

PROJECT NOTES

- A. ALL REPAIR WORK WILL BE COMPLETED IN ACCORDANCE TO THE GUIDELINES OUTLINED IN CURRENT PRACTICES IN THE CONSTRUCTION INDUSTRY, ALL NATIONAL, STATE, LOCAL BUILDING CODES, AND THE MOST RECENT SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BY THE DESIGN TEAM. ALL REVISED SKETCHES AND ADDENDUMS ISSUED AFTER THE START OF REPAIR WORK WILL SUPERSEDE ALL PREVIOUS ARCHITECTURAL DETAILS.
- B. ALL ACCESSORY ITEMS ATTACHED TO THE BUILDING INCLUDING BUT NOT LIMITED TO ELECTRICAL SERVICE, LIGHTING CONDUIT, PLUMBING OR OTHER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO SAFE AND OR RELOCATE DURING CONSTRUCTION.
- C. BUILDING TYPE: CAST IN PLACE CONCRETE.
- D. CONTRACTOR AND OR SUB-CONTRACTORS TO SUBMIT ALL MATERIALS USED FOR CONSTRUCTION WORK FOR APPROVAL PRIