 Fixed / Tempered J
		K	2'-9"X 1'-7" 4 Awning / Tempered K
		* L	3'-0"X 5'-1" 1 Single Hung* / Tempered L*
		M	3'-0"X 3'-0" 2 Awning / Tempered M
		N	3'-0"X 3'-0" 1 Fixed / Tempered N

Notes:
 - See A1.3 for building elevations and window swings
 - Confirm all window dimensions on site before ordering.
 - Windows to be Thermotech Fiberglass Triple glazed fixed window w/ 2 SuperSpacer & 2 (low-e & argon).
 - No brickmold or nail/g fin unless noted
 - U-Value: 0.19 (0.16 glass)
 - SHGC: 0.42 (0.61 glass)
 - Visible light transmittance: 0.63
 - Exterior Color: Black
 - Interior hardware finish:
 - Interior finish:
 - * denotes egress unit
 - Provide screens w/ all operable units
 - Extension jambs by Builder

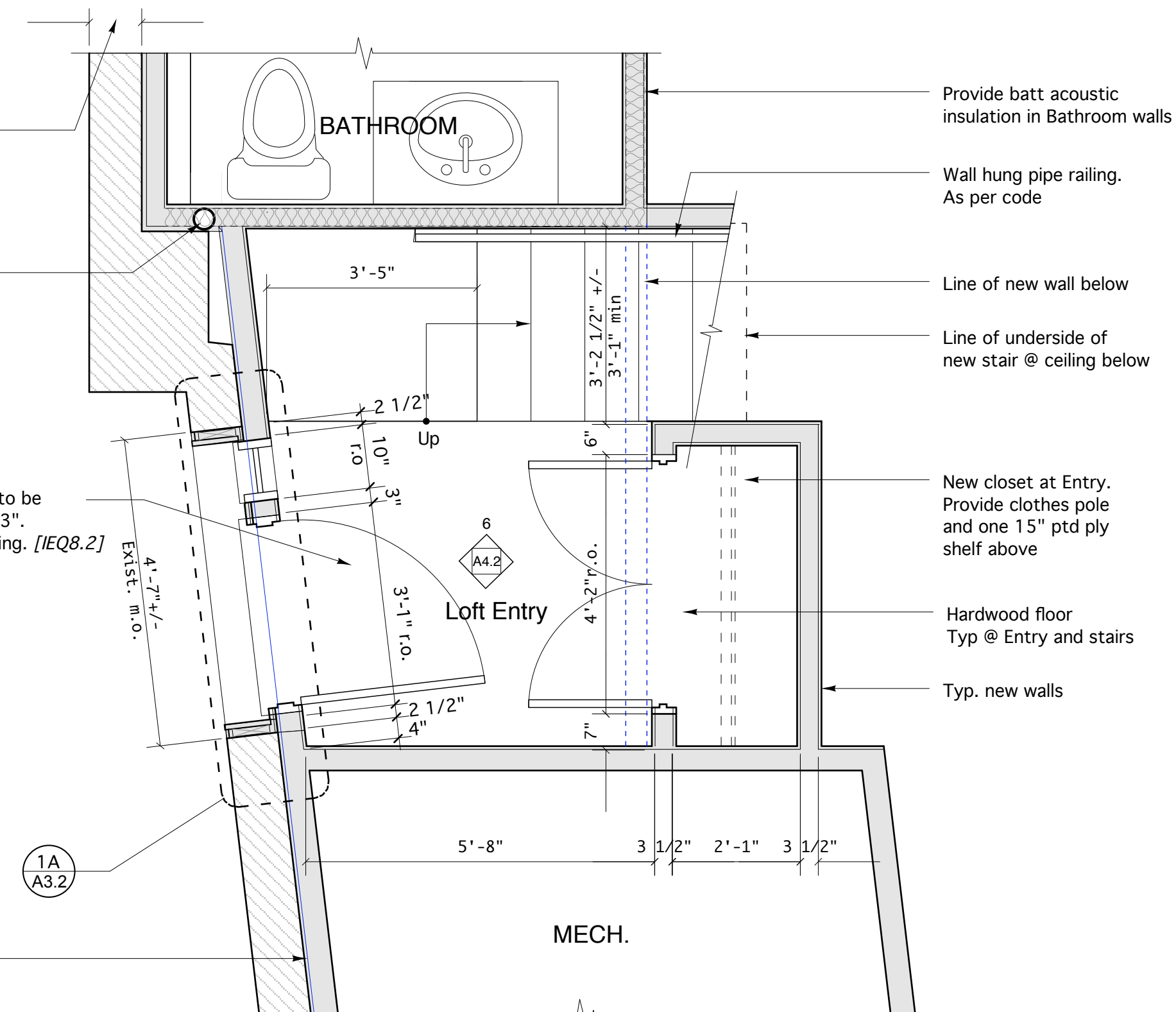
Door and Window Schedules
 SCALE: 1/2" = 1'-0" See A1.1 for Plans & A1.3 for Elevations



4 Roof 'Tube Light' - Section
 SCALE: 1" = 1'-0"

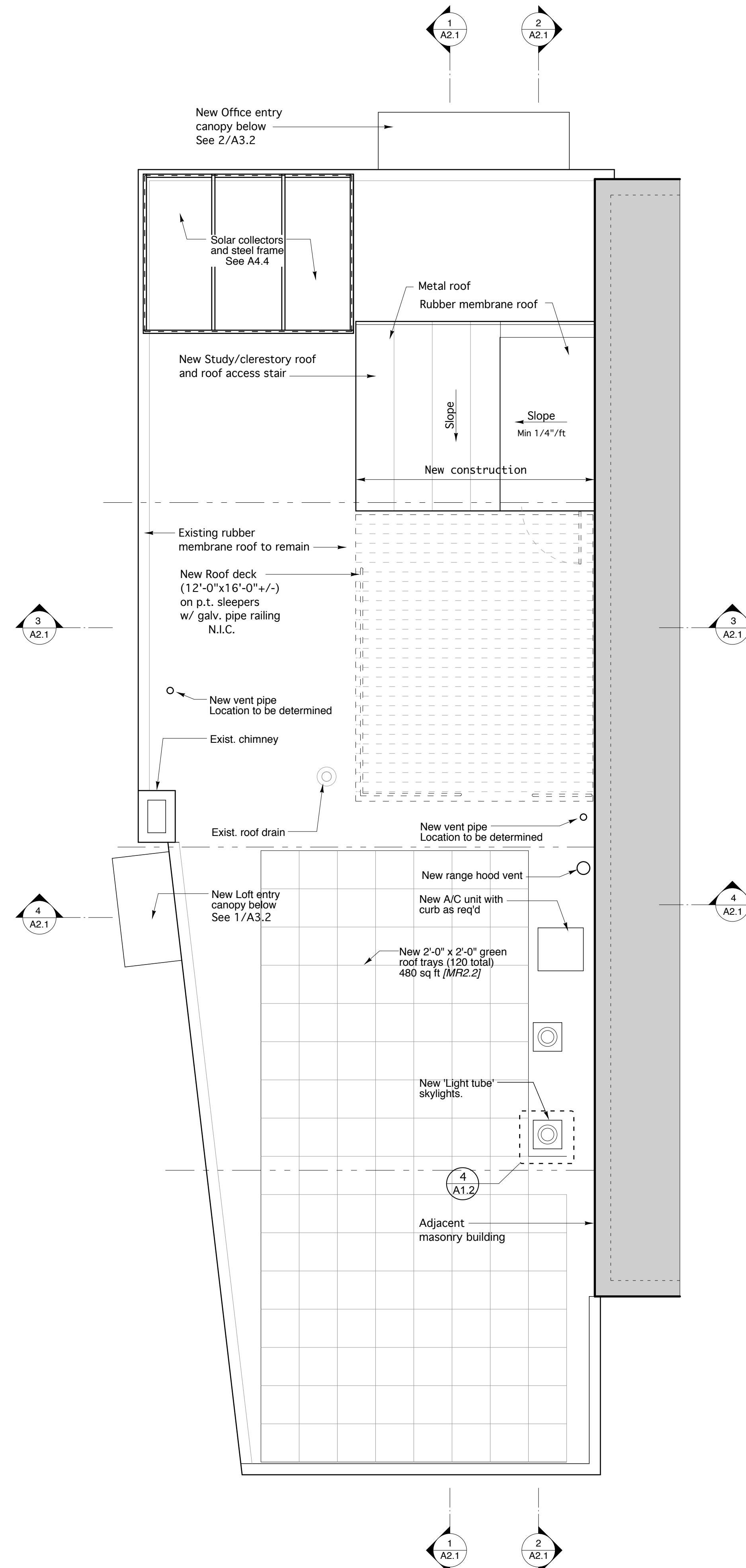


3 Reception Desk - Plan
 SCALE: 1/2" = 1'-0" See A1.1 for Office Plan
 All dimensions are from face to face of desks/millwork unless noted



2 Loft entry - Plan
 SCALE: 1/2" = 1'-0" See A1.1 for Loft Plan

General Notes
 All dimensions are from face of stud to face of stud unless noted
 Verify all dimensions in the field. Notify Architect of significant discrepancies.



1 Roof Plan
 SCALE: 1/4" = 1'-0"



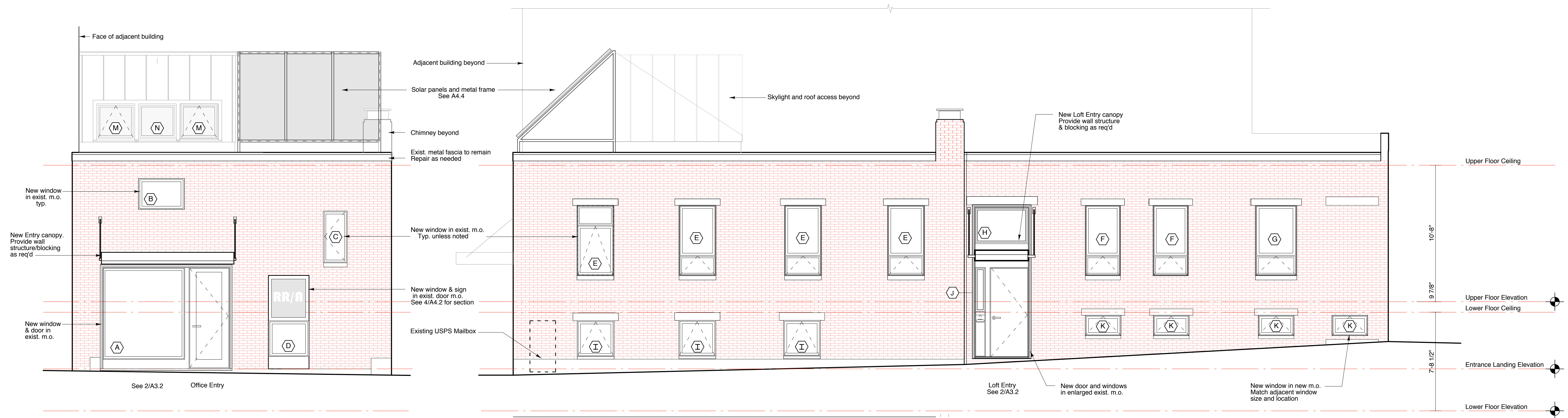
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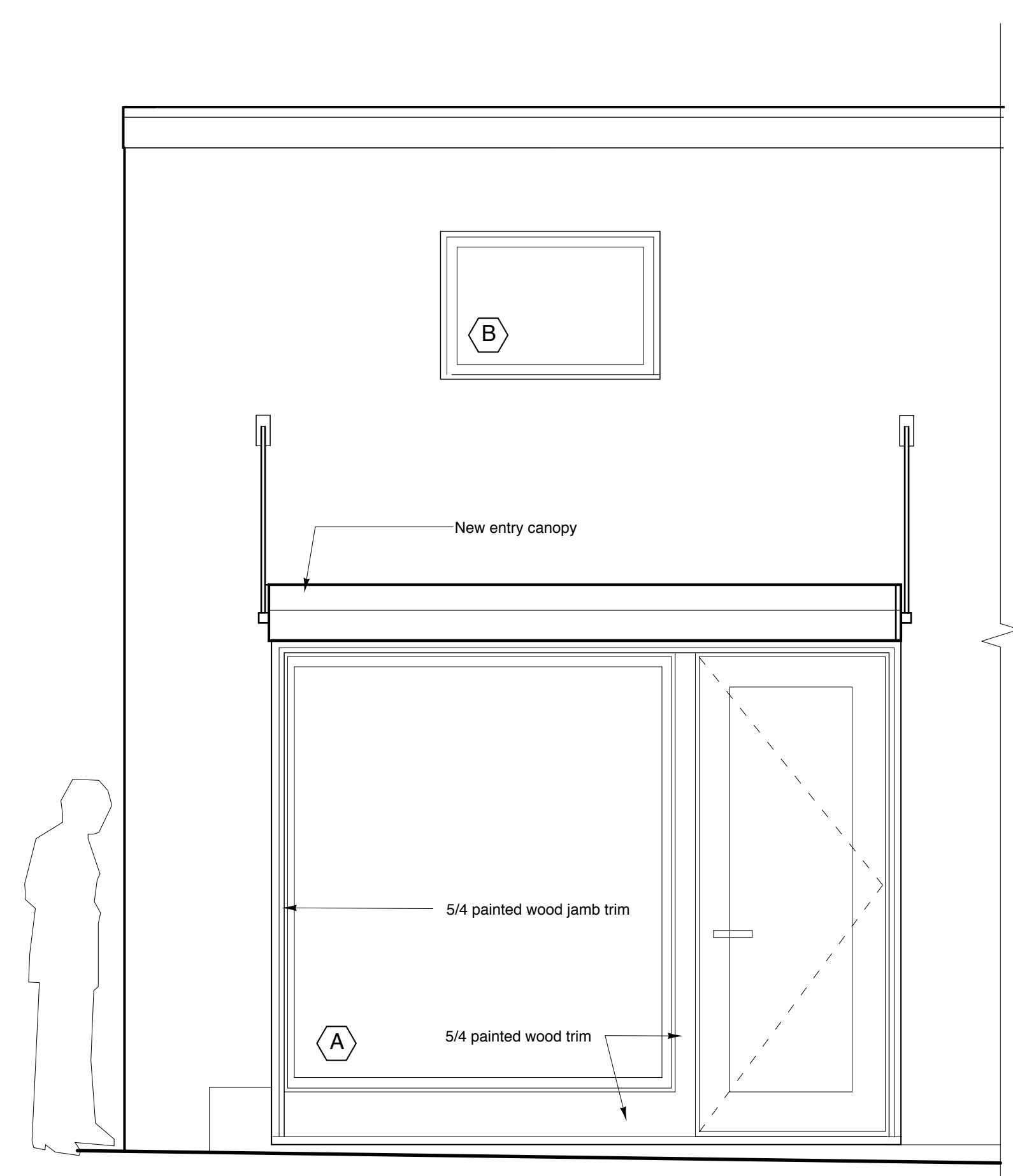
Roof Plan and Schedules
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 Scale: As noted Project No. 2006-08
 Date: 12.15.06 Revised:

A1.2

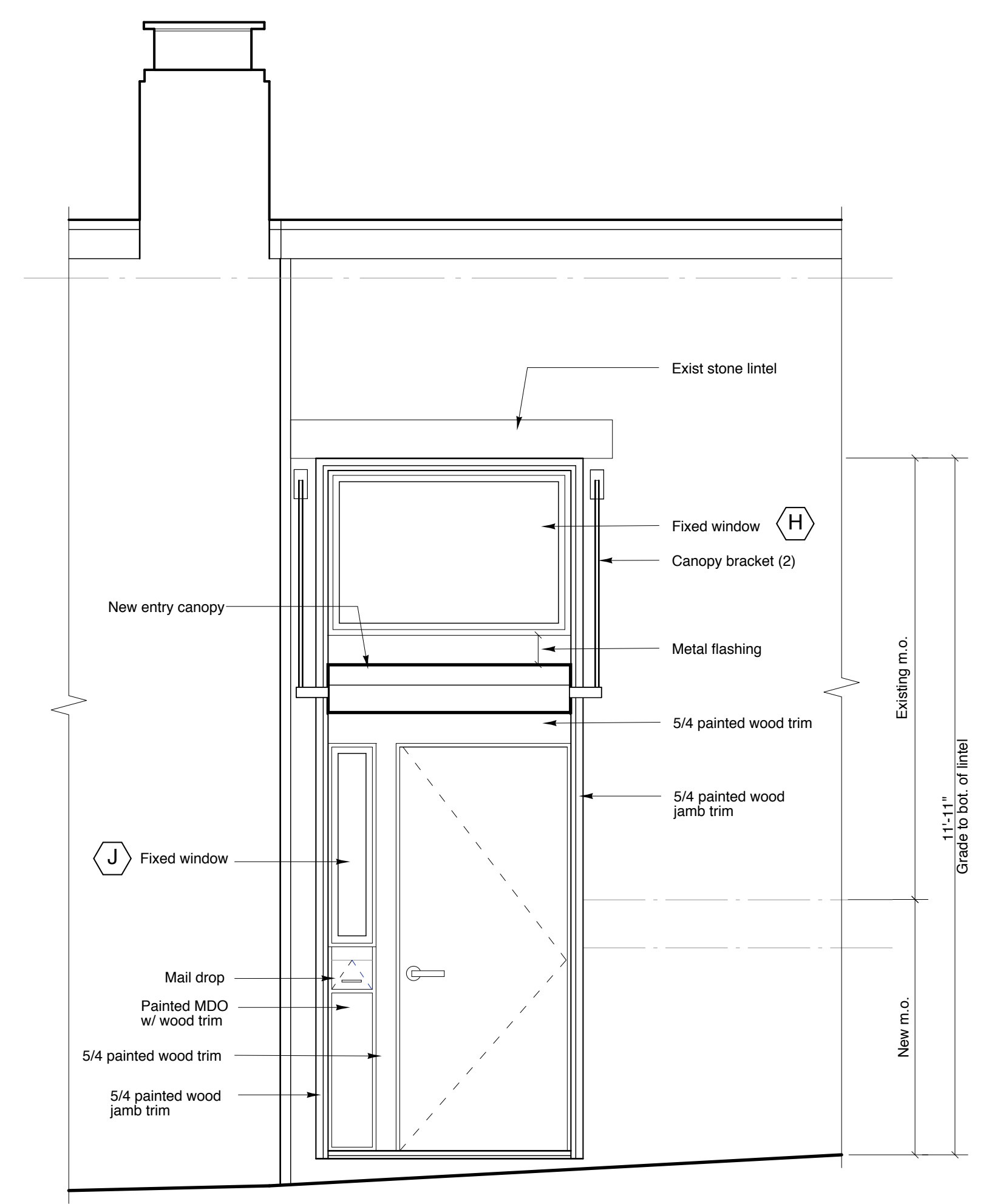


1 South Elevation-Pleasant Street
SCALE: 1/4" = 1'-0"

2 East Elevation-South Street
SCALE: 1/4" = 1'-0"

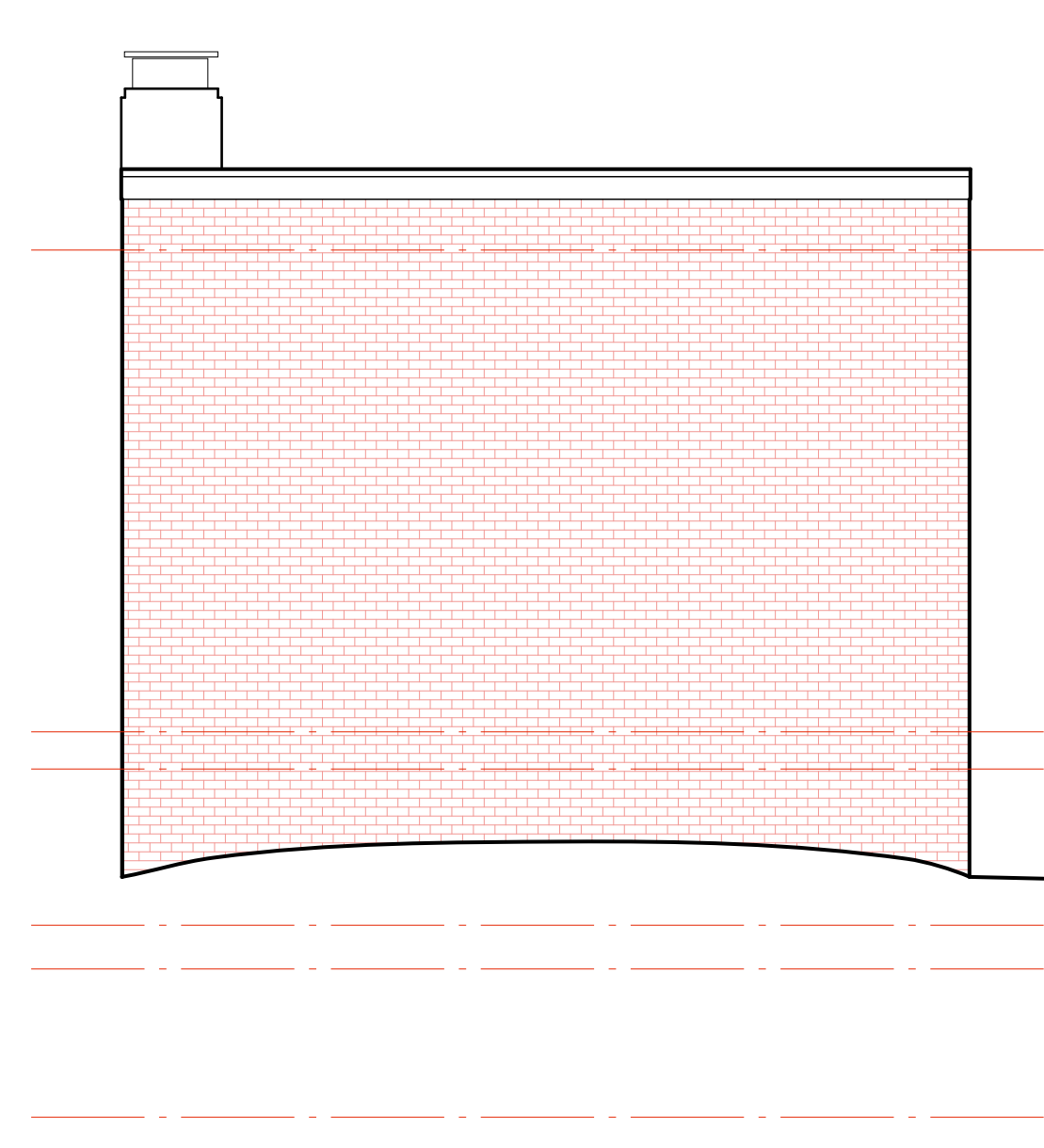


6 South Elevation of Office Entry
SCALE: 1/2" = 1'-0"
See 2/A3.2

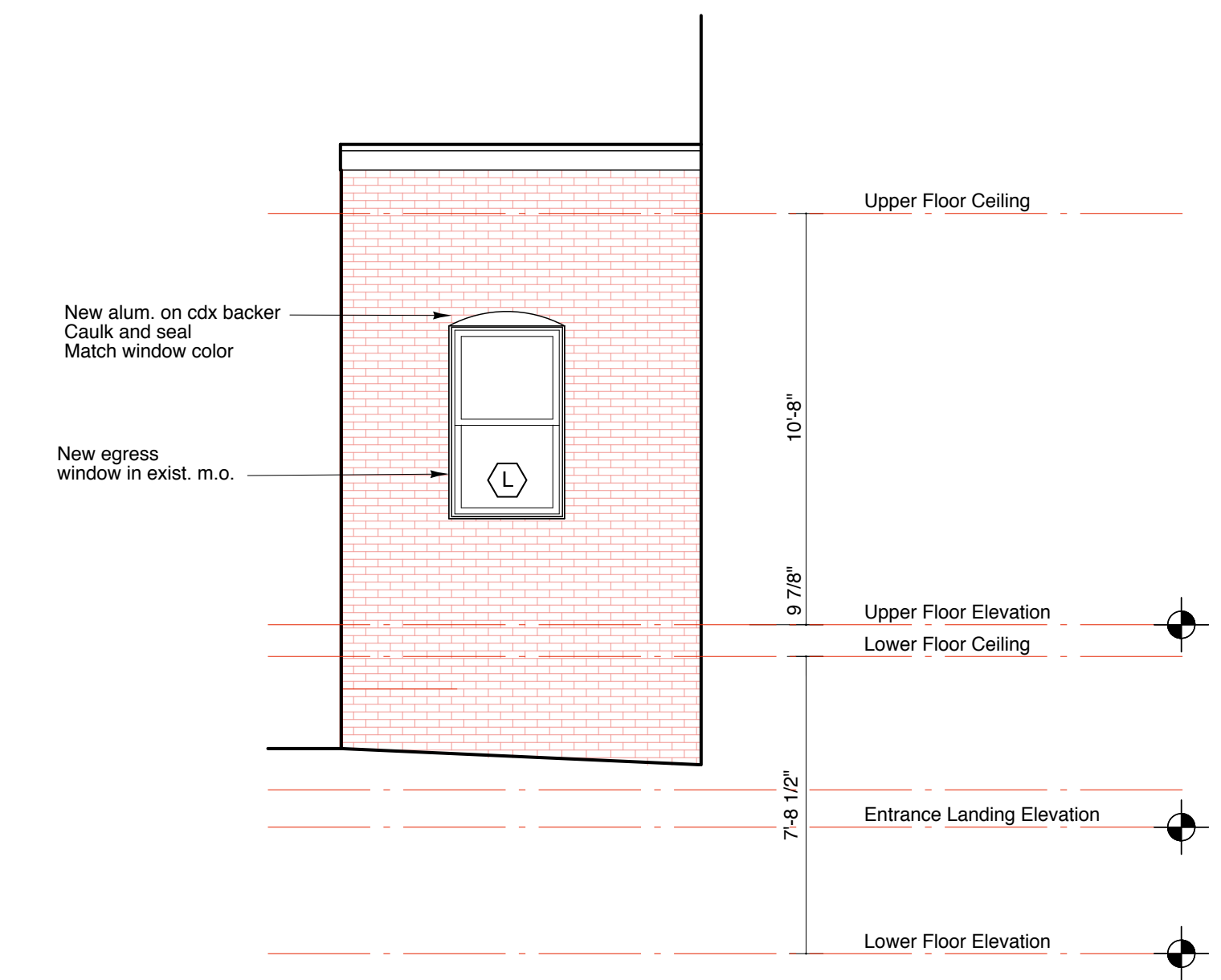


5 East Elevation of Loft Entry
SCALE: 1/2" = 1'-0"
See 1/A3.2

5A Details - Mail Drop
SCALE: 1/4" = 1'-0"



4 North Elevation
SCALE: 1/4" = 1'-0"



3 West Elevation
SCALE: 1/4" = 1'-0"

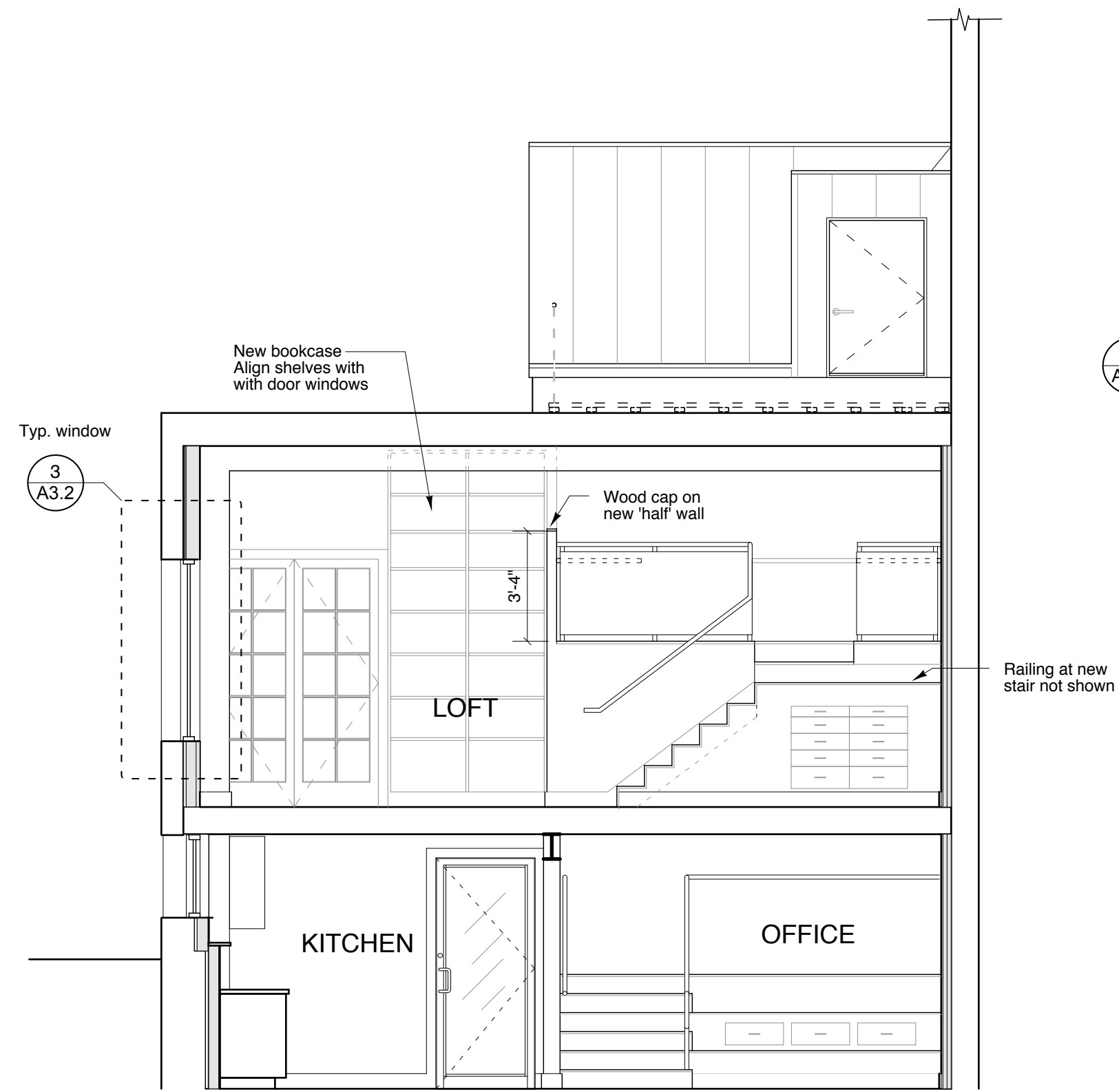
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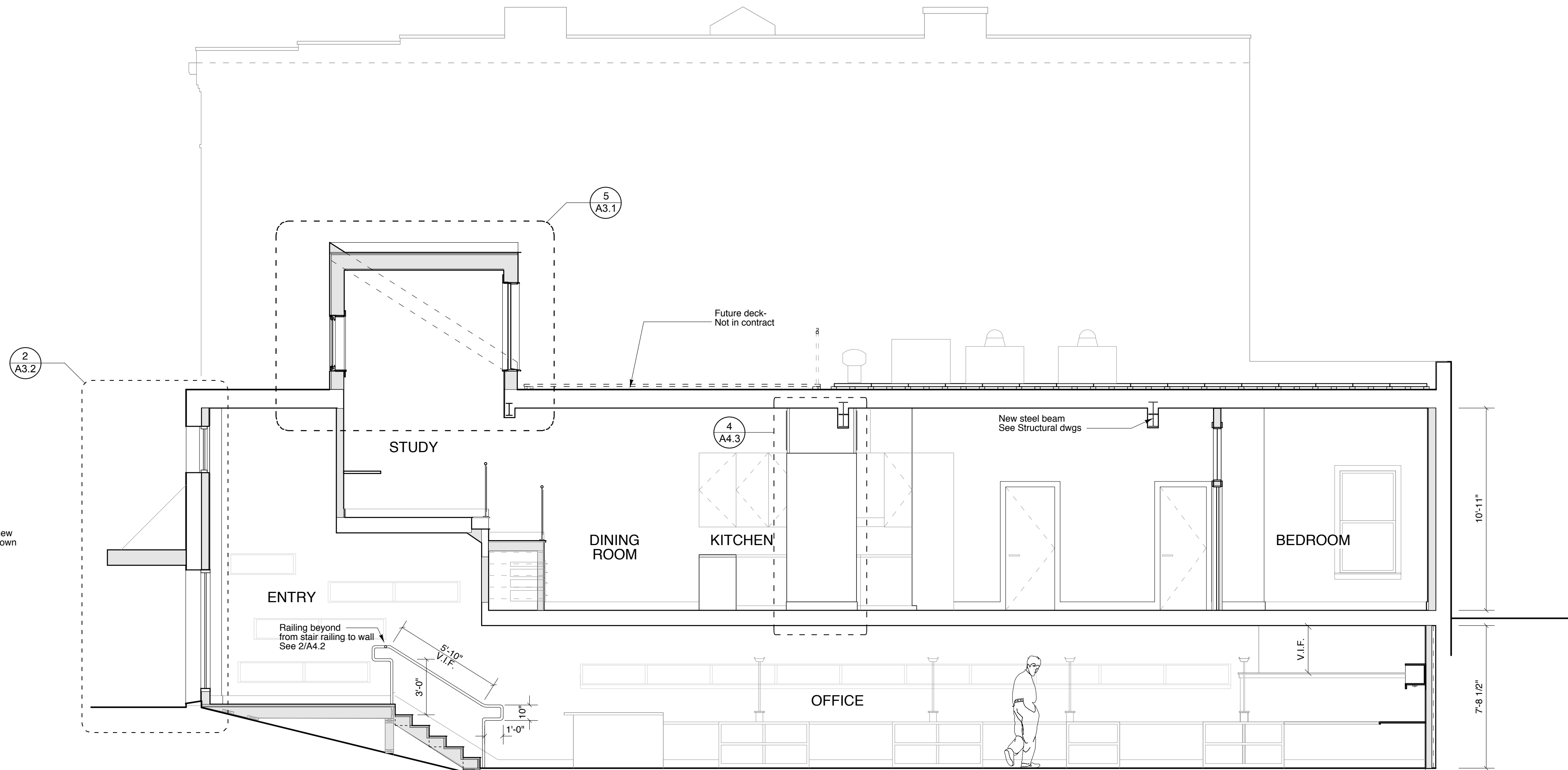
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Building Elevations
File Name: D1.3 Elevation/Masonry
Project No. 2006-08
Scale: 1/4" = 1'-0"
Date: 12.15.06
Revised:

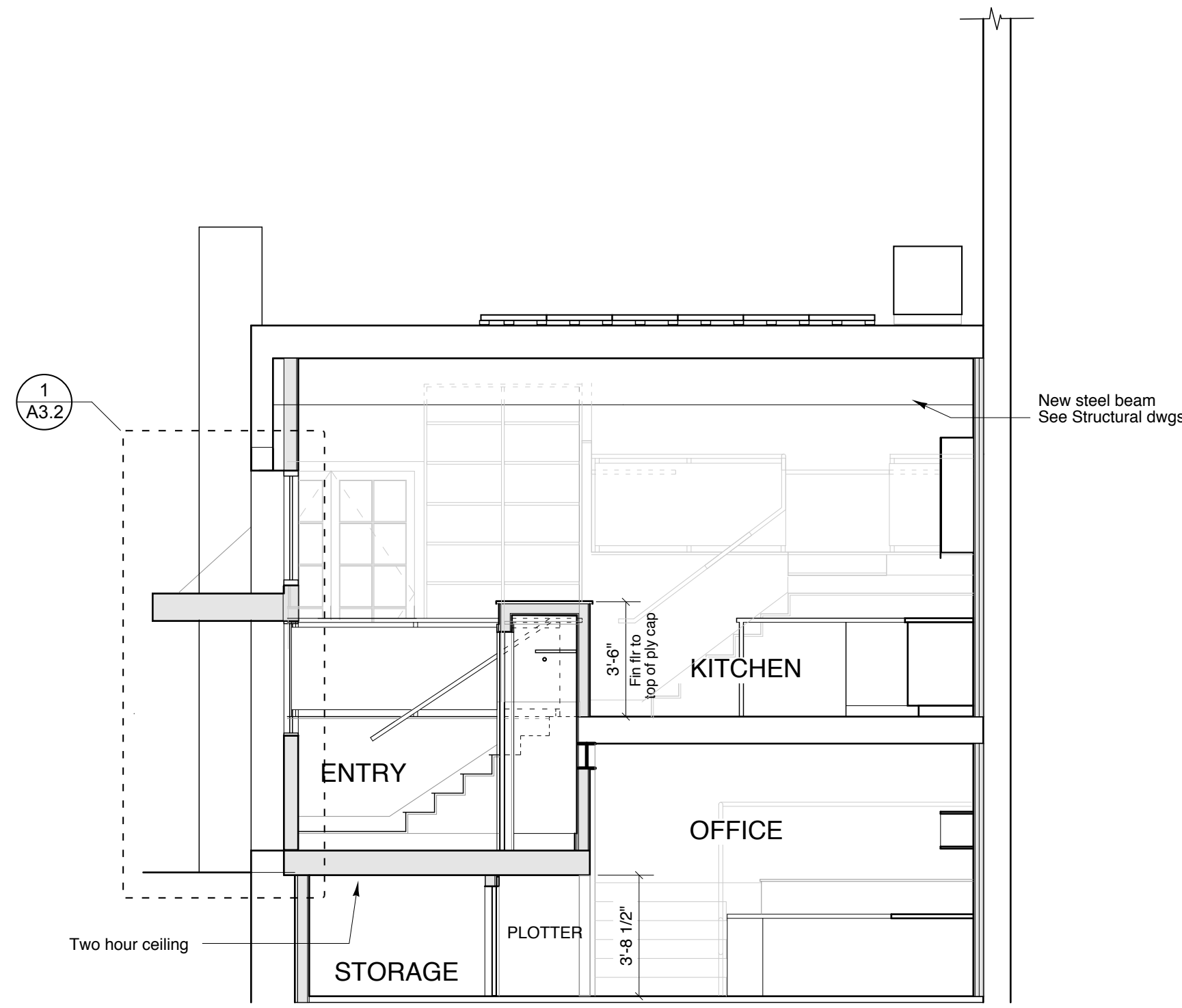
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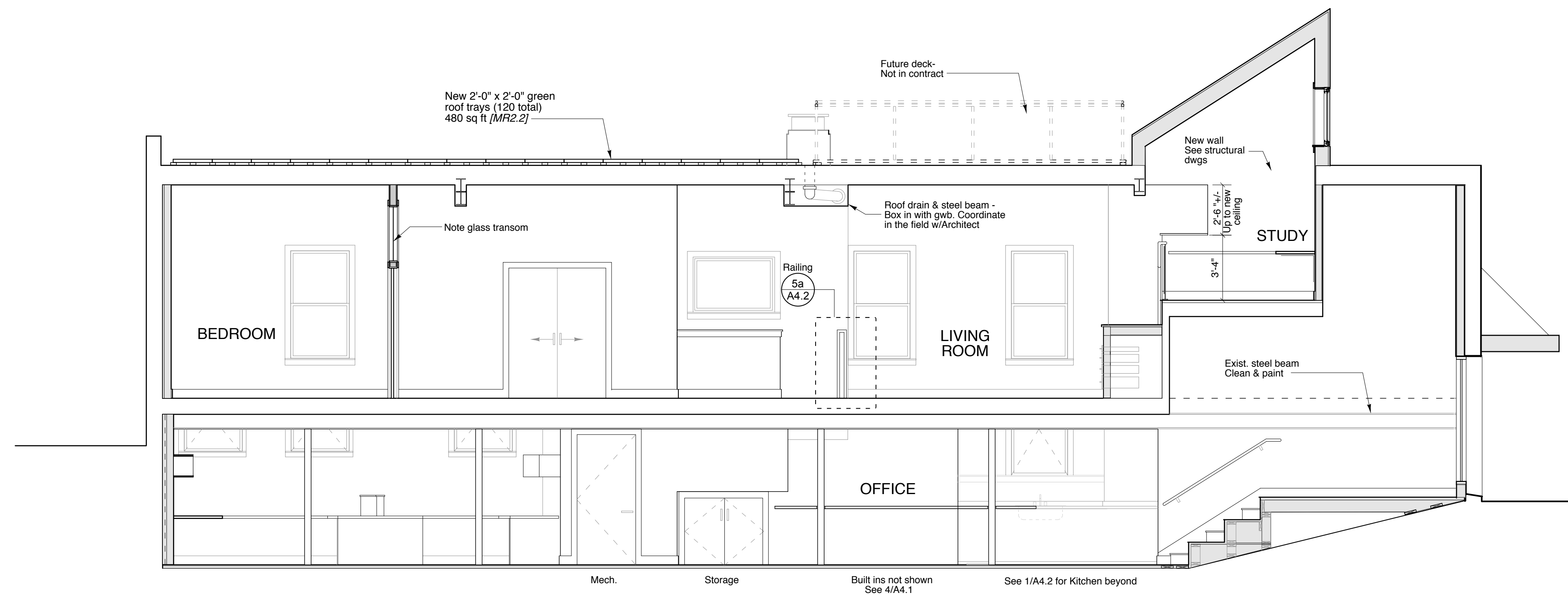
3 Building Section 3
SCALE: 1/4" = 1'



2 Building Section 2
SCALE: 1/4" = 1'



4 Building Section 4
SCALE: 1/4" = 1'



1 Building Section 1
SCALE: 1/4" = 1'

█ New wall construction

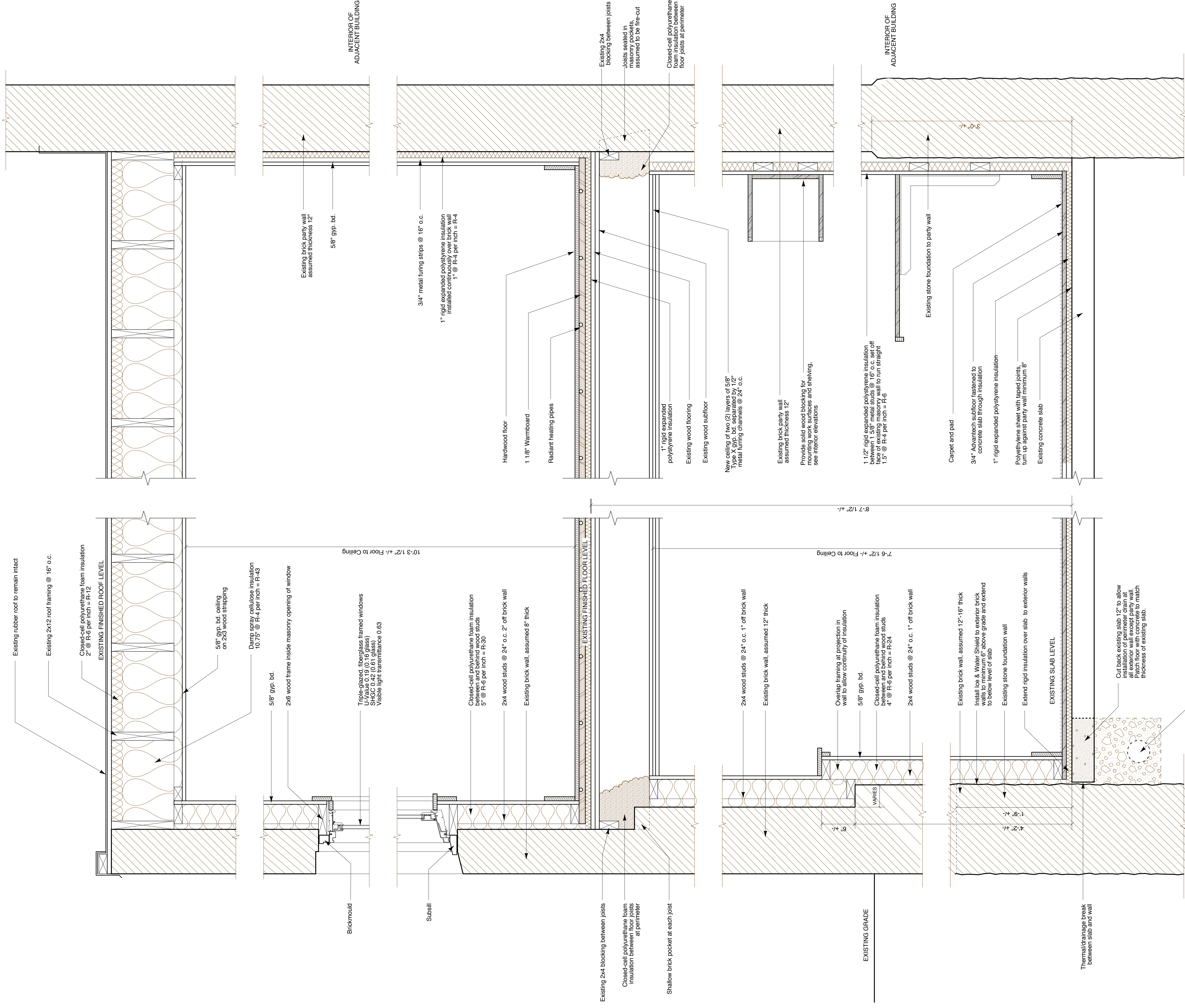
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Building Sections
File Name: A2.1 BuildingSections
Project No. 2006-08
Scale: 1/4" = 1'-0"
Date: 12.15.06
Revised:

A2.1



1 Wall Sections
SCALE: 1 1/2" = 1'

Wall Sections - Upper Level

Drawn by: RJP File Name: A2.2 WallSections
Scale: 1 1/2" = 1'-0" Project No. 2006-08
Date: 11.15.06 Revised:

**35 Pleasant Street
Office and Loft Renovation**

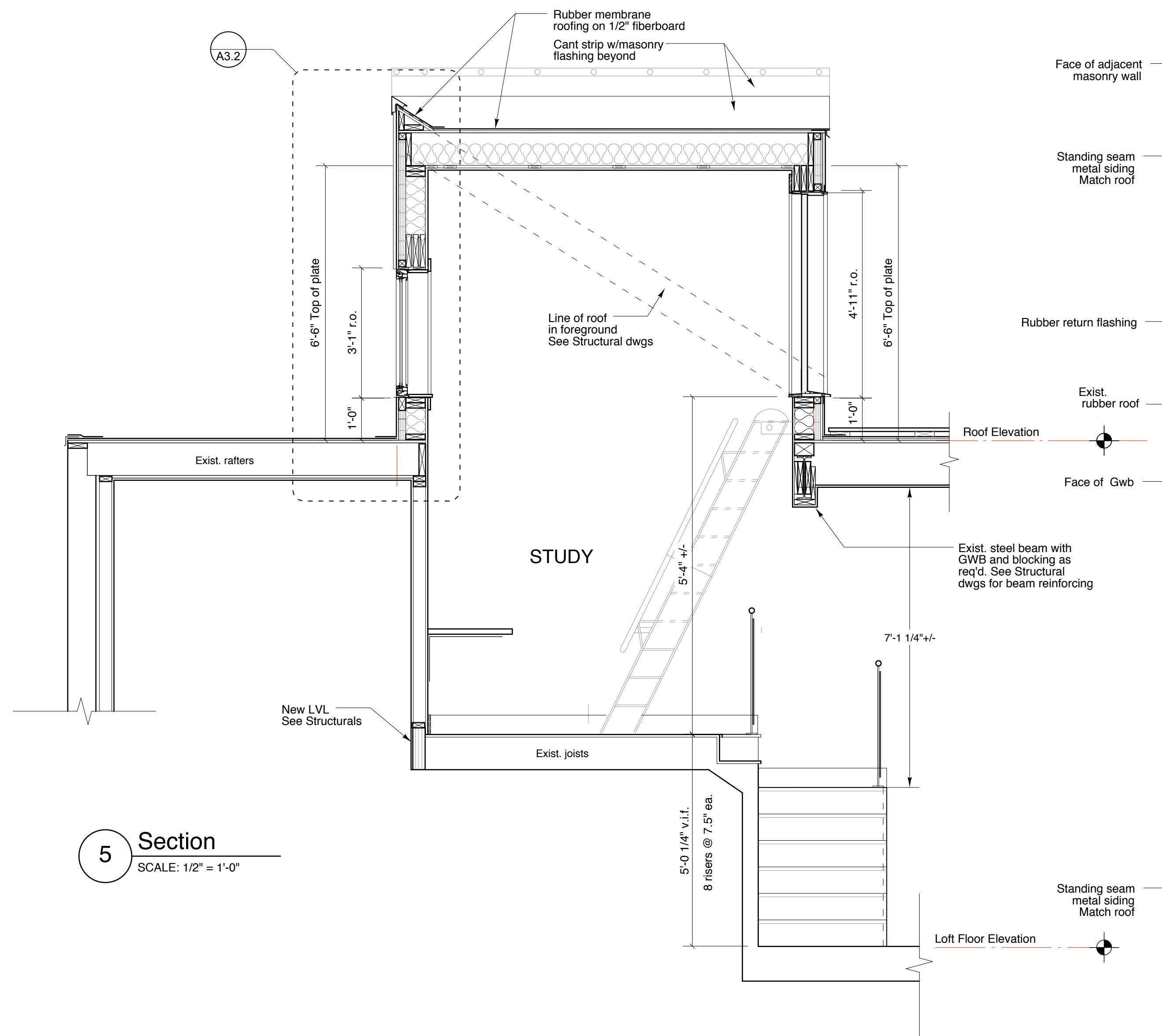
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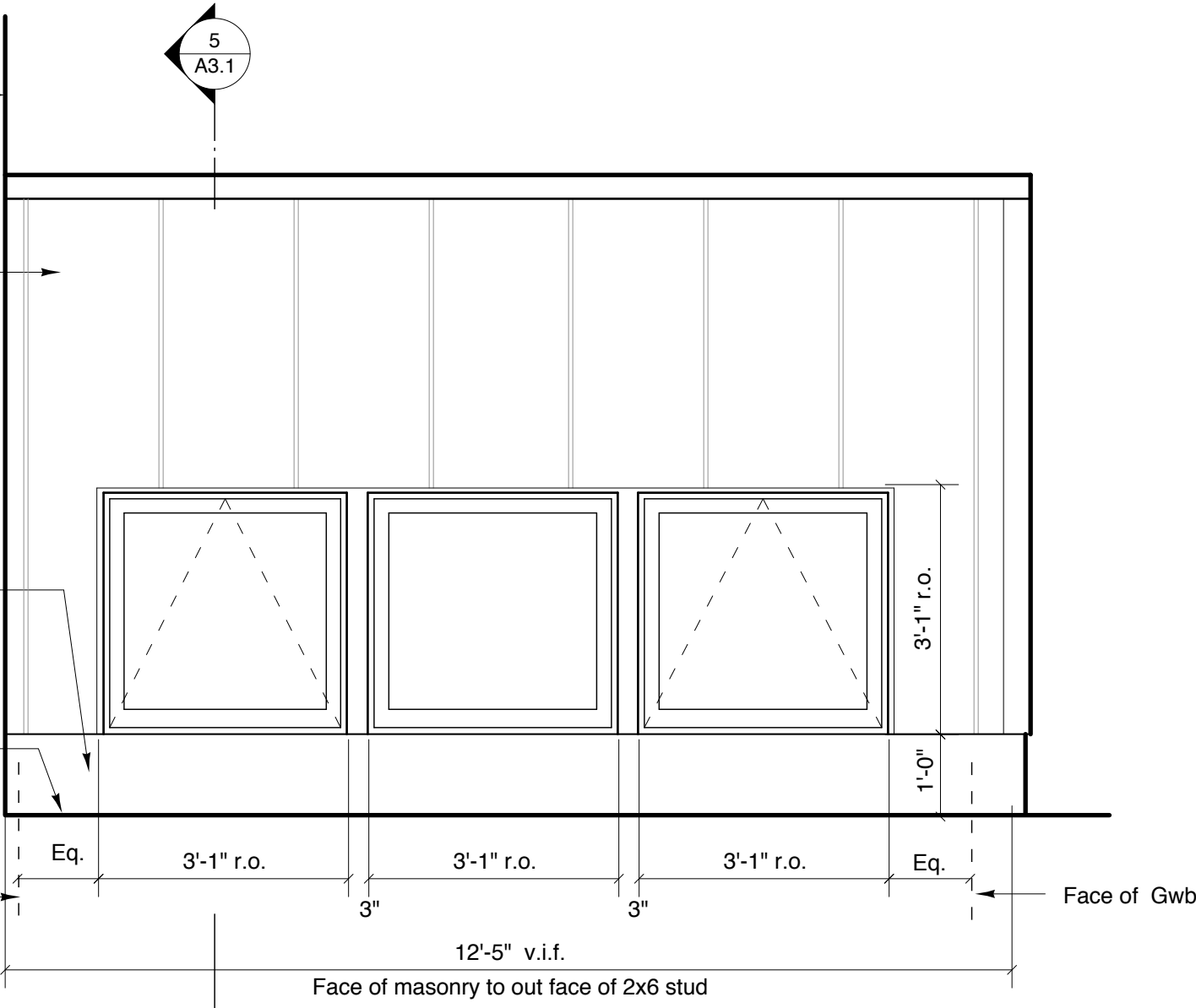
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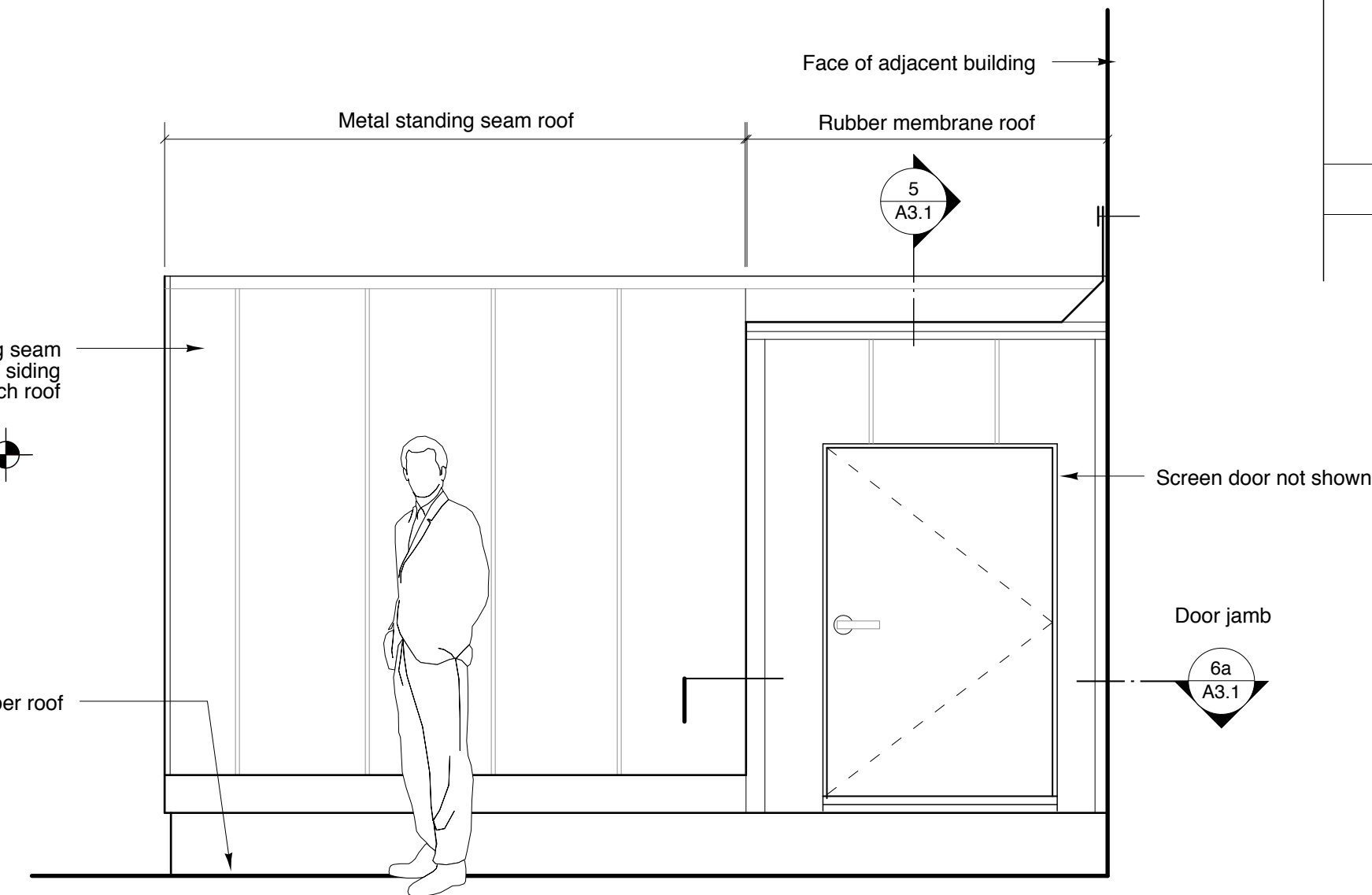
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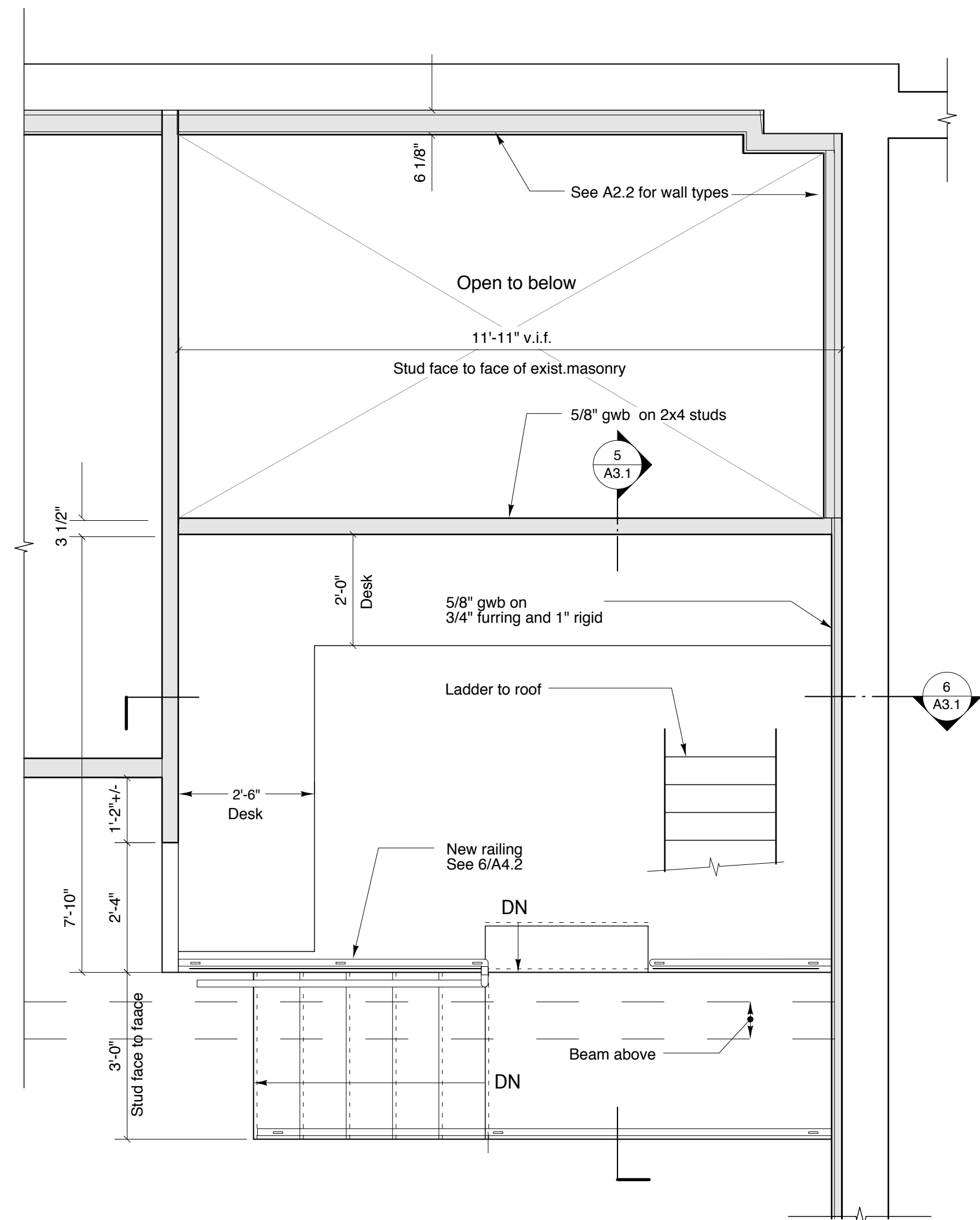
5 Section
SCALE: 1/2" = 1'-0"



2 South Elevation
SCALE: 1/2" = 1'-0"

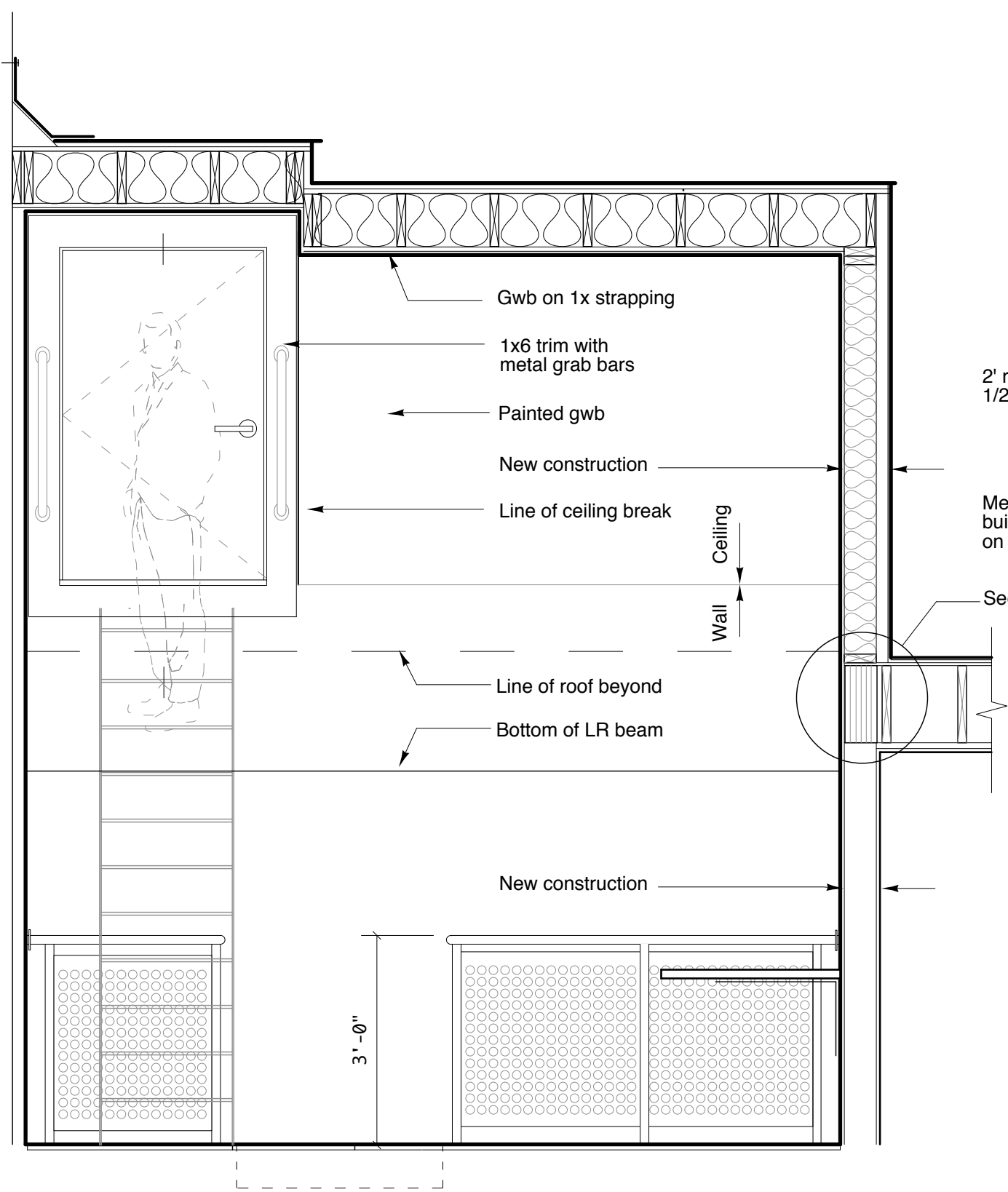


3 North Elevation
SCALE: 1/2" = 1'-0"

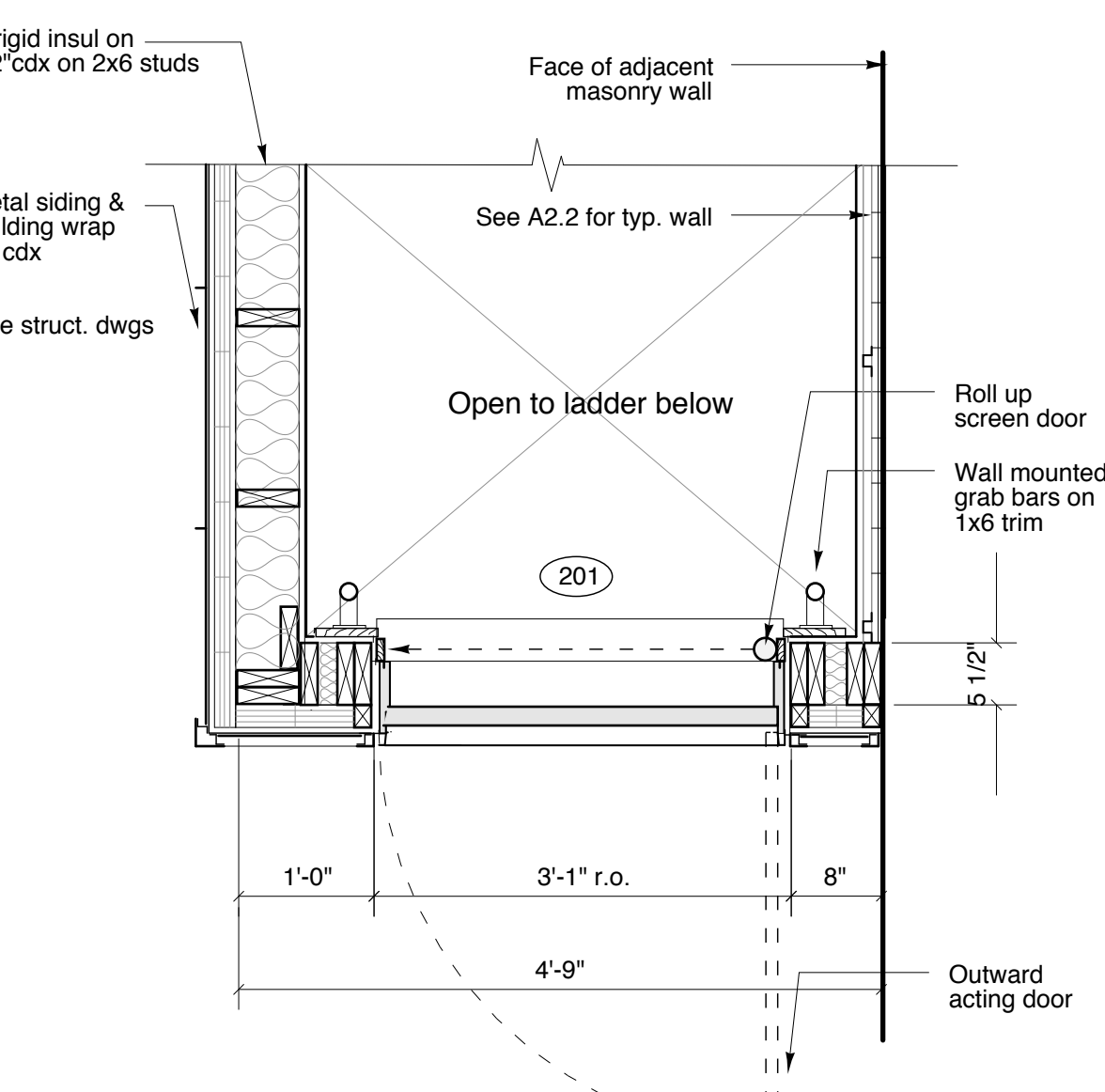


1 Study - Floor Plan
SCALE: 1/2" = 1'-0" See 3/A1.1 for Notes

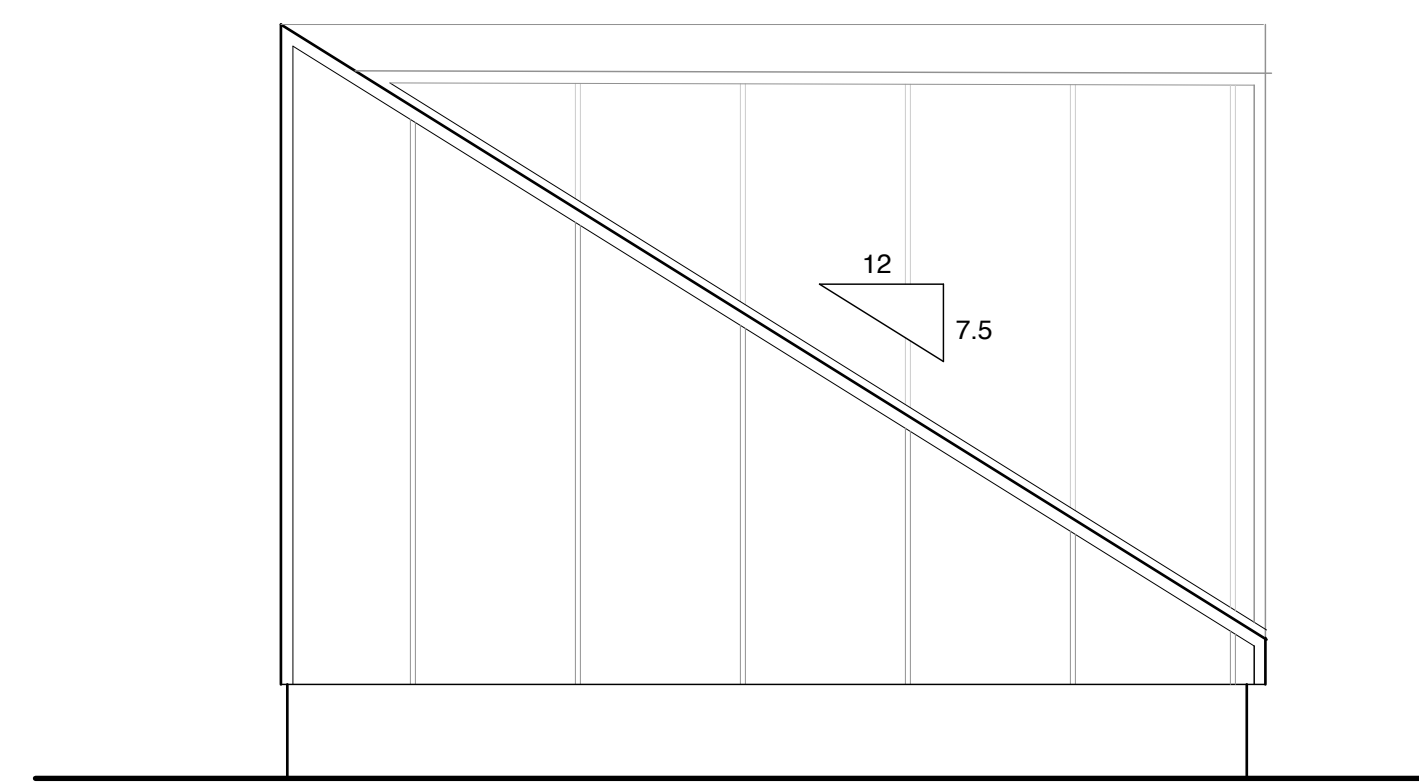
General Notes
New wall construction
See A2.2 for typ. walls
Verify all dimensions in the field. Notify
Architect of significant discrepancies.



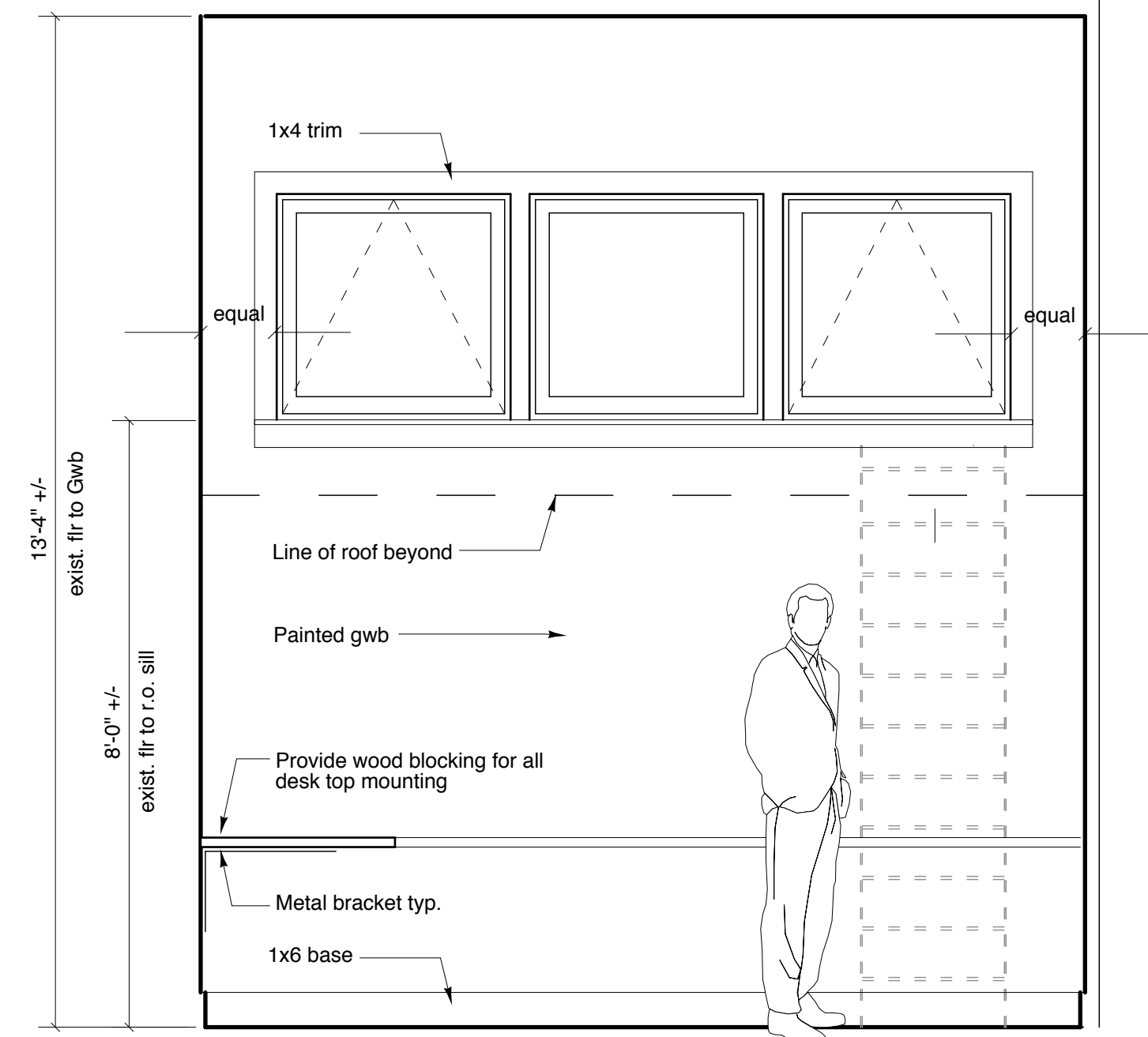
6 Section
SCALE: 1/2" = 1'-0"



6a Plan Detail - Roof door
SCALE: 3/4" = 1'-0"



4 East Elevation
SCALE: 1/2" = 1'-0"



7 Study - North Elevation
SCALE: 1/2" = 1'-0"

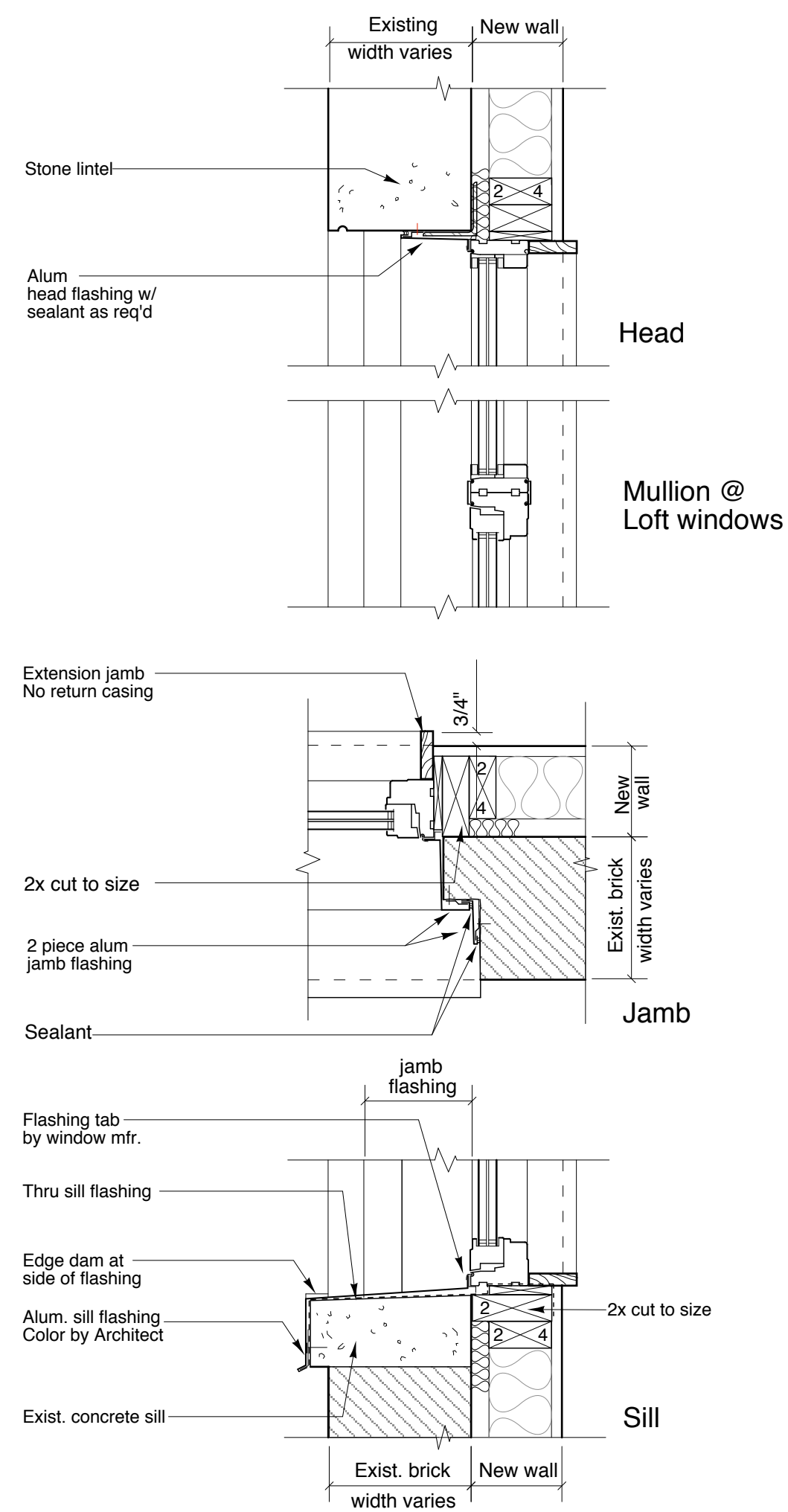
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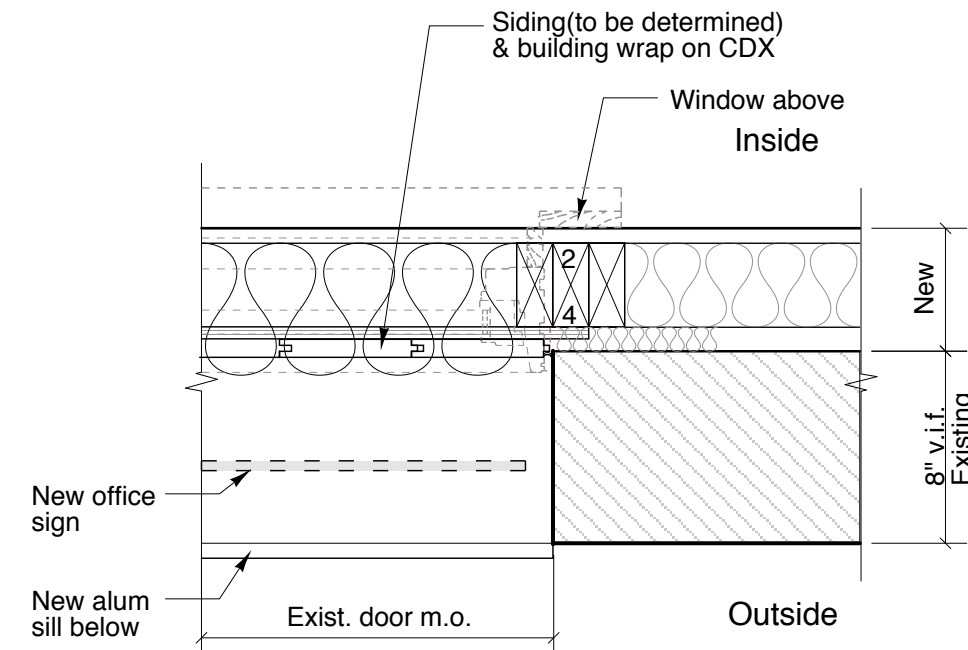
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Study / Roof Light Details
File Name: A3.2 RoofDetails
Project No. 2006-08
Scale: As Noted
Date: 12.15.06
Revised:

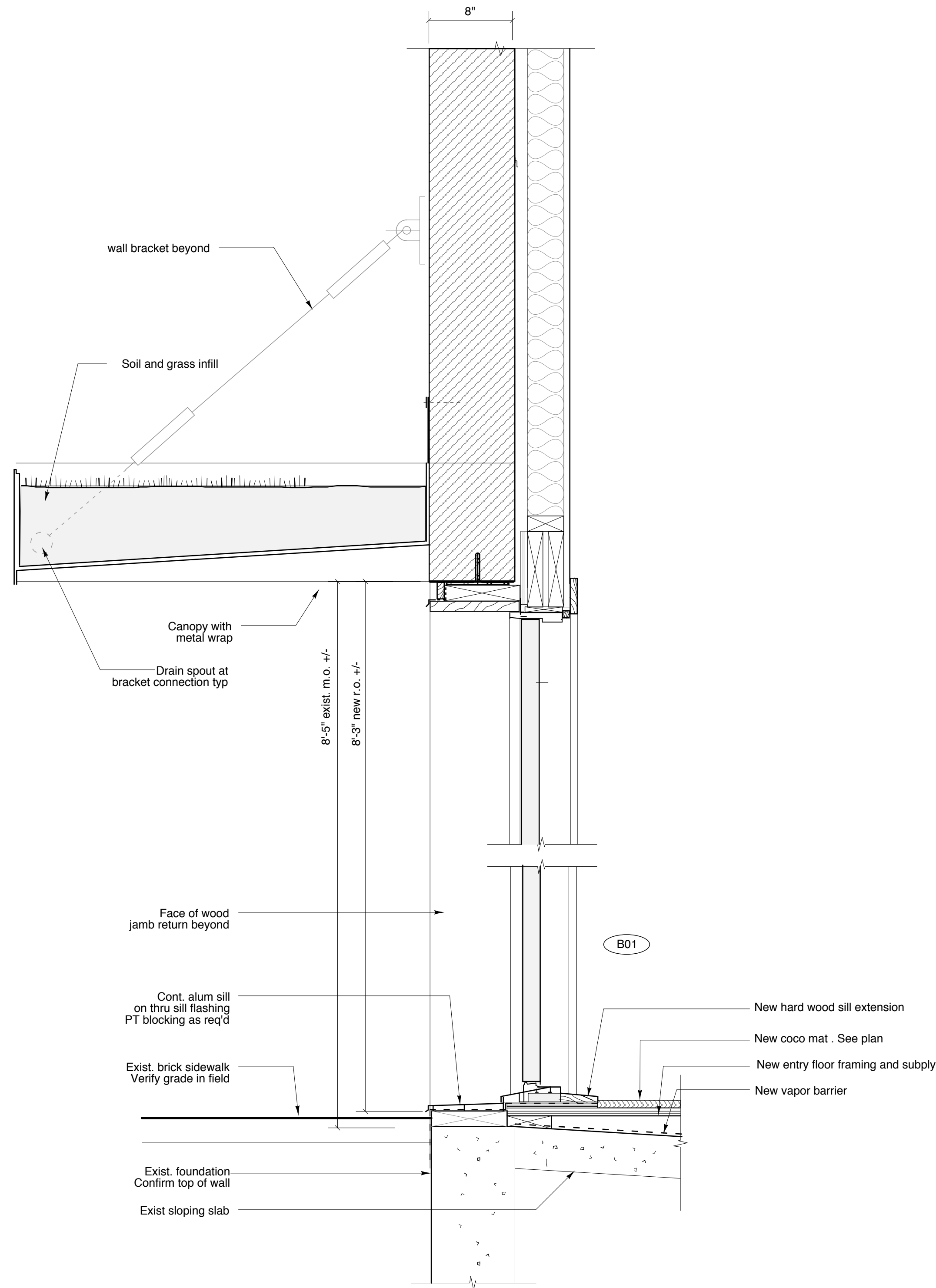
A3.1



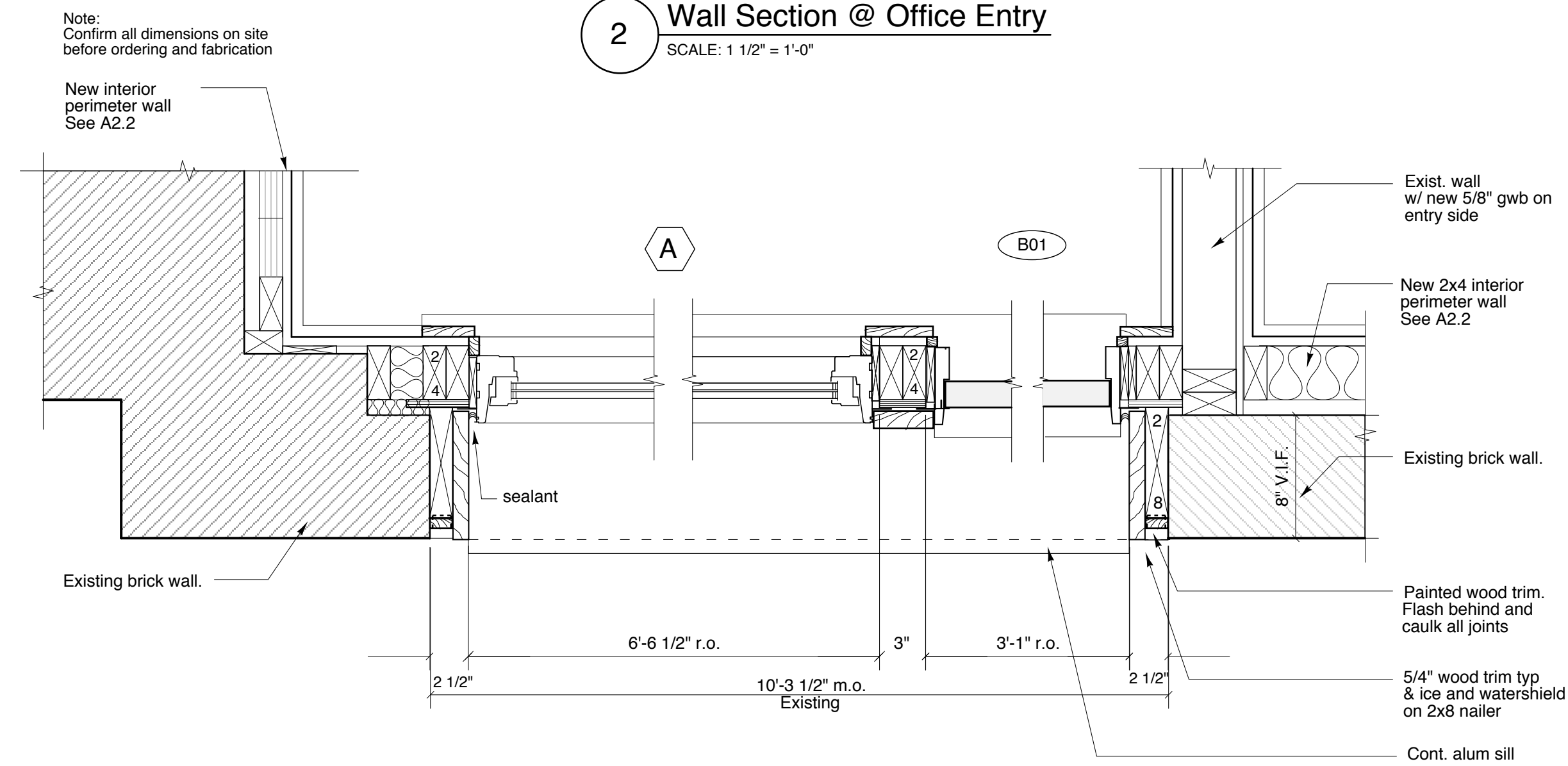
3 Typ. Window Details
SCALE: 1 1/2" = 1'-0"



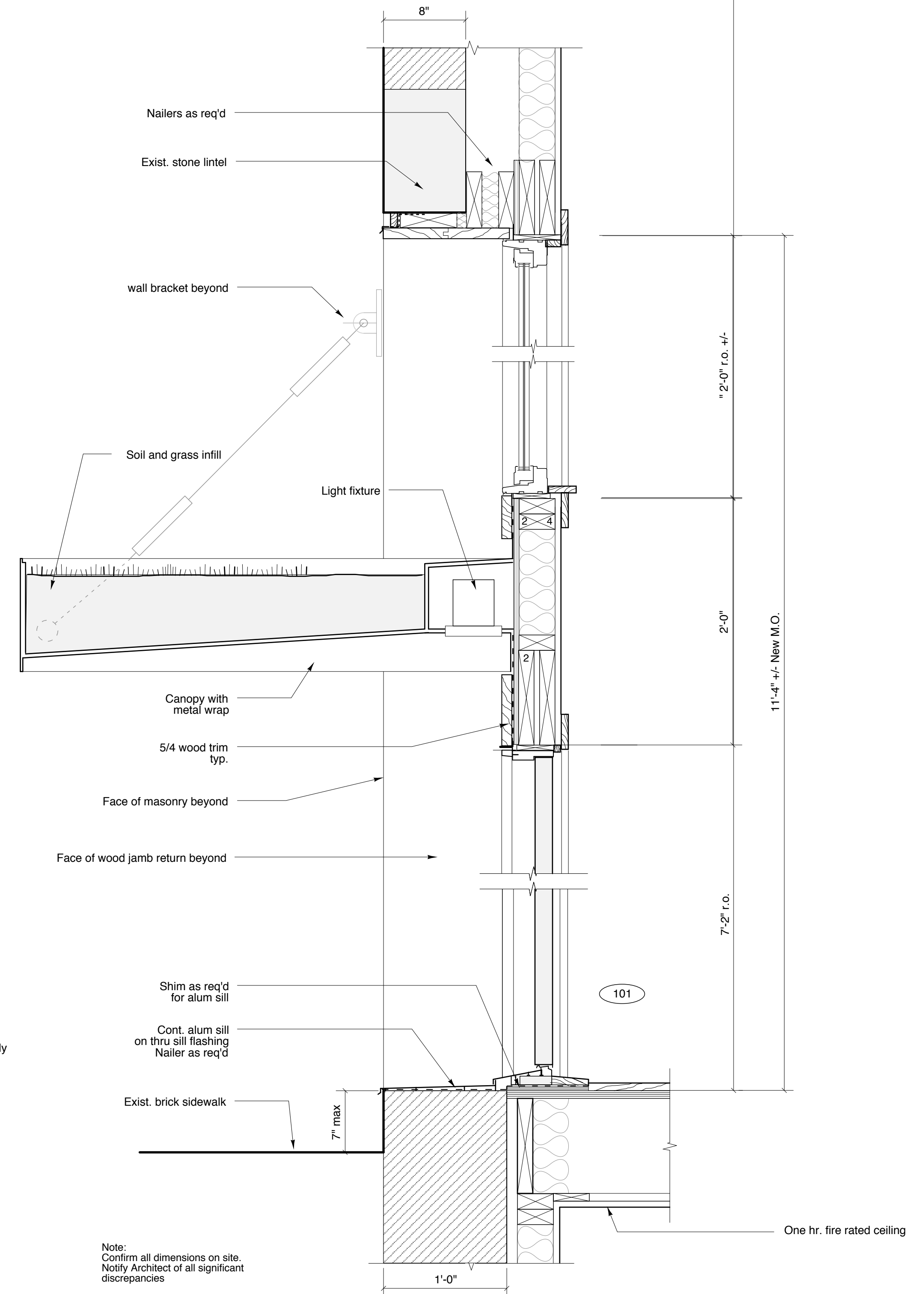
4 Jamb Detail @ Door Infill
SCALE: 1 1/2" = 1'-0"



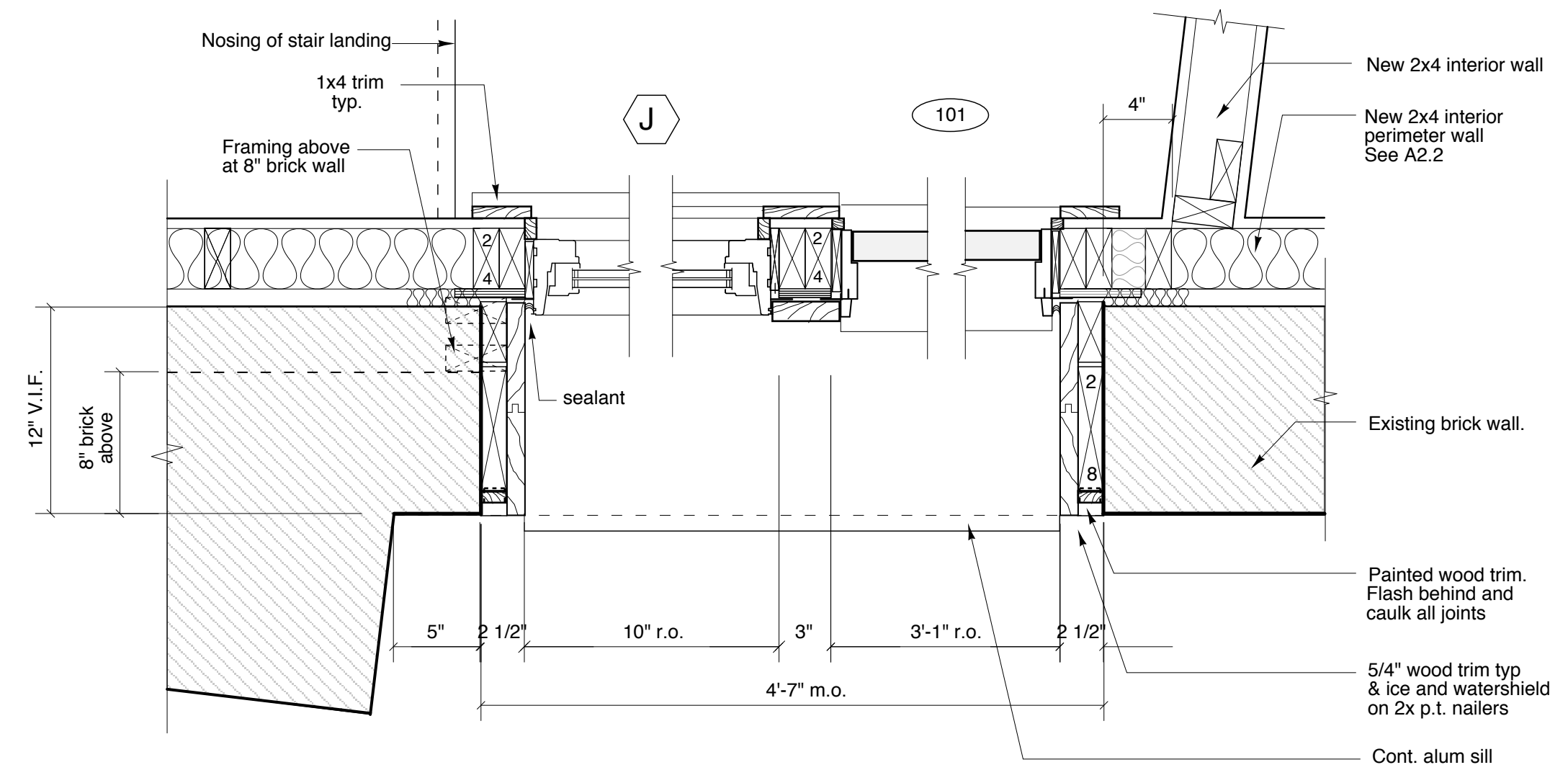
2 Wall Section @ Office Entry
SCALE: 1 1/2" = 1'-0"



2A Plan Detail @ Office Entry
SCALE: 1 1/2" = 1'-0"



1 Wall Section @ Loft Entry
SCALE: 1 1/2" = 1'-0"



1A Plan Detail @ Loft Entry
SCALE: 1 1/2" = 1'-0"

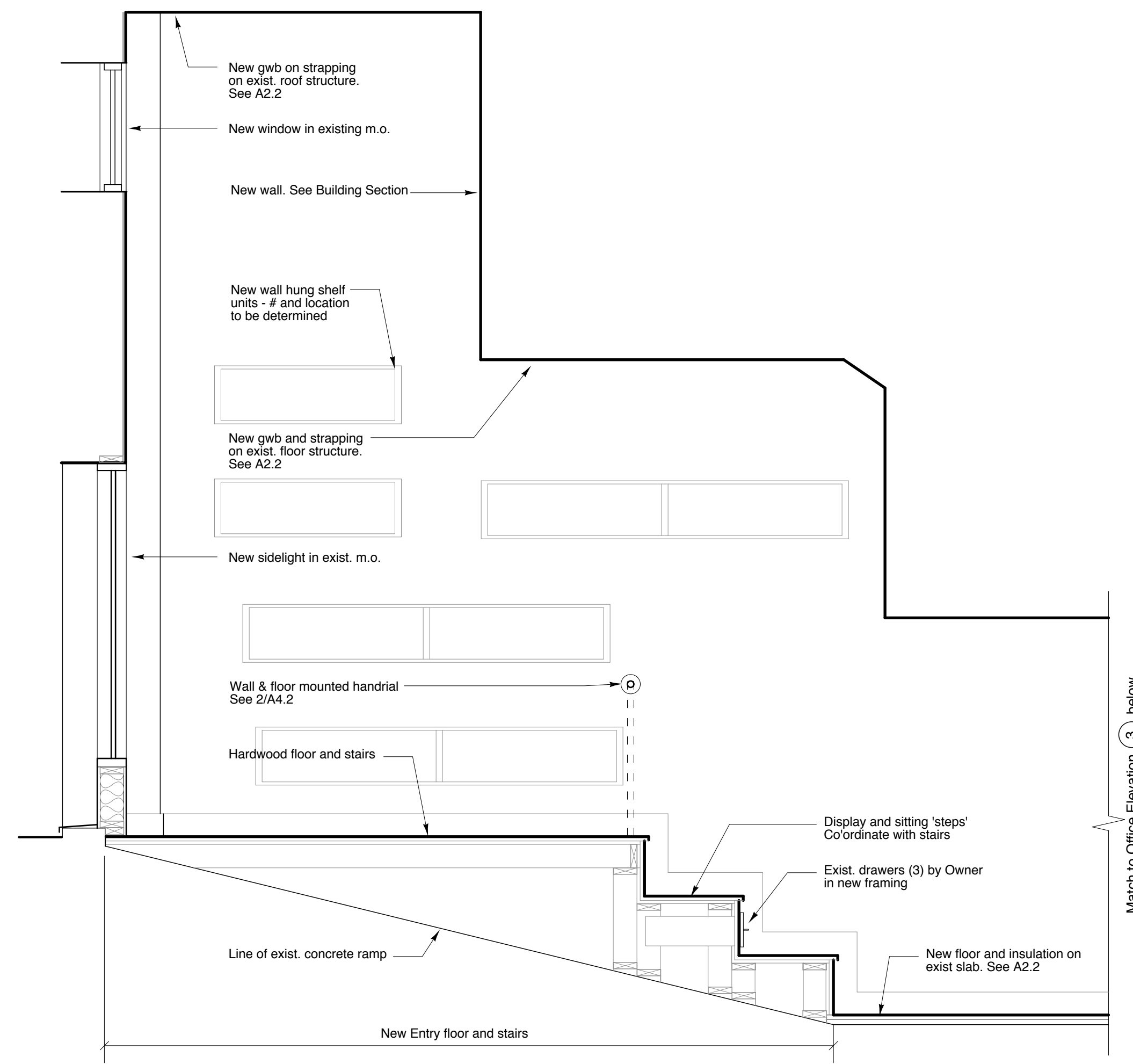
Richard Renner/Architects
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508.651.0911 fax

Consultants:
61 Pleasant Street
Suite 105
Portland, ME 04101
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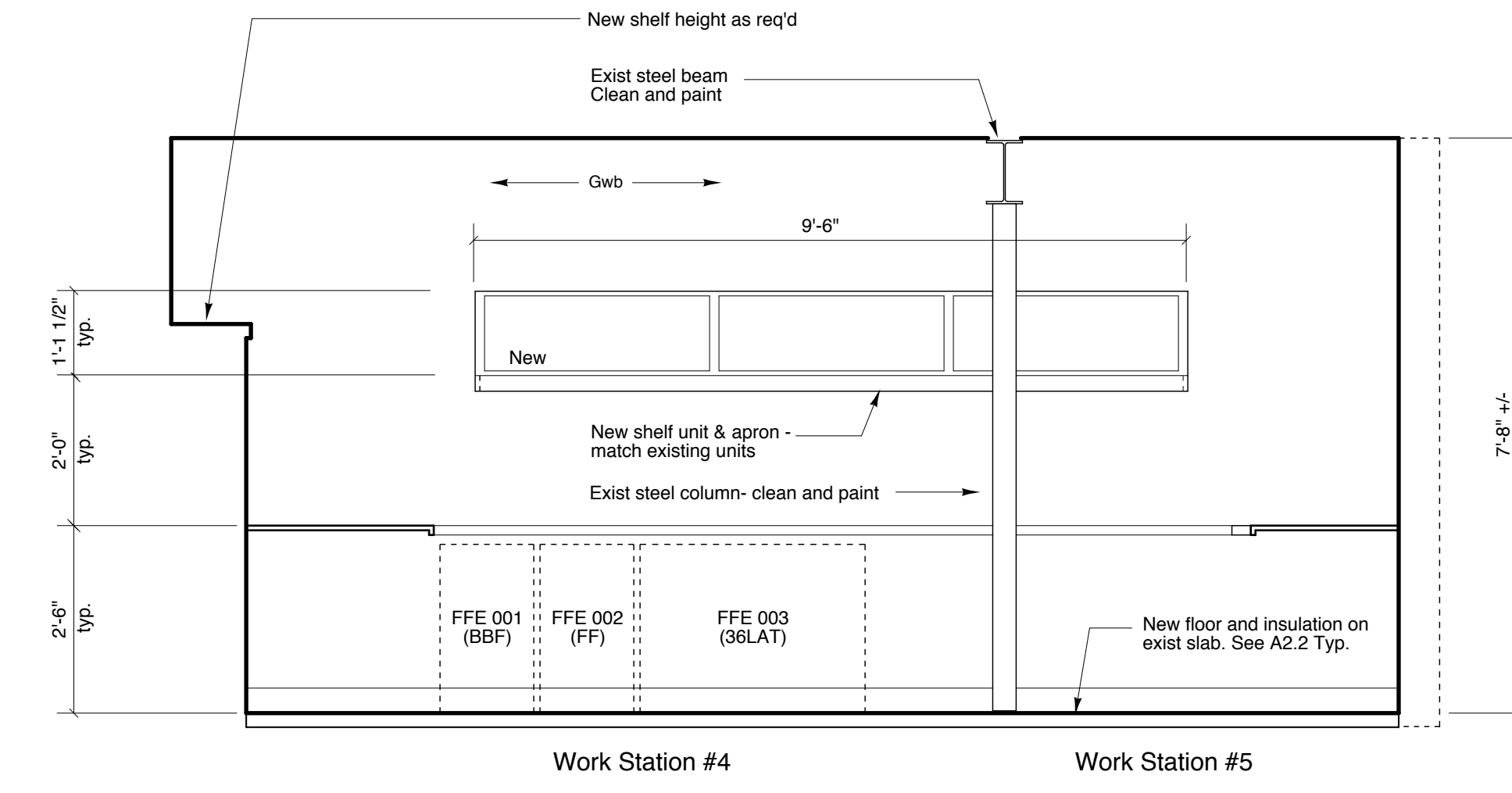
**35 Pleasant Street
Office and Loft Renovation**
35 Pleasant Street
Portland, Maine

Details - Storefronts
File Name: A3.2 RoofDetails
Project No. 2006-08
Scale: As Noted
Date: 12.15.06
Revised:

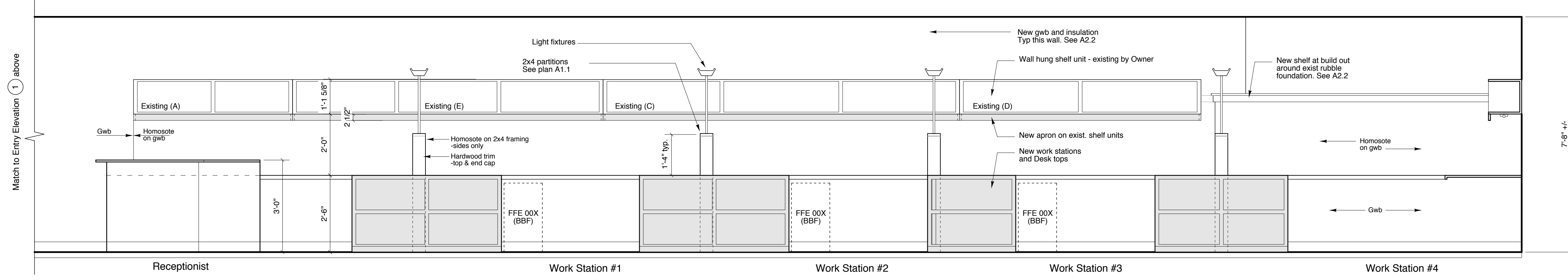
A3.2



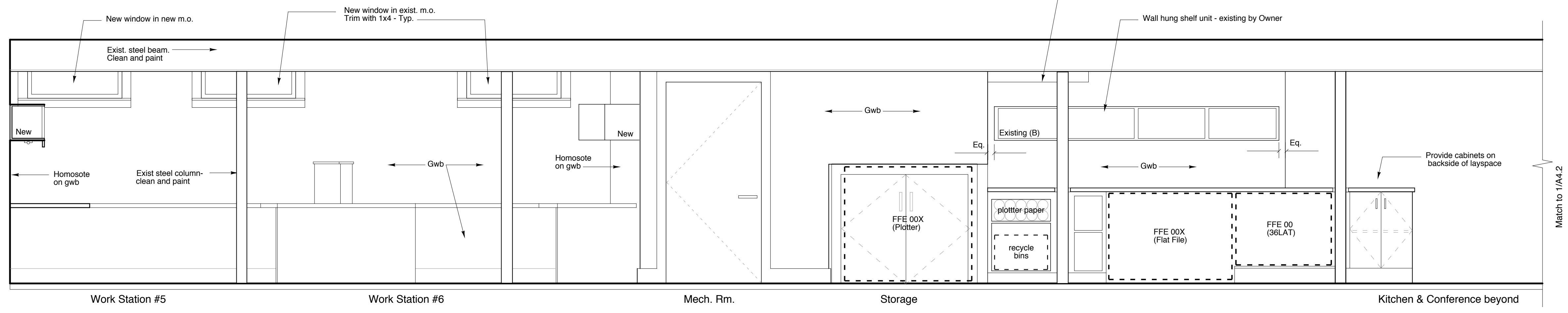
1 West Elevation - Office Entry
SCALE: 1/2" = 1'-0"



2 North Elevation - Office
SCALE: 1/2" = 1'-0"



3 West Elevation - Office
SCALE: 1/2" = 1'-0"



4 East Elevation - Office
SCALE: 1/2" = 1'-0"

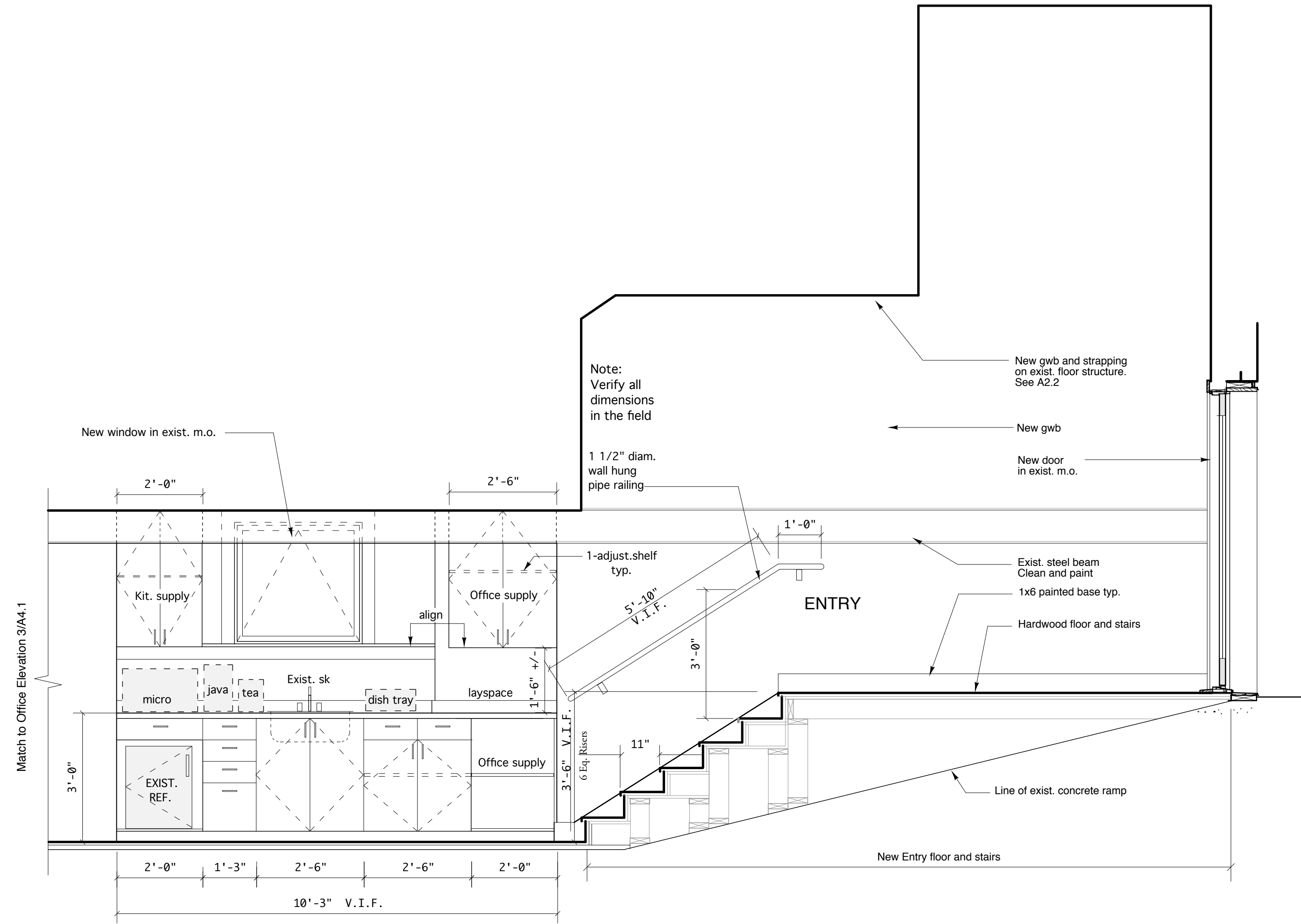
Richard Renner/Architects
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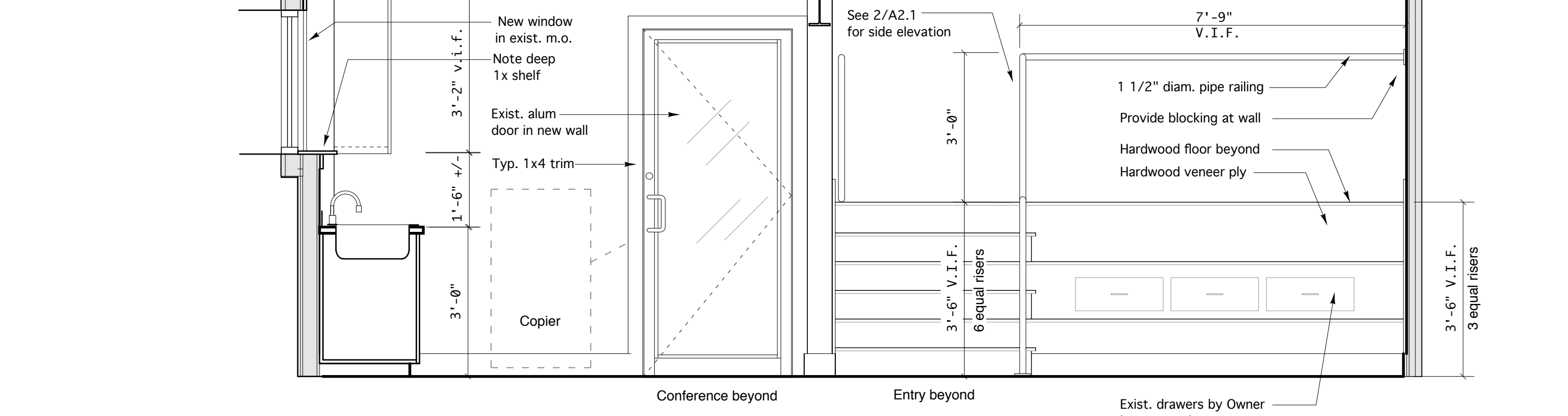
**35 Pleasant Street
Office and Loft Renovation**
35 Pleasant Street
Portland, Maine

**Interior Elevations
Lower Level Office**
File Name: A4.1 InteriorElev
Project No. 2006-08
Scale: 1/2" = 1'-0"
Date: 12.15.06
Revised:

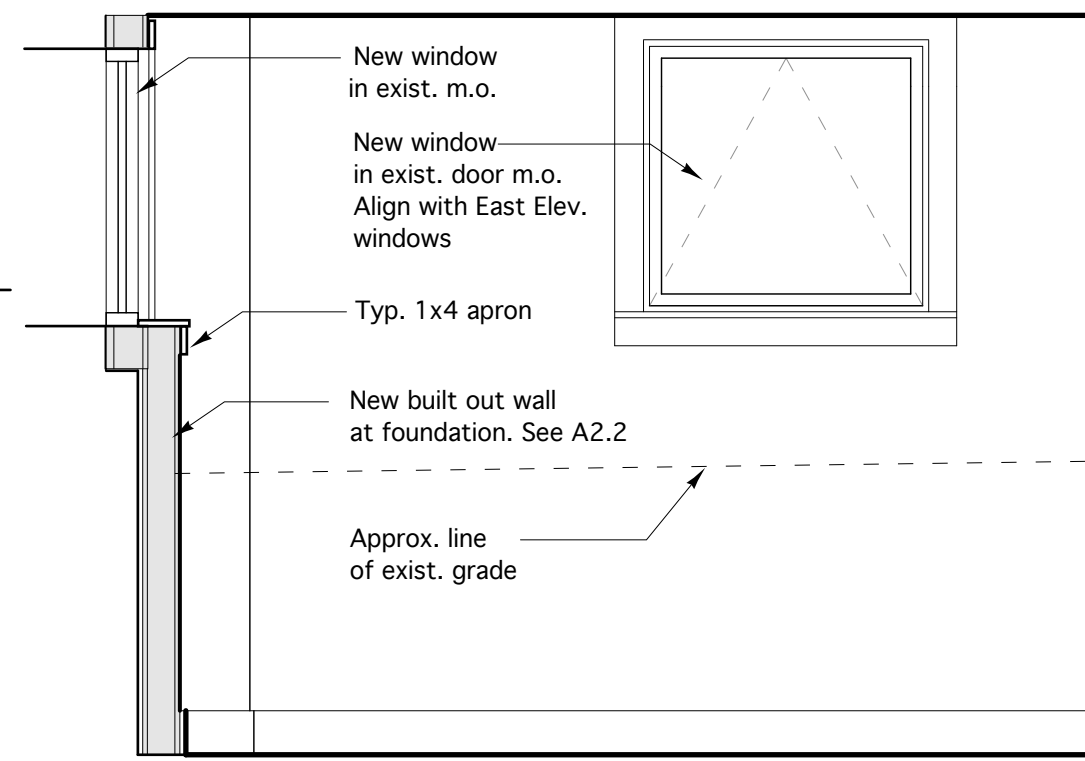
A4.1



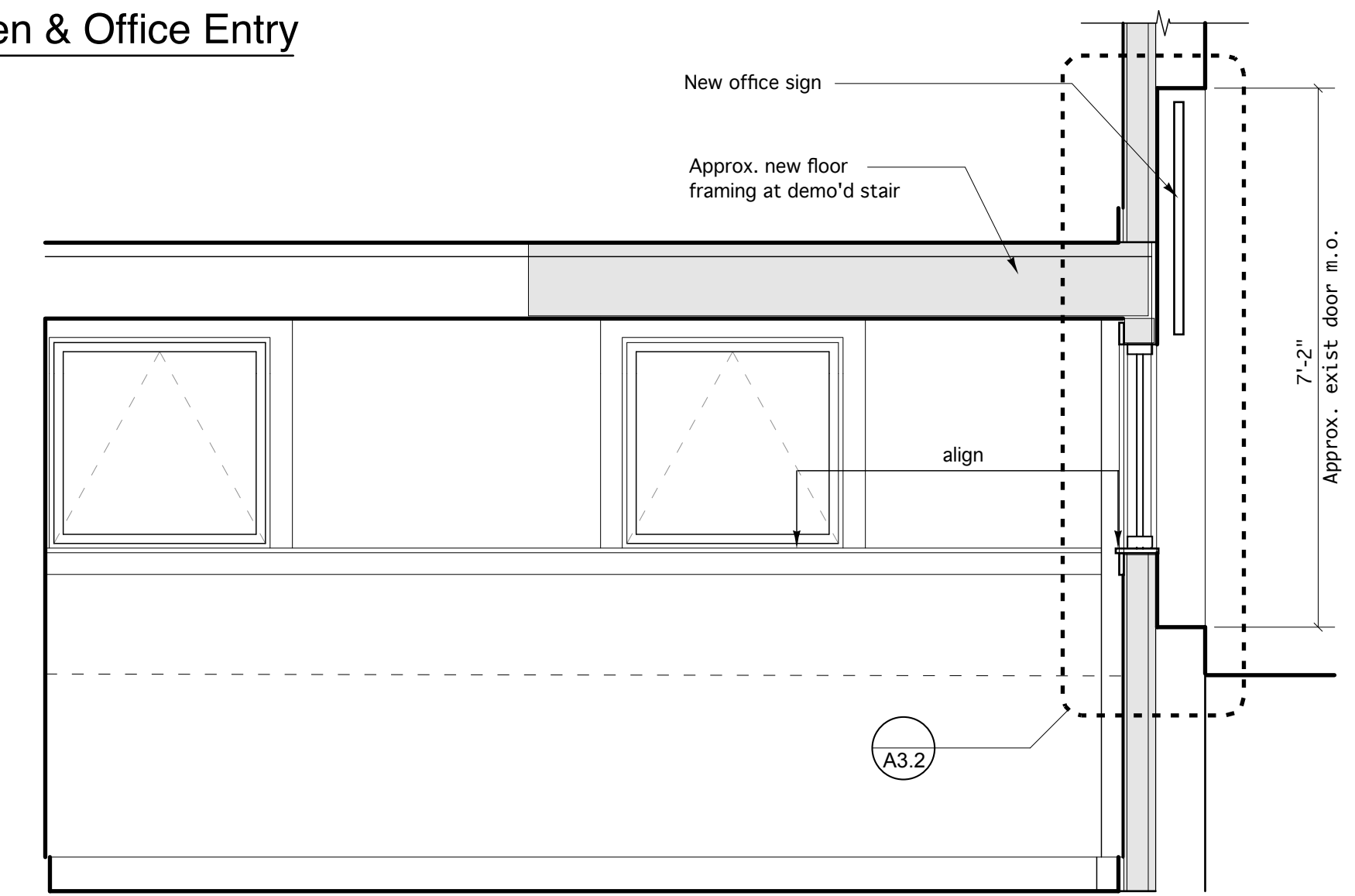
1 East Elevation - Kitchen & Office Entry
SCALE: 1/2" = 1'-0"



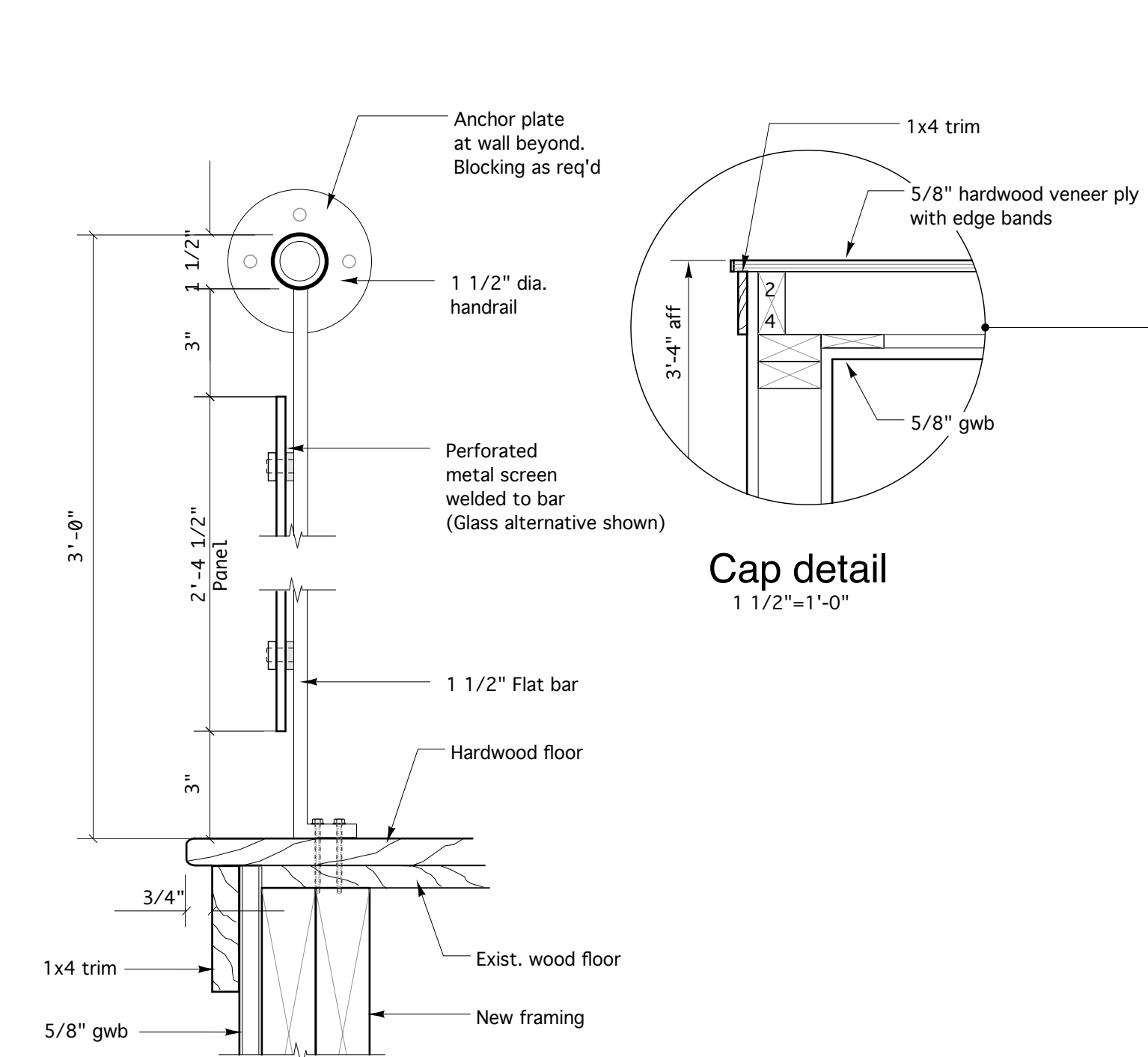
2 South Elevation - Kitchen & Office Entry
SCALE: 1/2" = 1'-0"



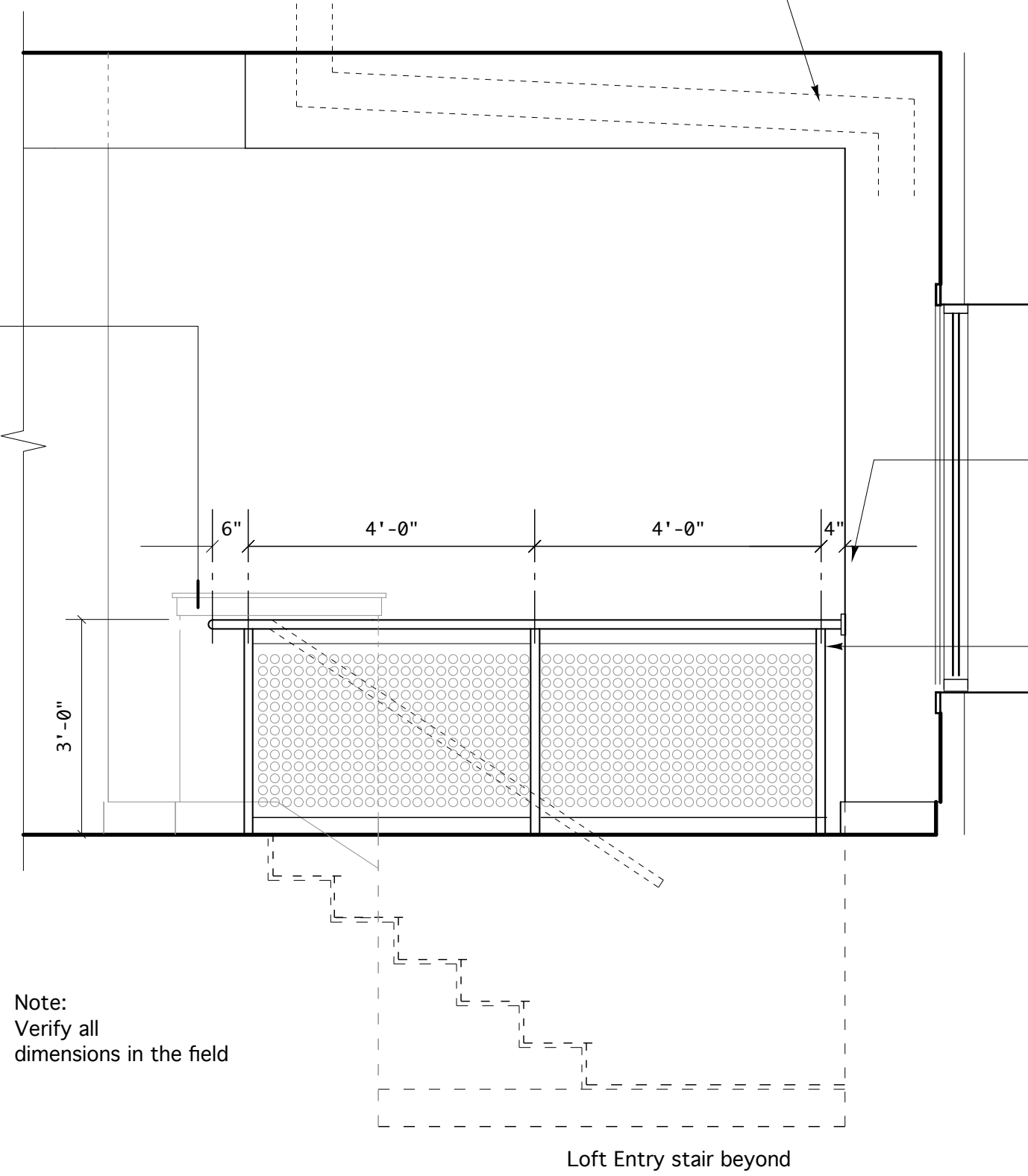
3 South Elevation - Conference Room
SCALE: 1/2" = 1'-0"



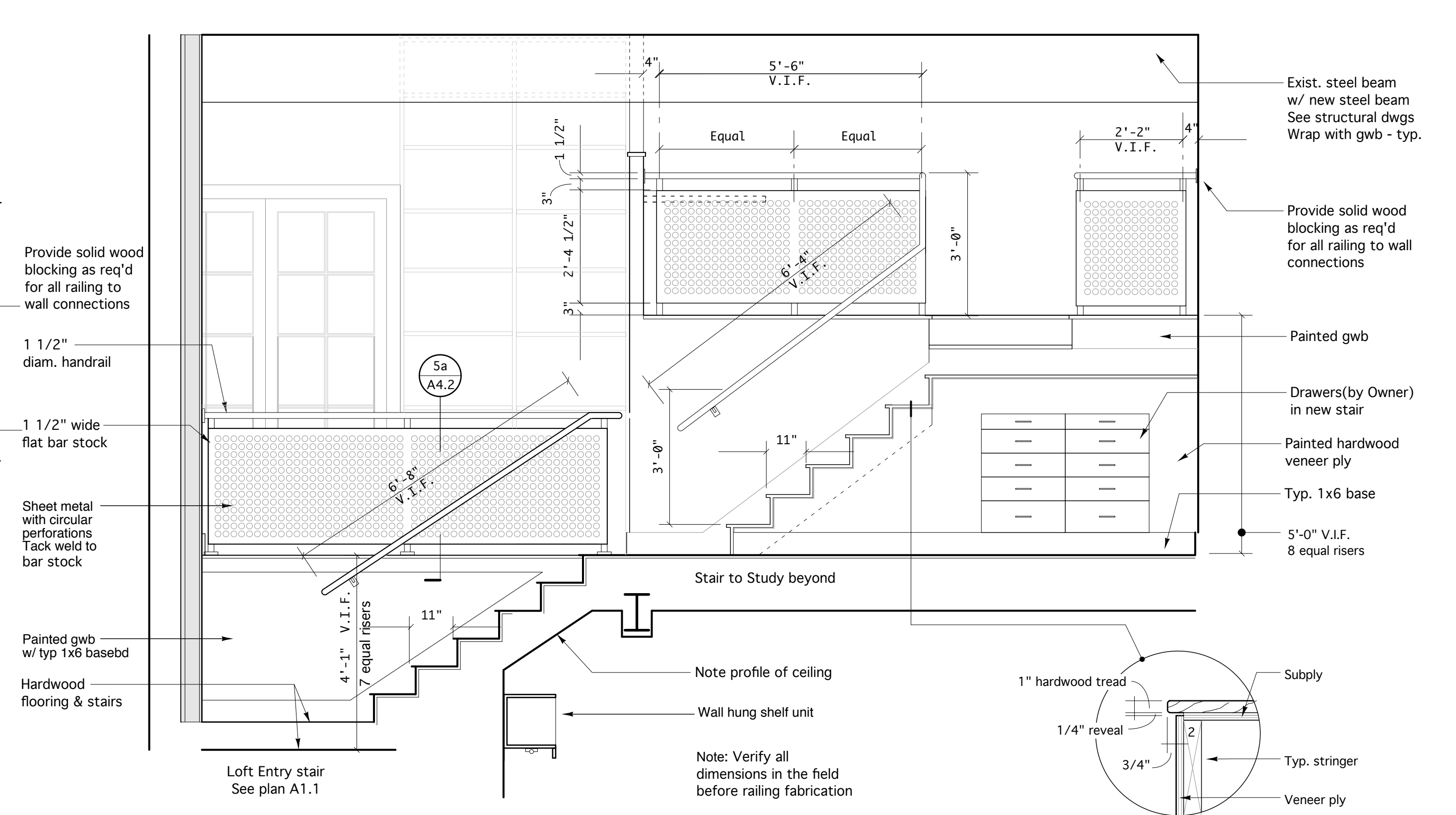
4 East Elevation - Conference Room
SCALE: 1/2" = 1'-0"



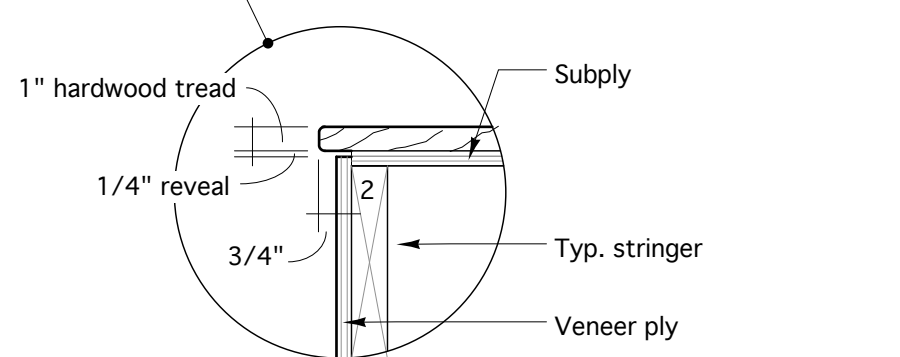
5a Typ. Railing Screen
SCALE: 3" = 1'-0"



5 North Elevation - Living Room
SCALE: 1/2" = 1'-0"



6 South Elevation - Loft Entry / Study Beyond
SCALE: 1/2" = 1'-0"



Tread detail

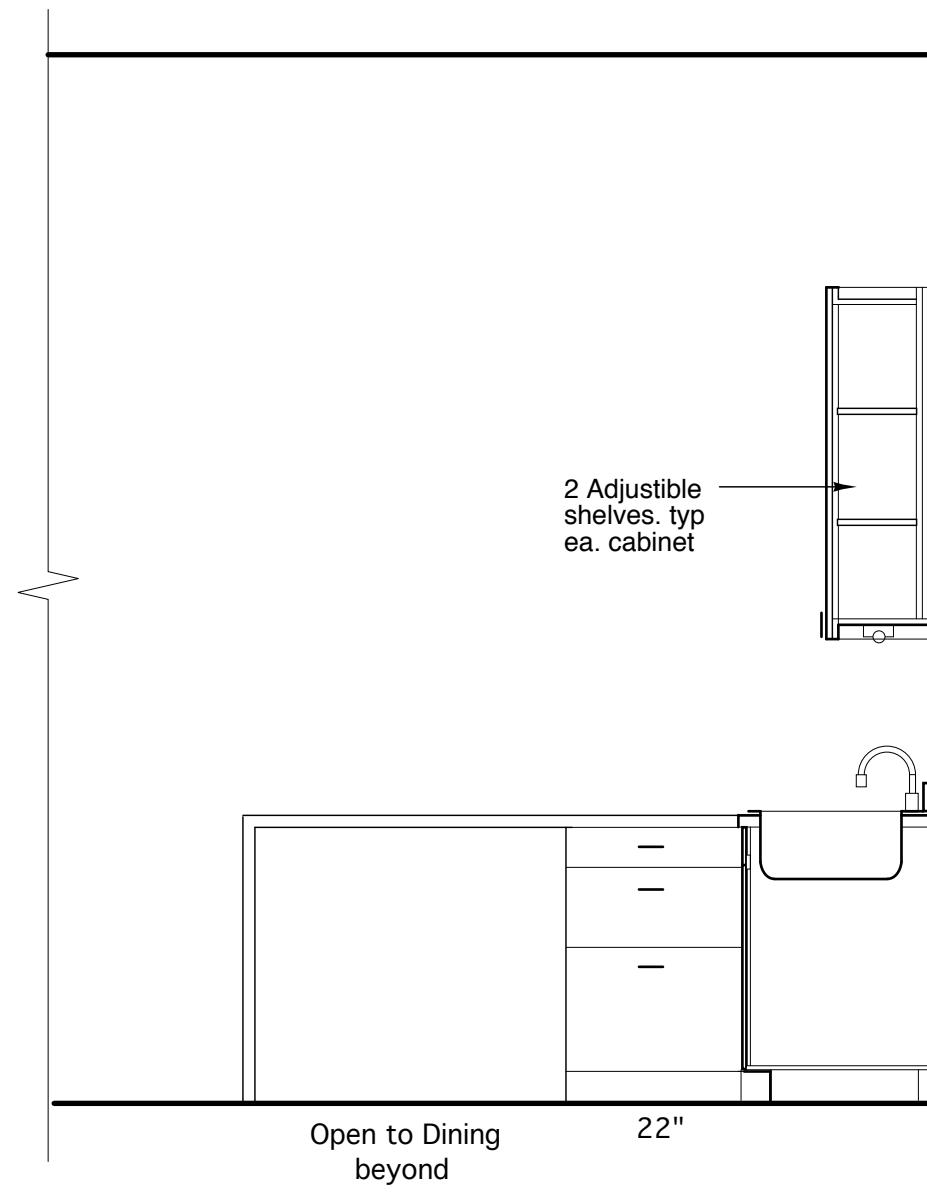
Richard Renner/Architects
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**35 Pleasant Street
Office and Loft Renovation**

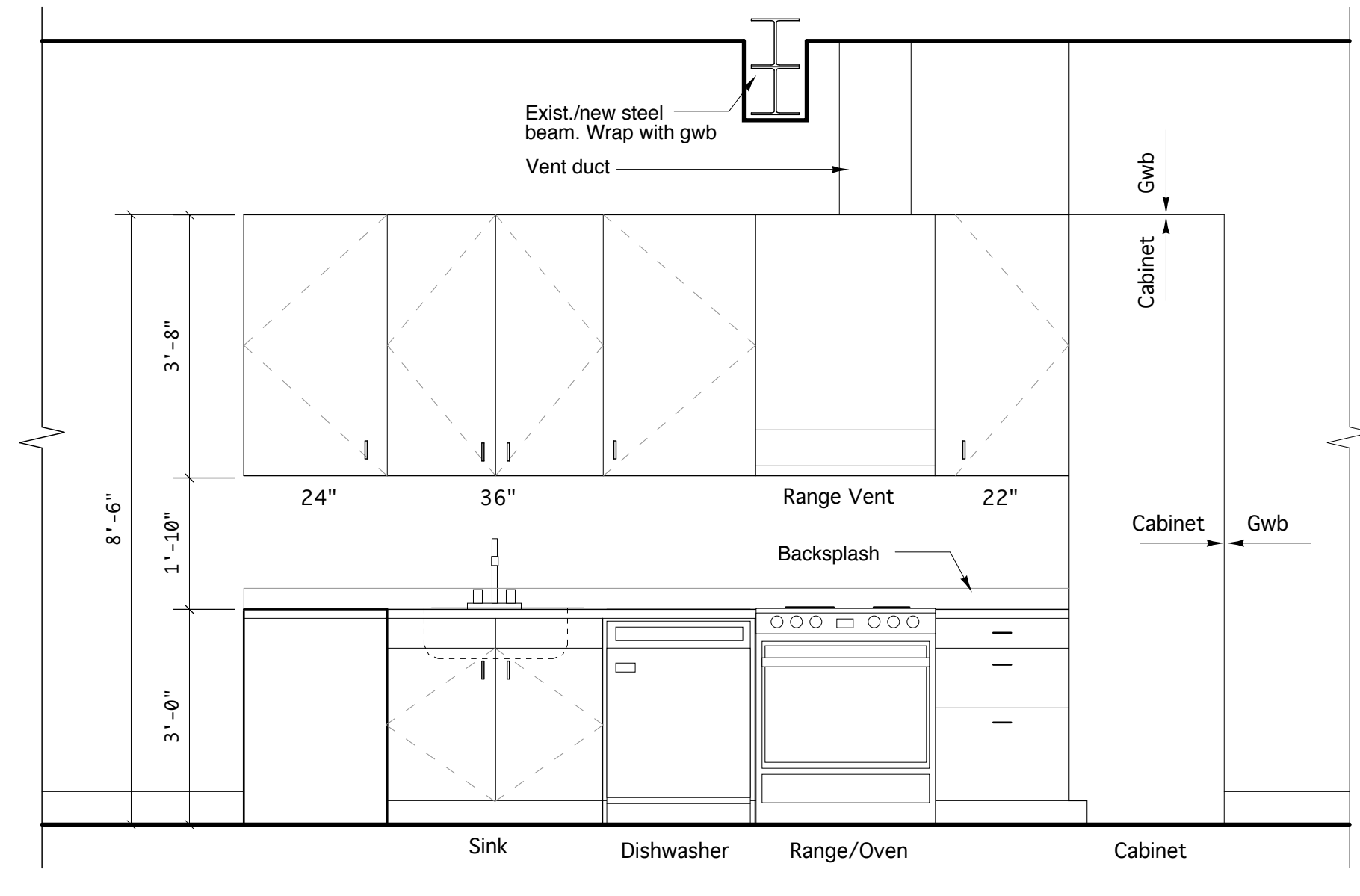
**Interior Elevations
Lower Level Office**

File Name: A4.2 Interior Elev
Project No. 2006-08
Scale: 1/2" = 1'-0"
Date: 12.15.06
Revised:

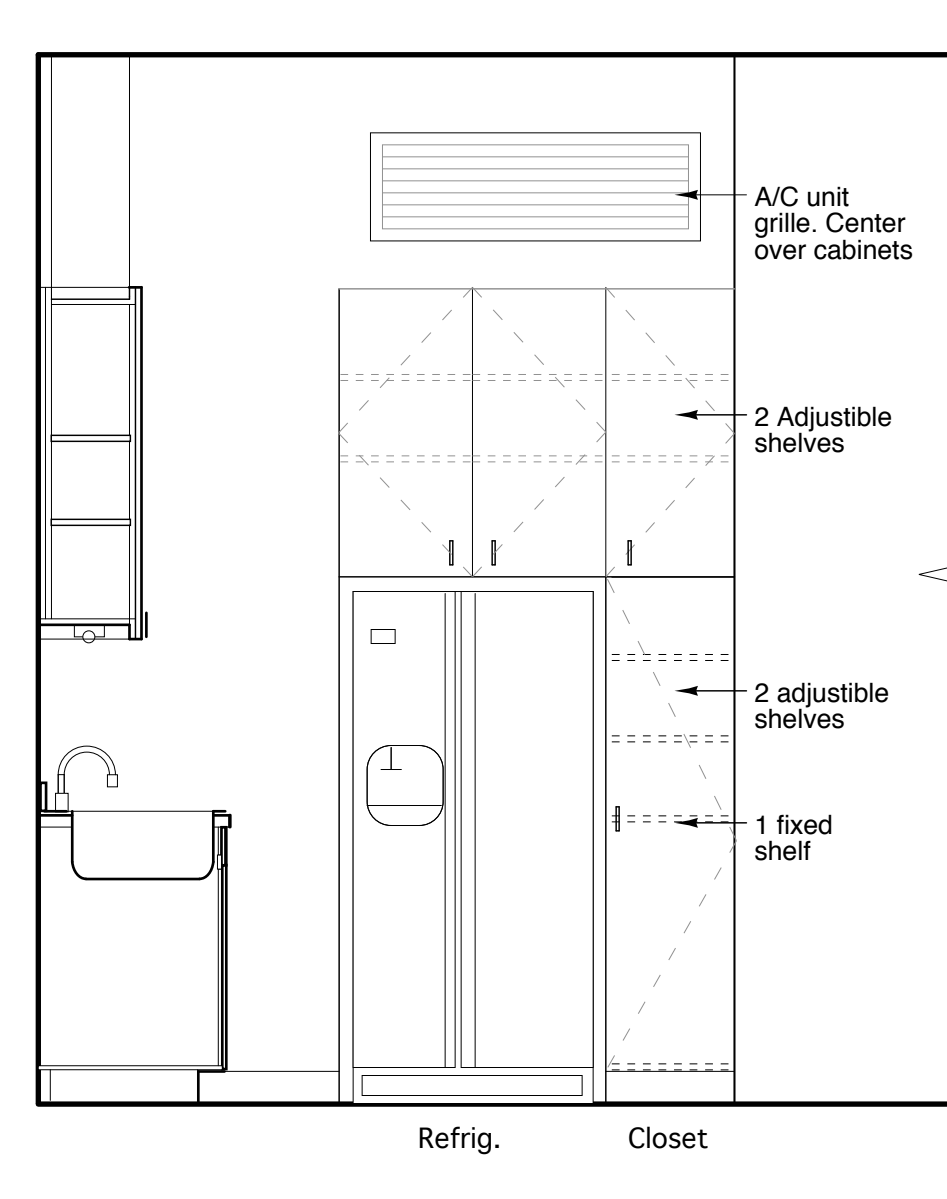
A4.2



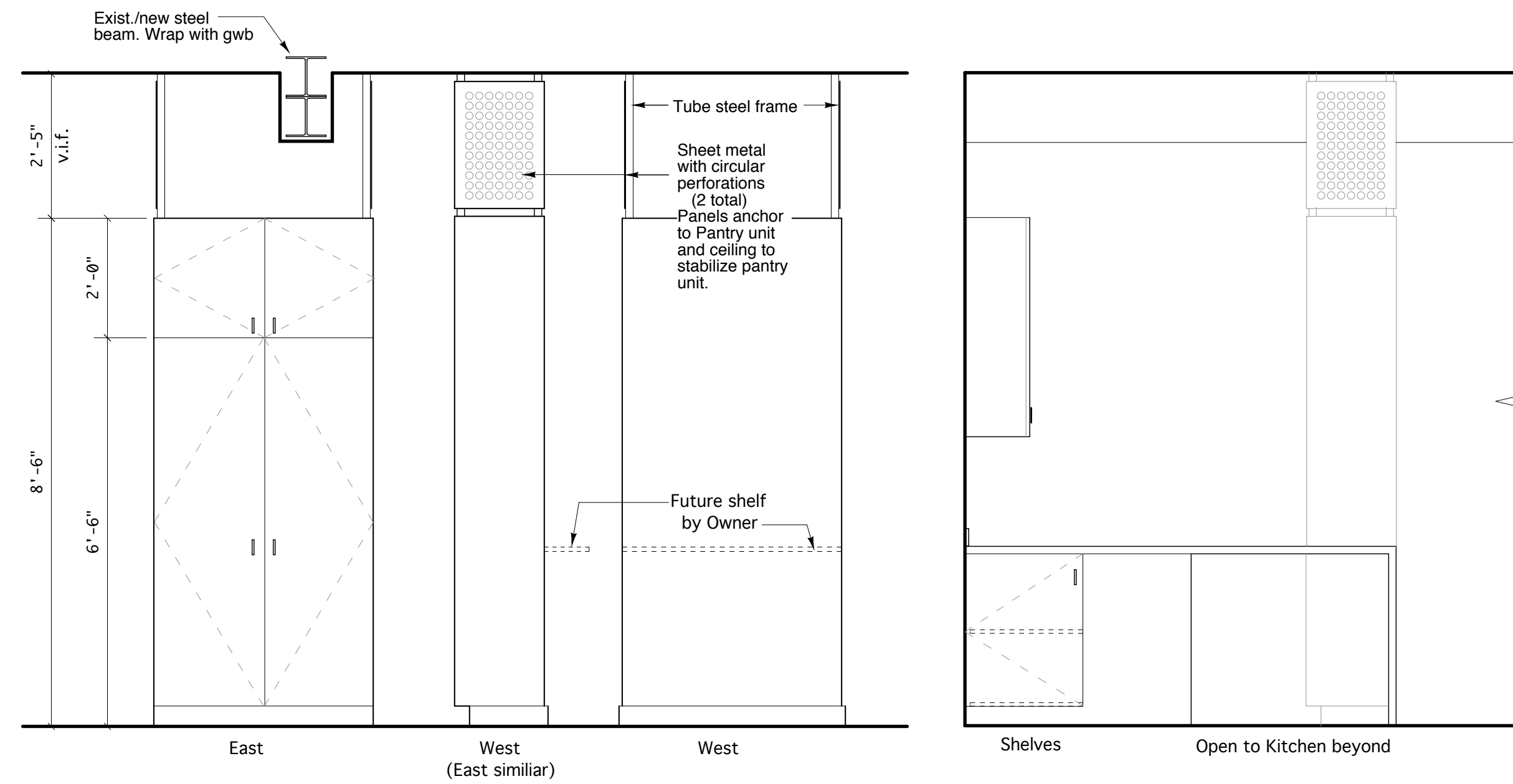
1 South Elevation - Kitchen
SCALE: 1/2" = 1'-0"



2 West Elevation - Kitchen
SCALE: 1/2" = 1'-0"

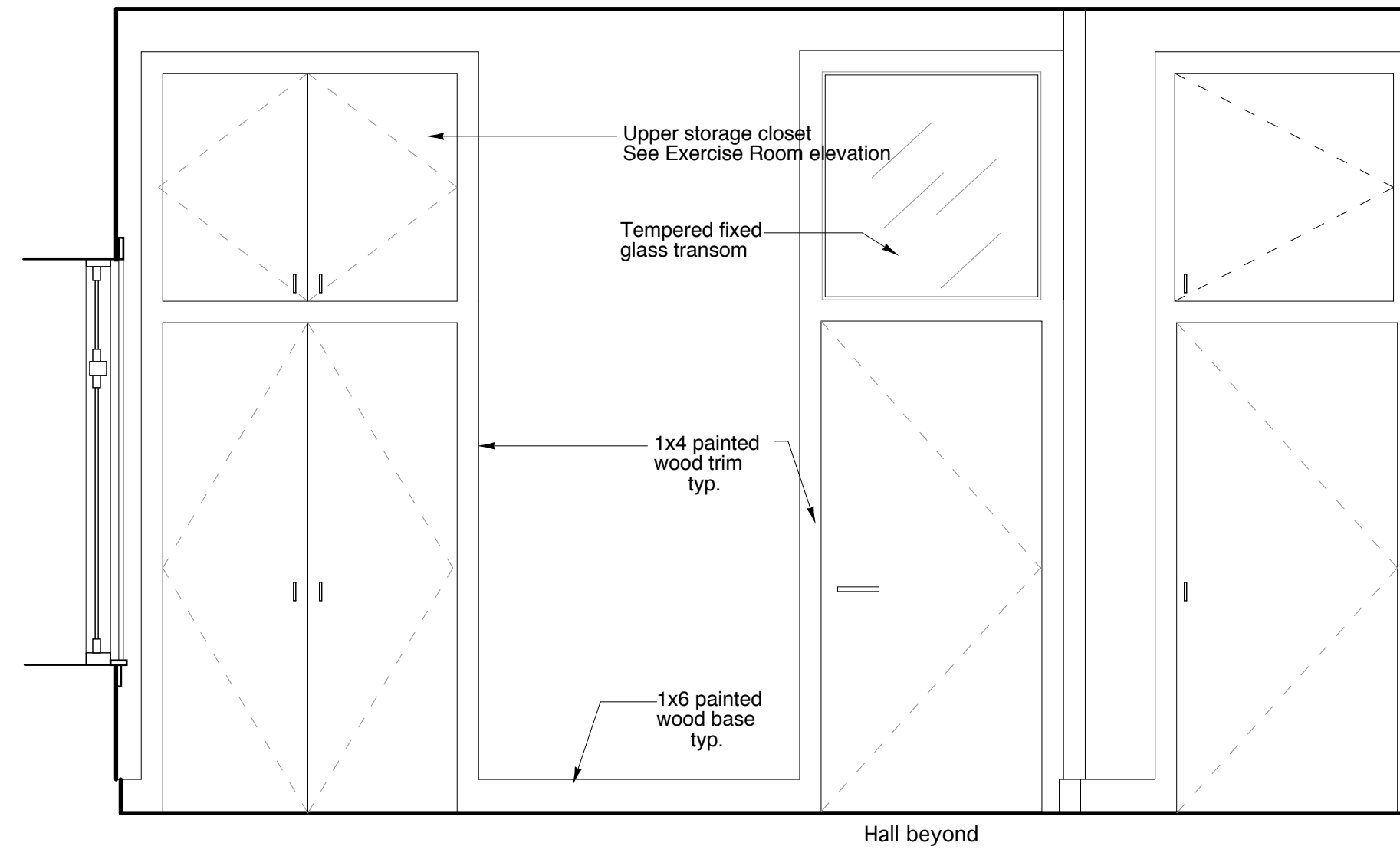


3 North Elevation - Kitchen
SCALE: 1/2" = 1'-0"

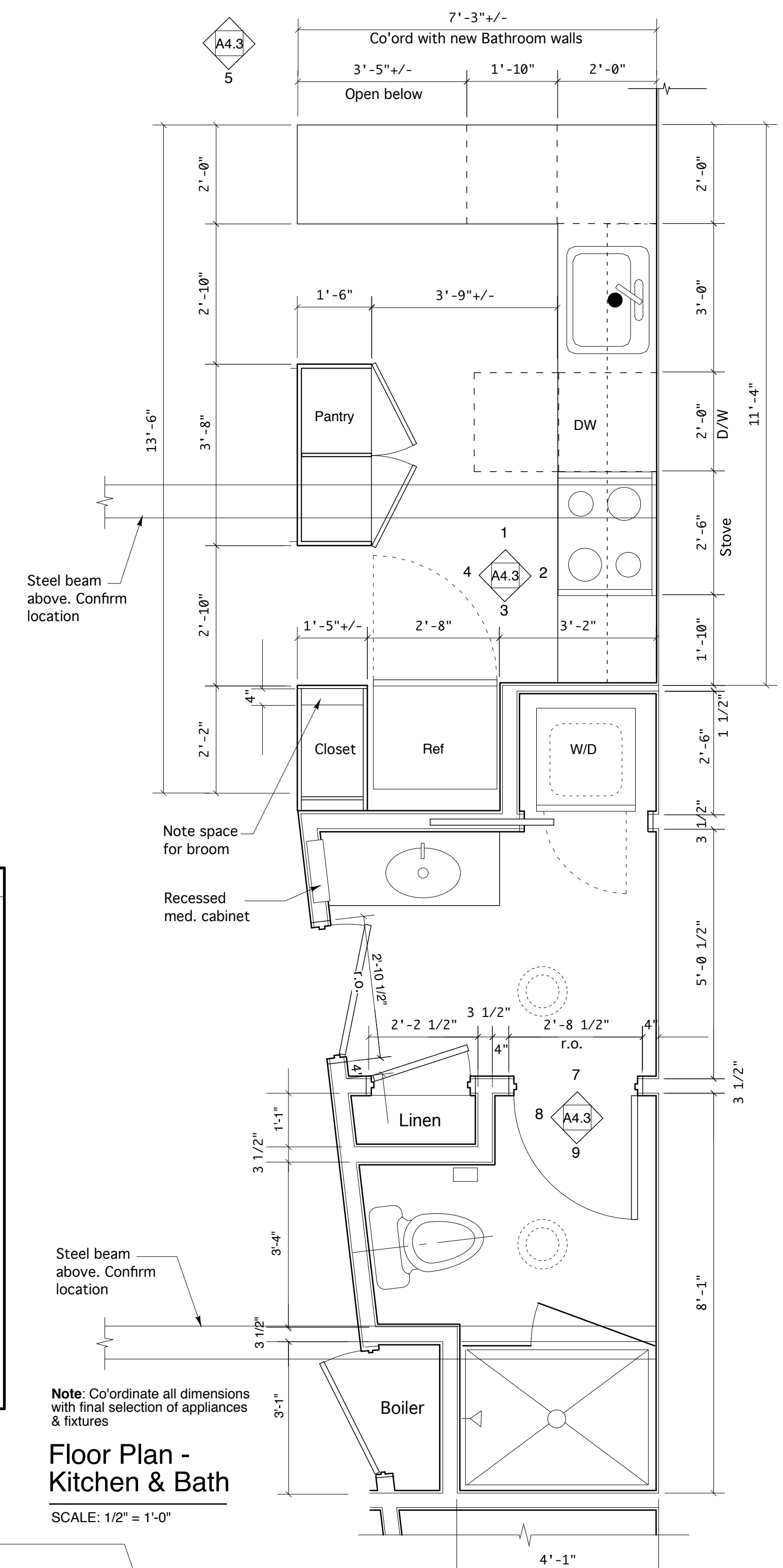


4 Elevations - Pantry
SCALE: 1/2" = 1'-0"

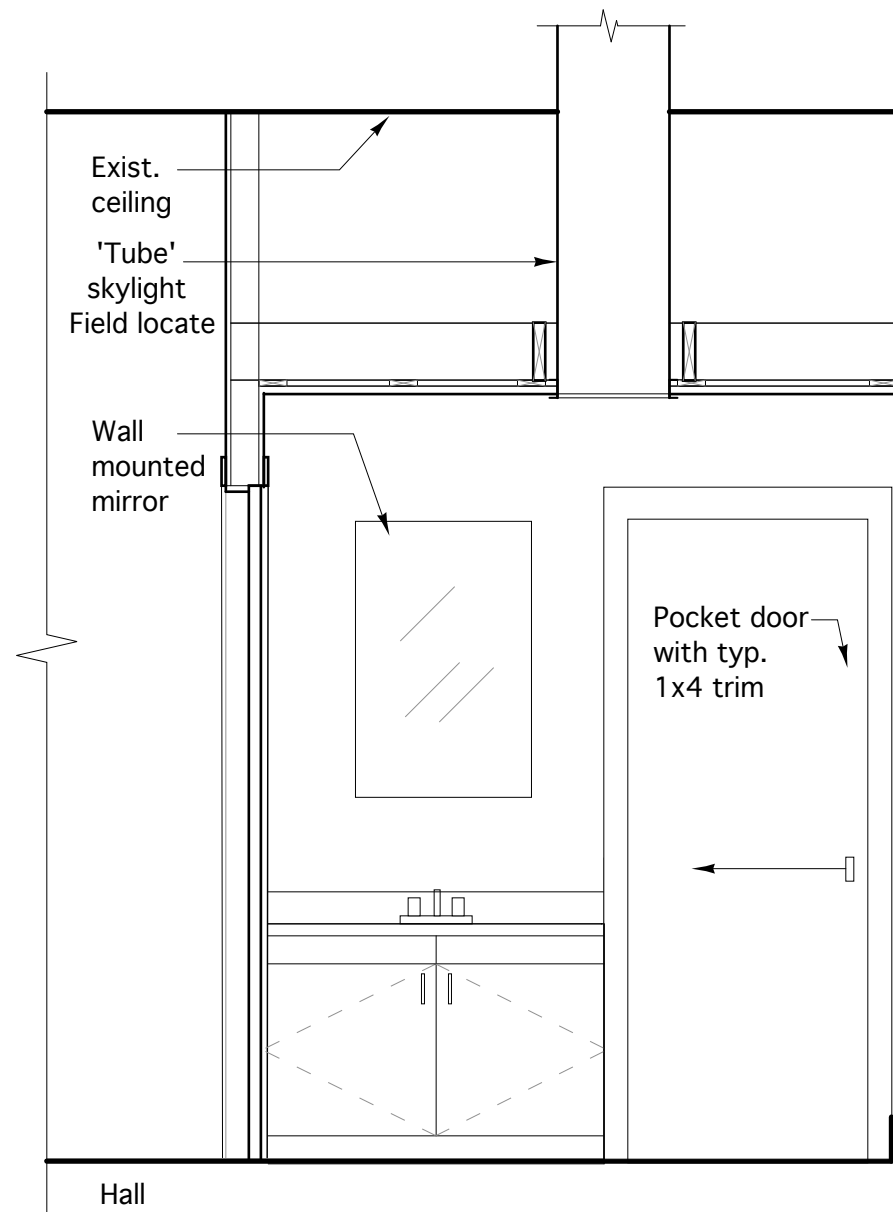
5 North Elevation - Kitchen
SCALE: 1/2" = 1'-0"



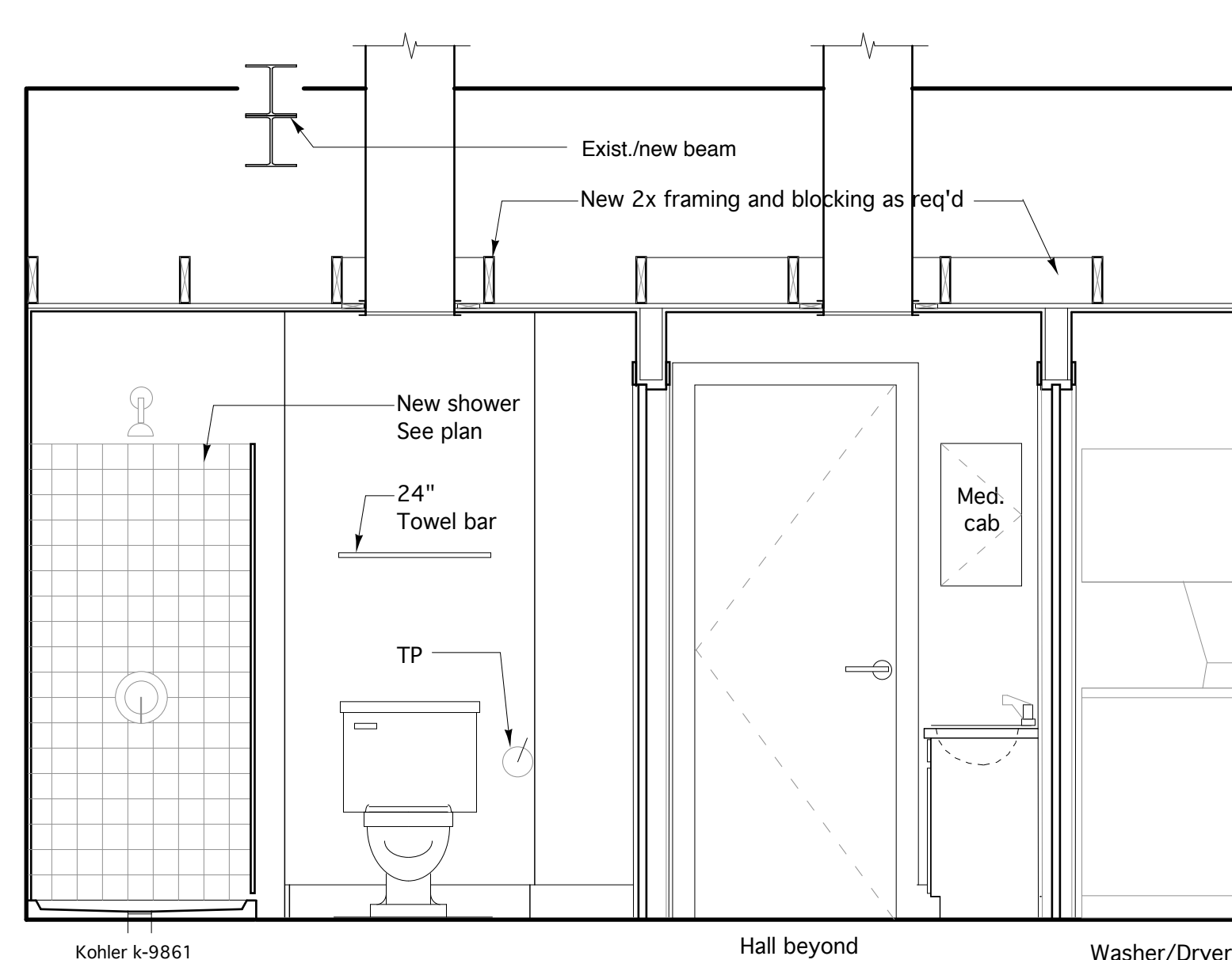
6 South Elevation - Master Bedroom
SCALE: 1/2" = 1'-0"



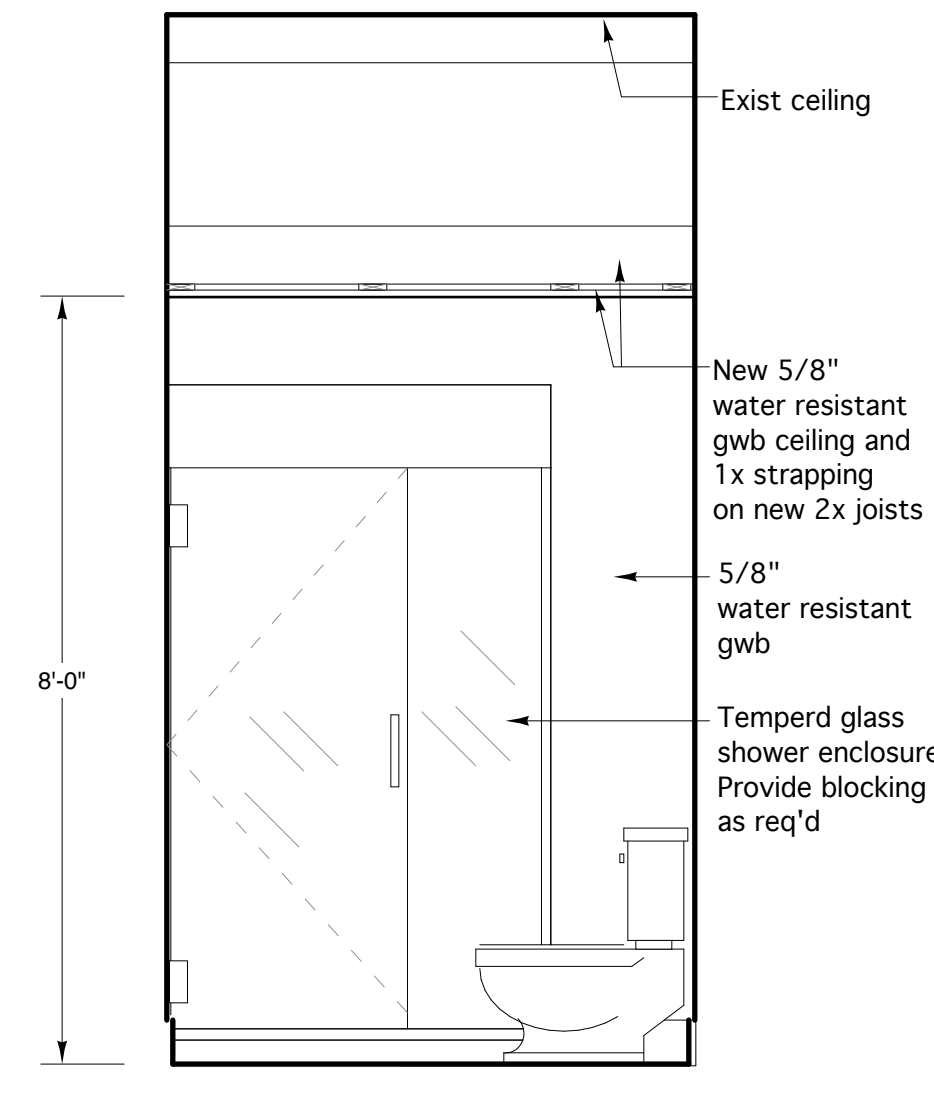
Floor Plan - Kitchen & Bath
SCALE: 1/2" = 1'-0"



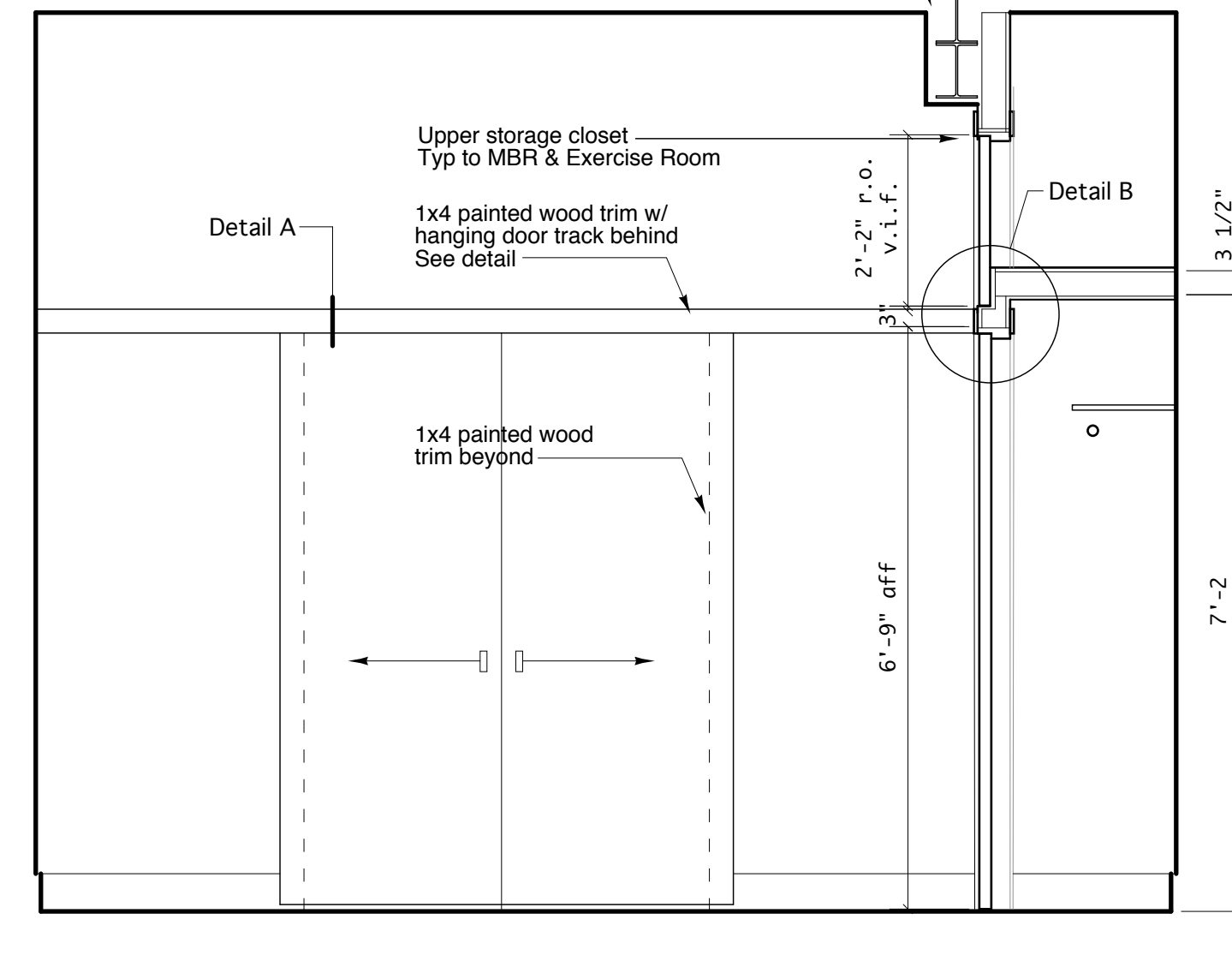
7 South Elevation - Bathroom
SCALE: 1/2" = 1'-0"



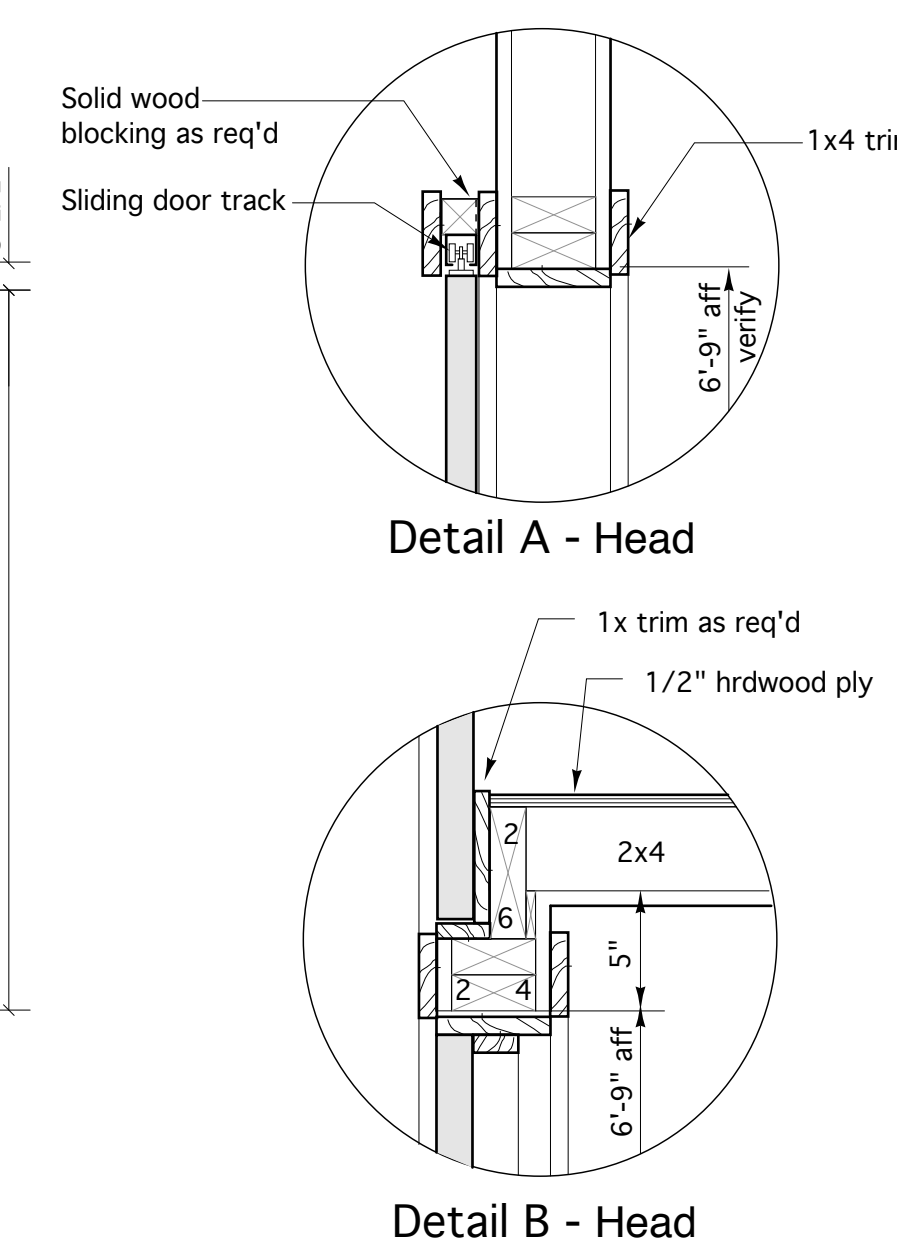
8 West Elevation - Bathroom
SCALE: 1/2" = 1'-0"



9 North Elevation - Bathroom
SCALE: 1/2" = 1'-0"



10 West Elevation - Exercise Room
SCALE: 1/2" = 1'-0"



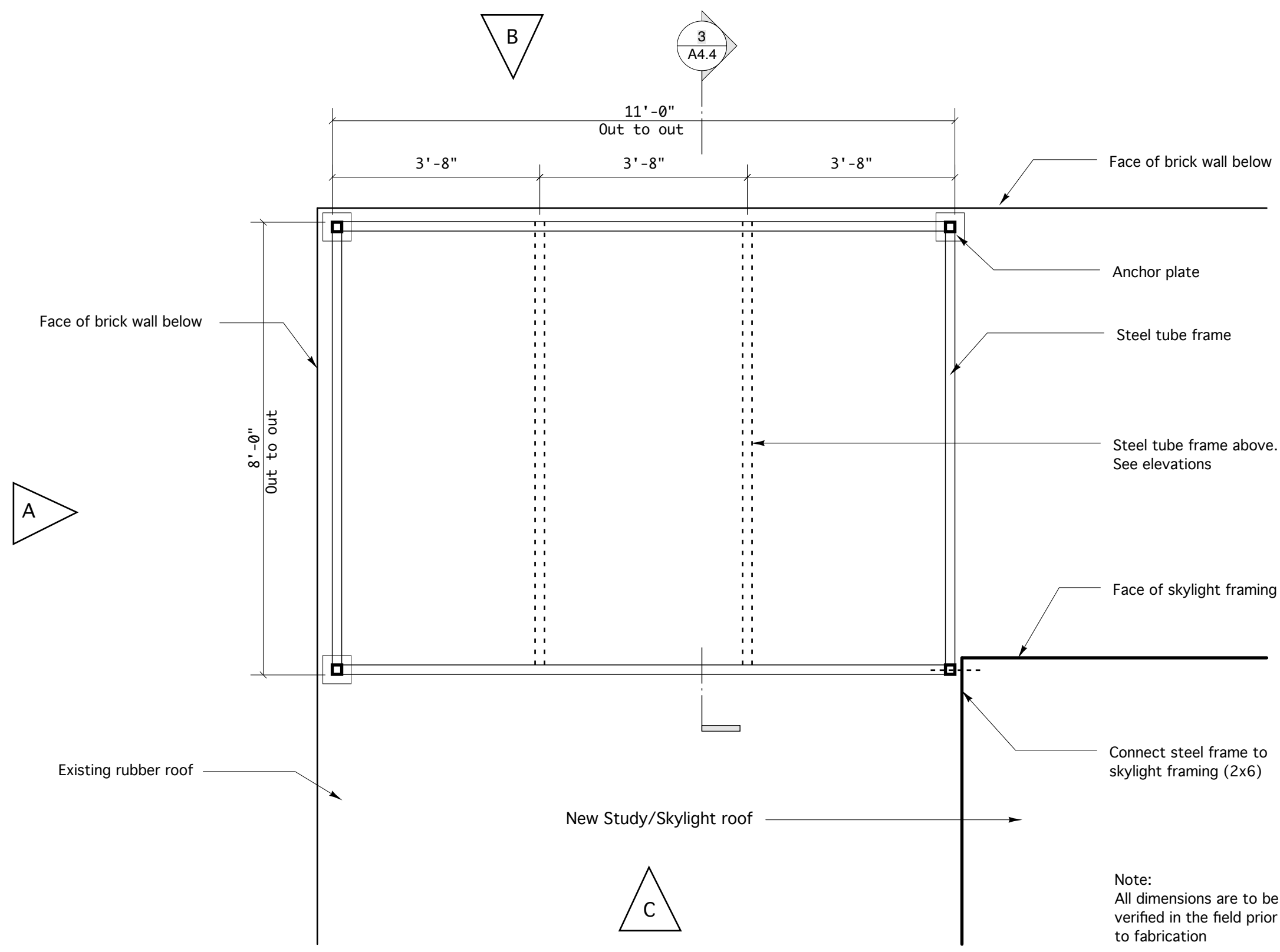
Richard Renner/Architects
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Shelburne, MA 01770
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Consultants:

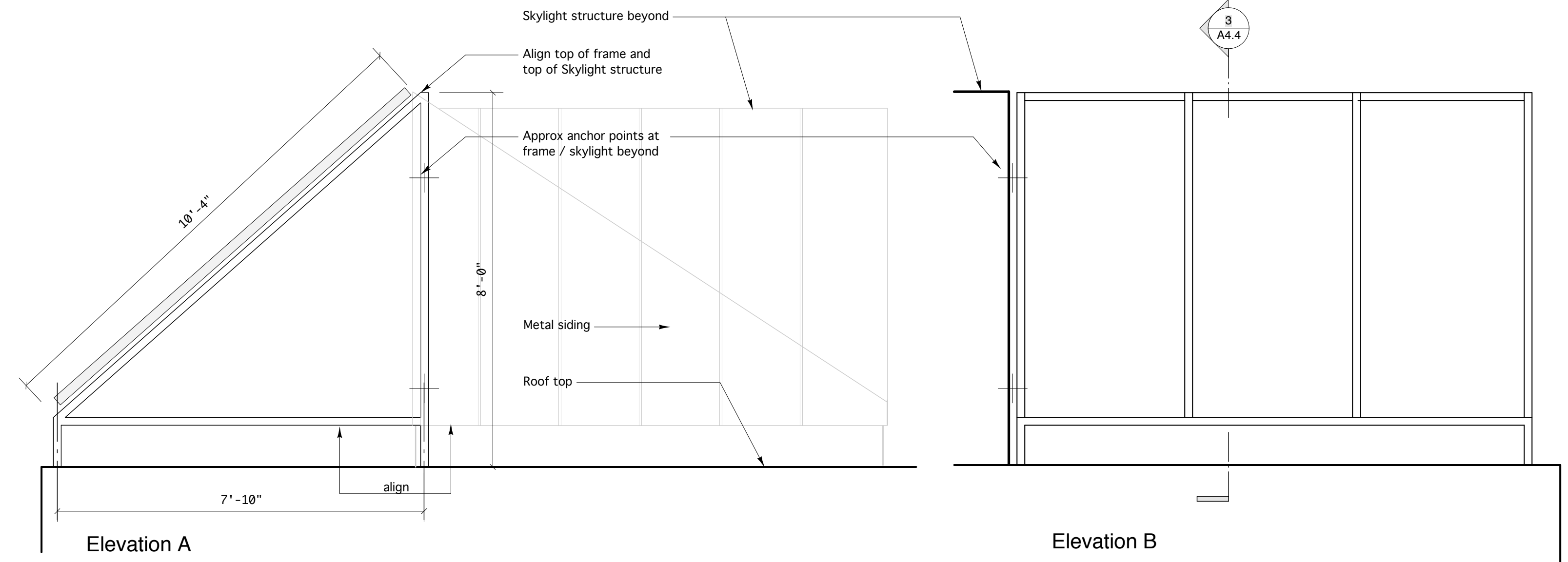
**35 Pleasant Street
Office and Loft Renovation**
35 Pleasant Street
Portland, Maine

**Interior Elevations
Upper Level Apartment**
File Name: A4.3 InteriorElev
Project No. 2006-08
Scale: 1/2" = 1'-0"
Date: 12.15.06
Revised:

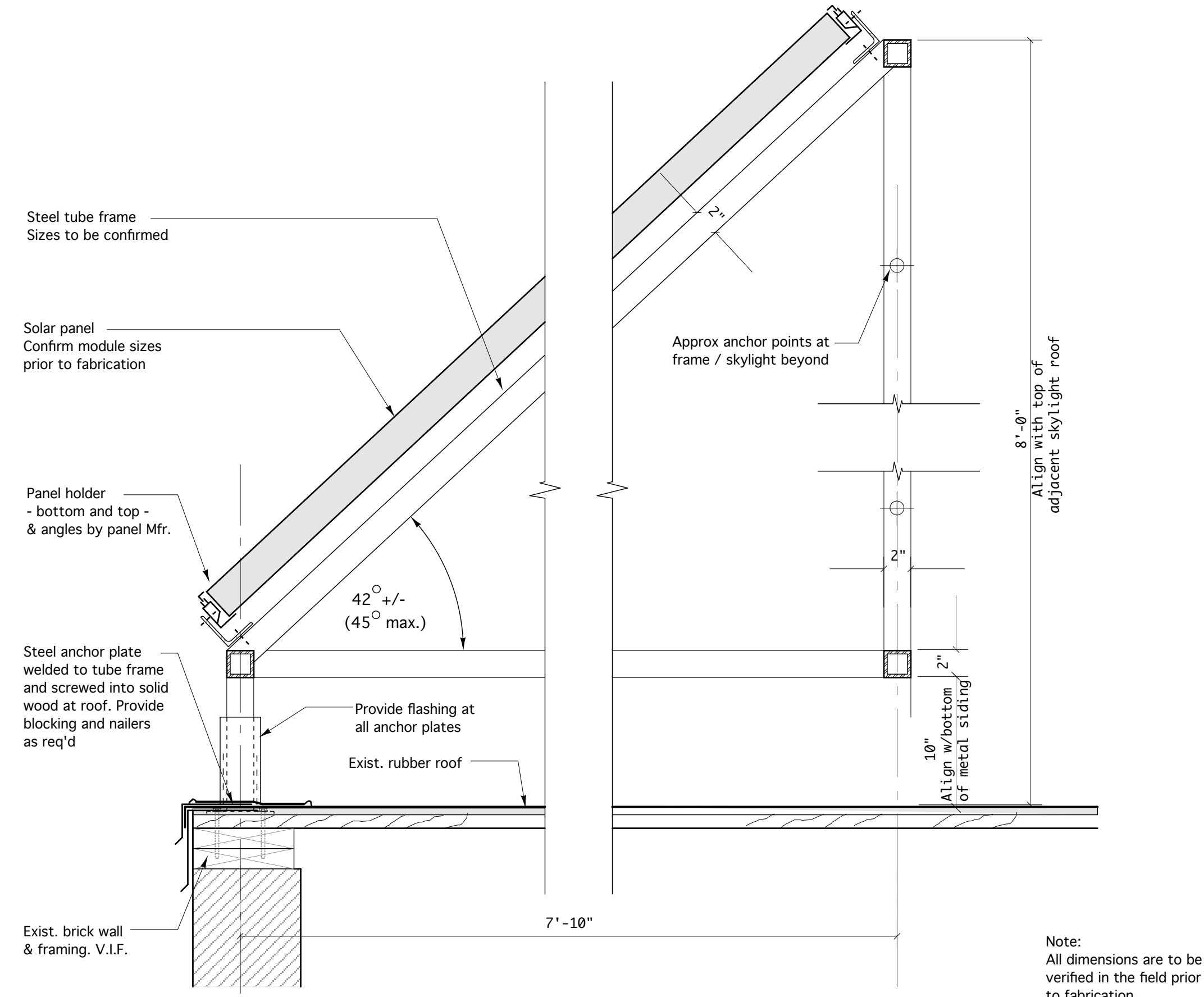
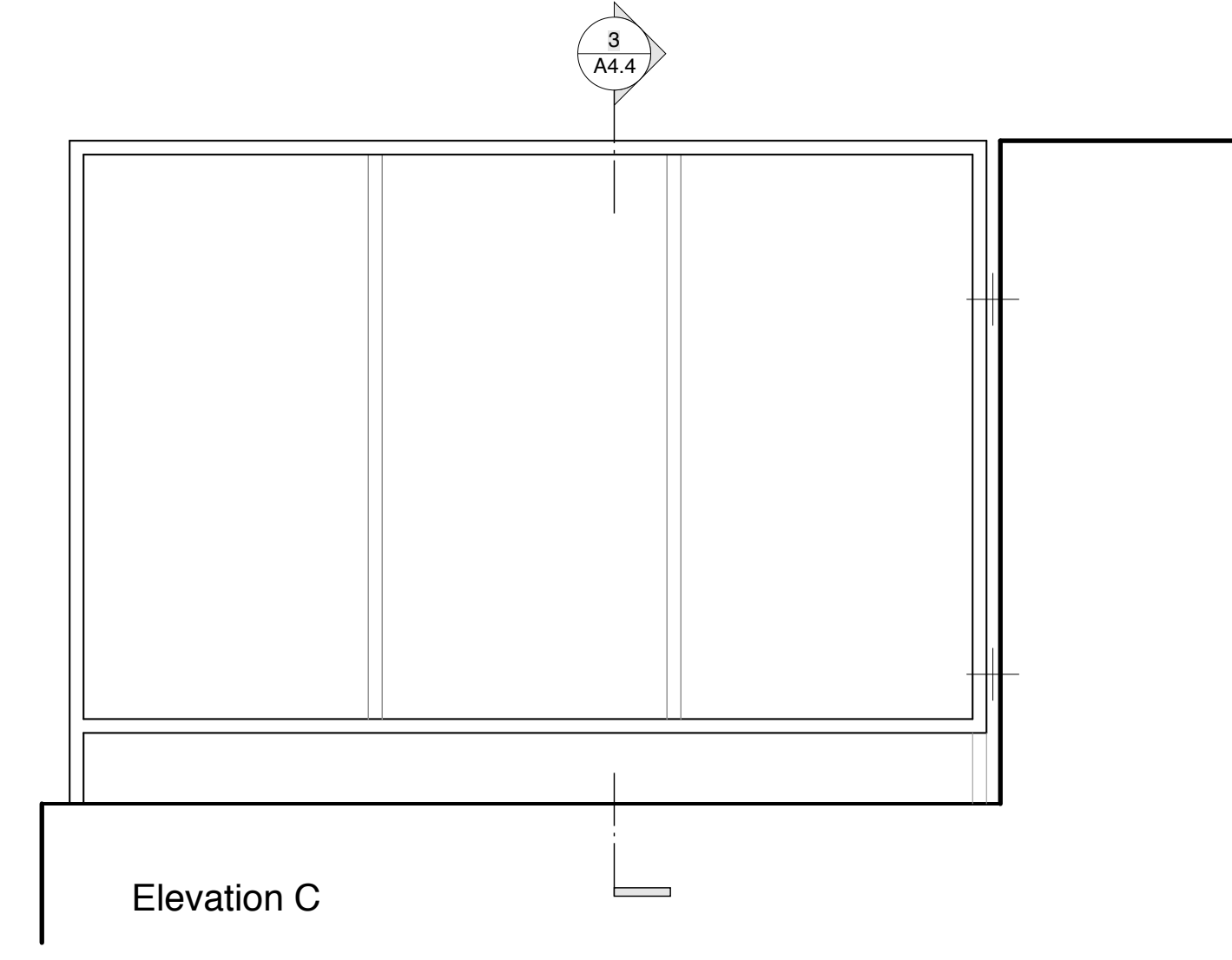
A4.3



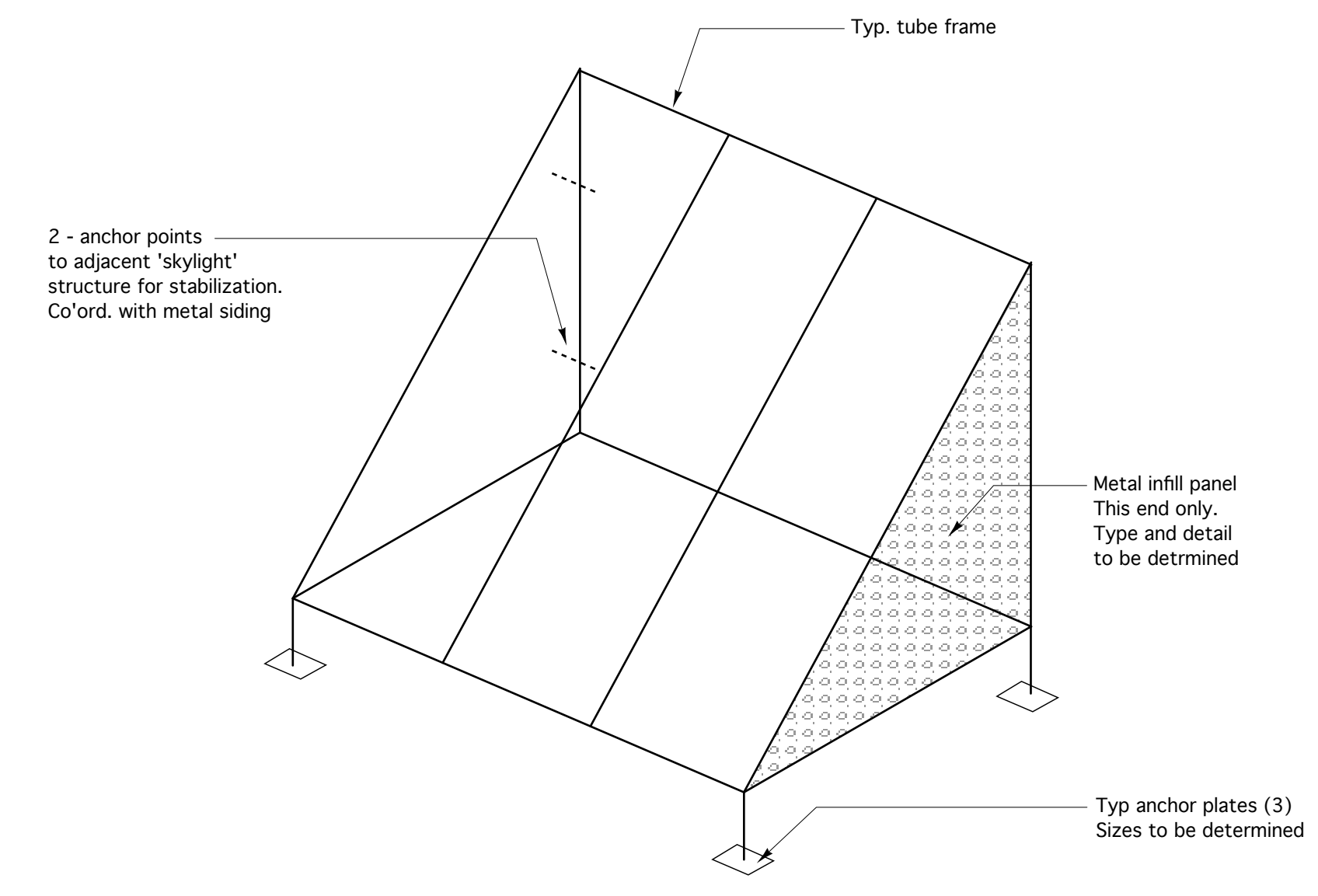
1 Plan @ Roof Solar Panels
 SCALE: 1/2" = 1'-0" See A1.2 for Roof Plan



2 Elevations @ Roof Solar Panel Frame
 SCALE: 1/2" = 1'-0" See A1.3 for Building Elevations



3 Section Details @ Roof Solar Panel Frame
 SCALE: 1 1/2" = 1'-0"



4 Schematic Isometric of Panel Frame
 SCALE: No Scale See A1.2 for Roof Plan

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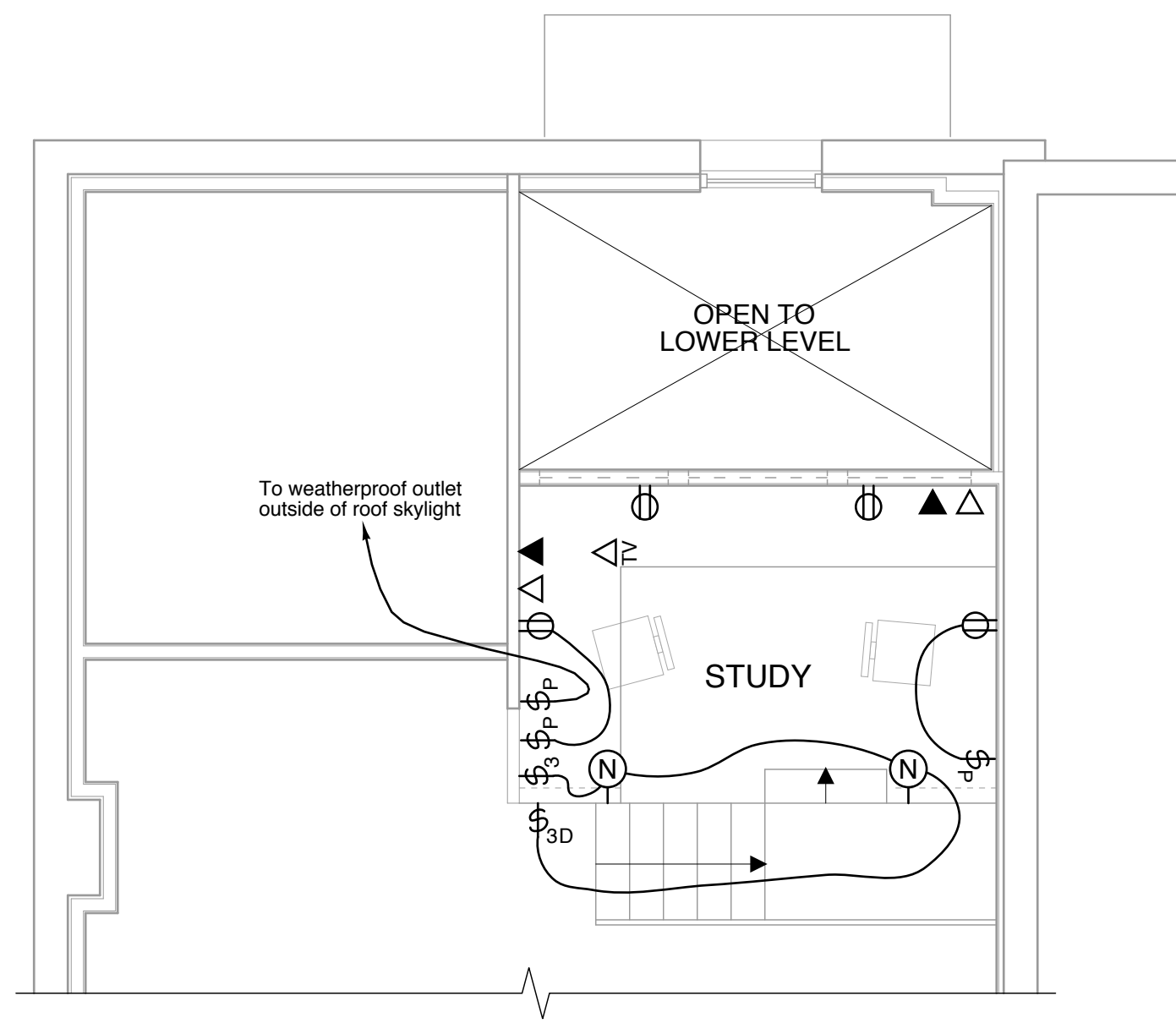
61 Pleasant Street
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 207.773.9699
 207.773.9699 fax

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 Office and Loft Renovation

Details - Solar Panel Frame

Drawn by: File Name: A4.2 InteriorElev
 Scale: As Noted Project No. 2006-08
 Date: 12.06.06 Revised:

A4.4



3 Loft Plan
SCALE: 1/4" = 1'

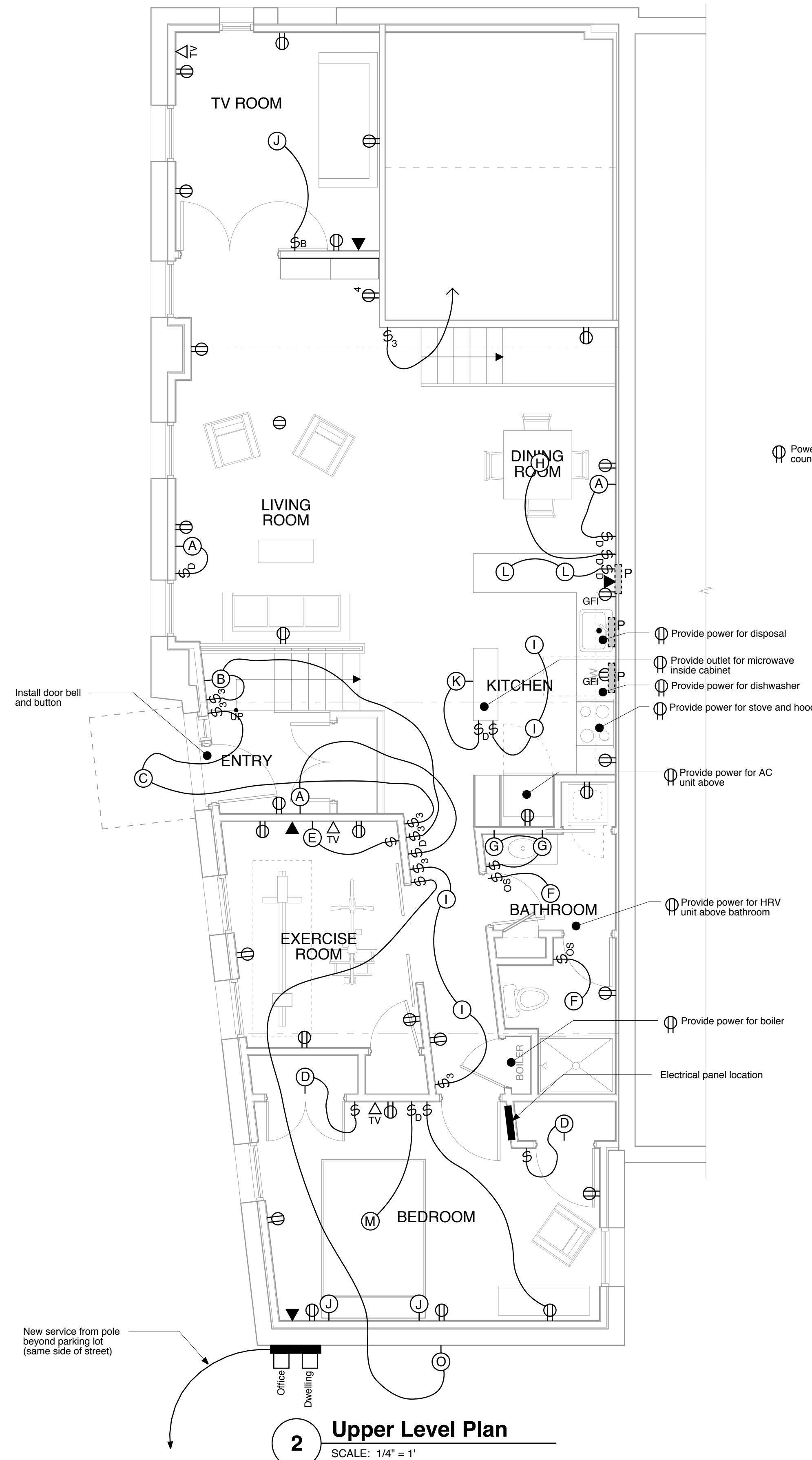
KEY

- Duplex outlet
- Four-plex outlet
- Floor outlet
- Exterior duplex outlet
- Telephone
- Data
- Cable TV
- Switch
- Switch with dimmer
- Switch with occupancy sensor
- Switch with timer
- Switch with pilot light
- Empty switch box with blank cover
- Light fixture
- Wall-mounted light fixture
- Low voltage fixture - twin wires running between opposite walls
- Under cabinet light fixture
- Up light at desk dividers
- Direct/indirect fluorescent

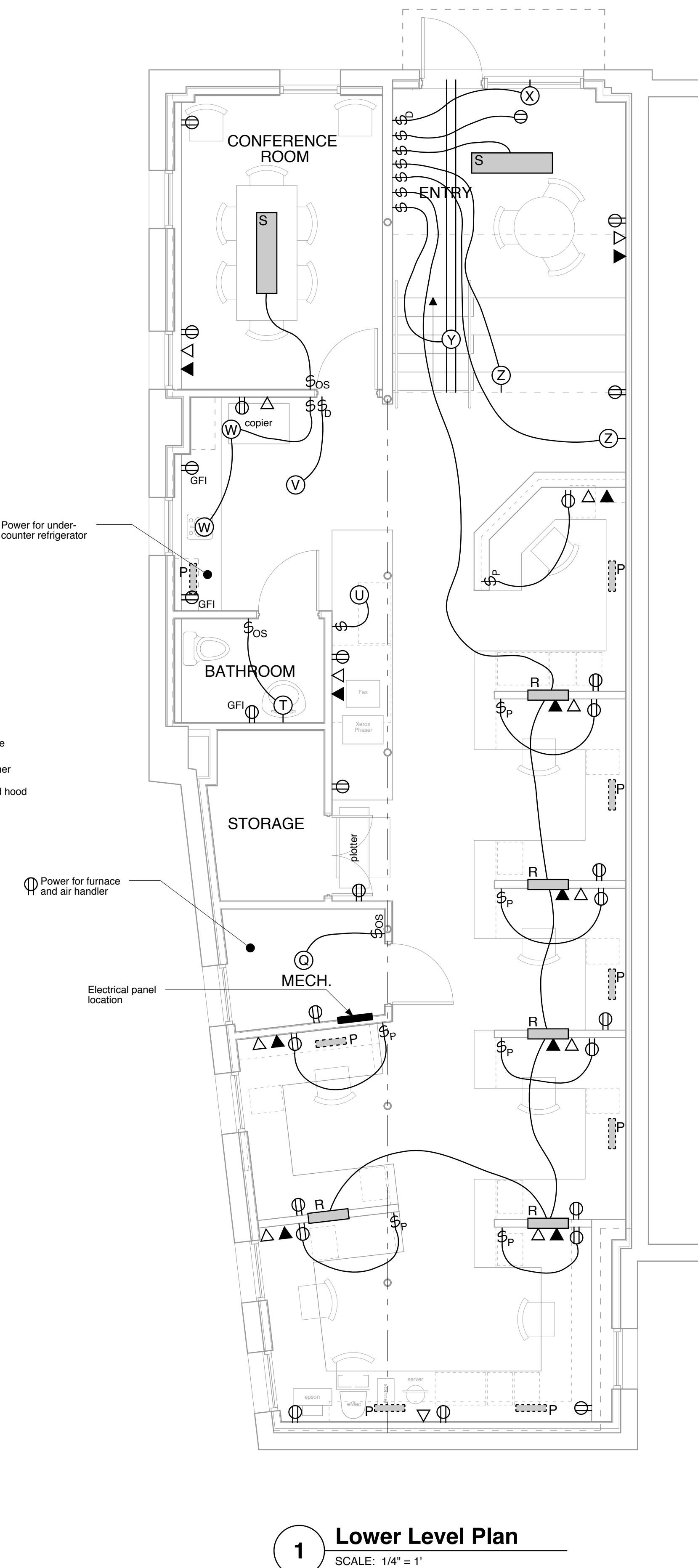
GENERAL NOTES:

- 1- Install ENERGY STAR Advanced Lighting Package:
 - 50% of fixtures in kitchen, dining, living, bathroom, hall, stair to be Energy Star Qualified
 - 25% of fixtures in bedroom, office, tv room to be Energy Star Qualified
 - 50% of fixtures outdoors to be Energy Star Qualified [EAB.3]
- 2- Install Energy Star labeled exhaust fan in kitchen (100 CFM) and bathrooms (50 CFM) exhausting to the outdoors [EQ5.1]
- 3- Install occupancy sensor or automatic humidistat controller or timer for both exhaust fans to operate fan either for a timed interval after occupant leaves room or until humidity level is reduced [EQ5.2]

Note: All outlet, light, and switch locations to be reviewed in field before rough wiring



2 Upper Level Plan
SCALE: 1/4" = 1'



1 Lower Level Plan
SCALE: 1/4" = 1'

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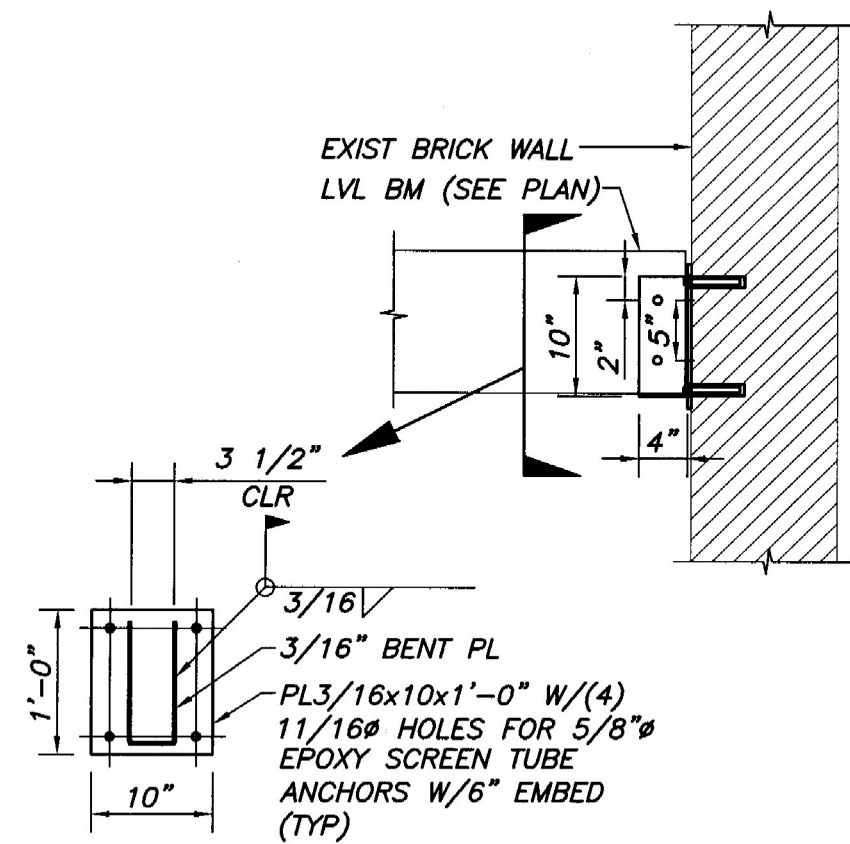
61 Pleasant Street
Suite 105
Portland, ME 04101
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35 Pleasant Street
Office and Loft Renovation
35 Pleasant Street
Portland, Maine

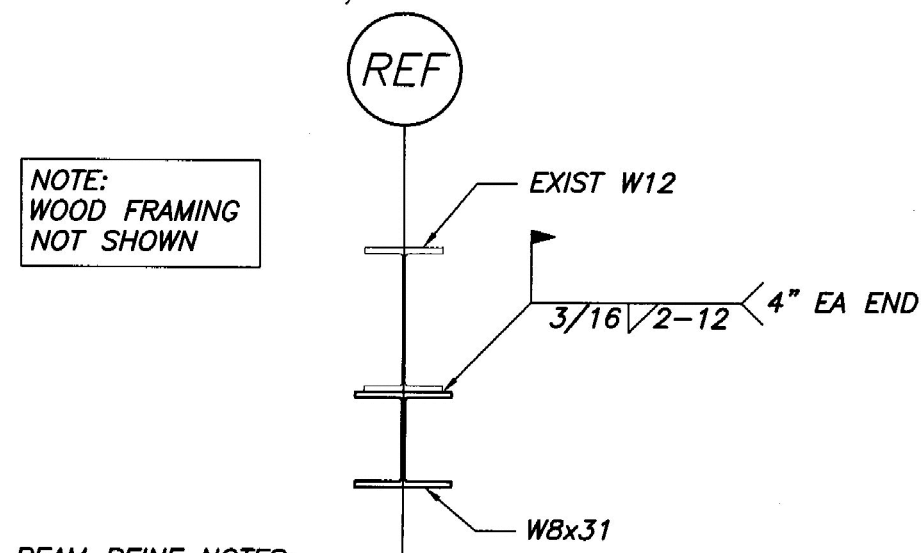
Electrical Plans
Drawn by: File Name: E1.1 ElectricalPlans
Scale: 1/4" = 1'-0" Project No. 2006-08
Date: 11.03.06 Revised:

E1.1

SECTION
No Scale



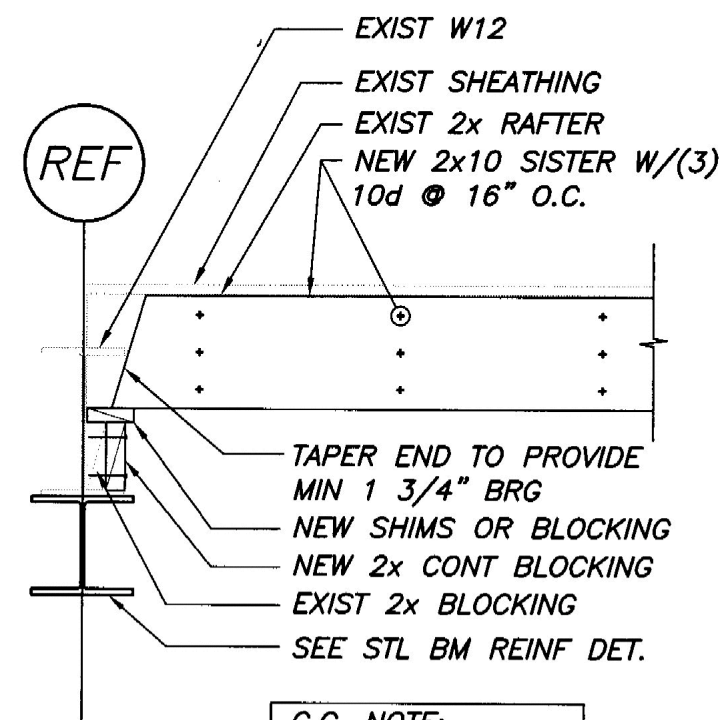
SECTION 1
3/4"=1'-0"



NOTE:
WOOD FRAMING
NOT SHOWN

STEEL BEAM REINF NOTES:
1. REINF MEMBERS SHALL BE CONTINUOUS & SHALL EXTEND TO WITHIN 6" OF EACH END OF EXISTING W12'S.
2. EXISTING W12'S SHALL BE "JACKED" TO +1/4"-3/8" TO DEAD LEVEL @ MID-SPAN, PRIOR TO WELDING NEW REINFORCING MEMBERS. CONTRACTOR SHOULD TAKE CARE NOT TO UNSEAT BEAM ENDS.

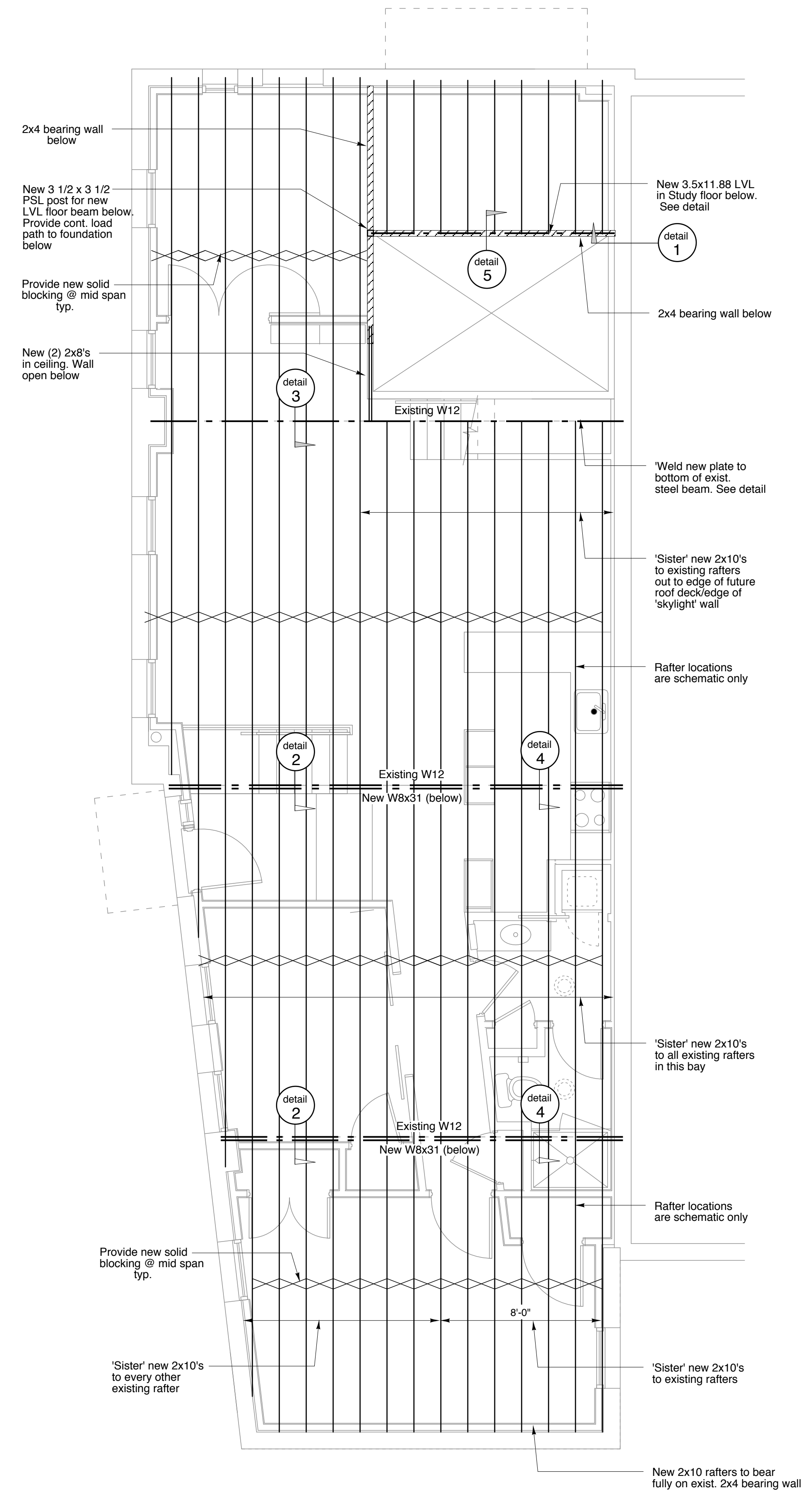
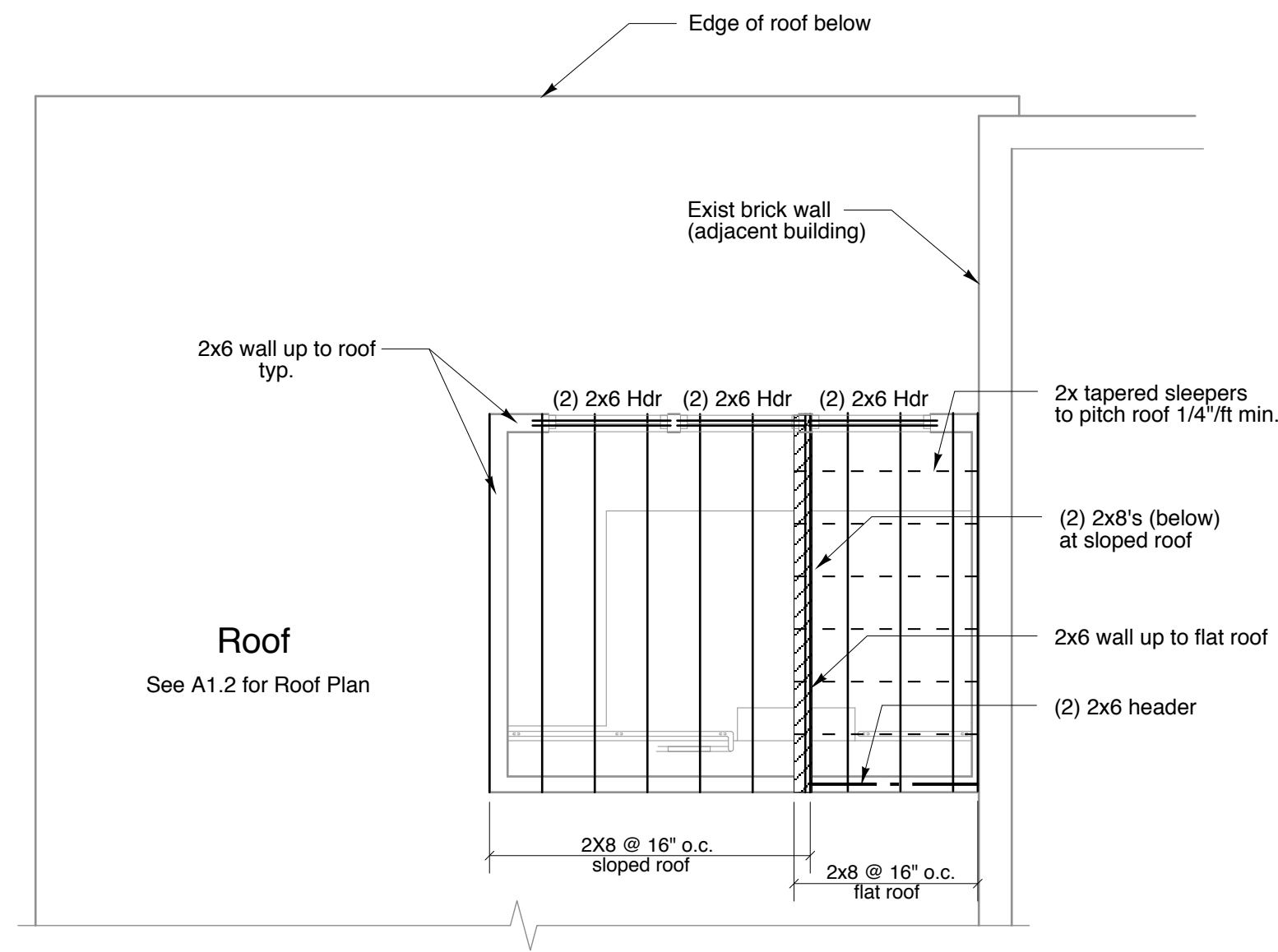
SECTION 2
3/4"=1'-0"



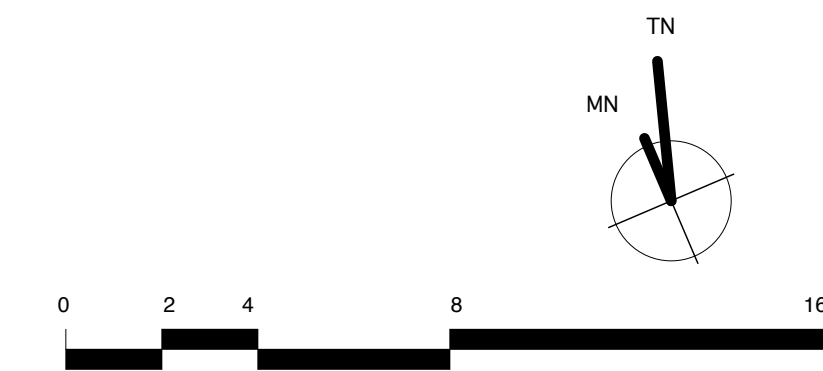
G.C. NOTE:
PROVIDE SHIMS AT
EXIST RAFTERS AS
REQ'D TO PROVIDE
ADEQUATE BEARING

SECTION 3
3/4"=1'-0"

Study/Skylight Roof Framing Plan
SCALE: 1/4" = 1'-0"
See A3.1 for Skylight Roof



Roof Framing Plan
SCALE: 1/4" = 1'-0"



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Office and Loft Renovation

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Portland, Maine

Roof Framing Plans and Details

File Name: A1.1.FloorPlans
Project No.
Scale: 1/4" = 1'-0"
Date: 12.14.06
Revised:

S1.1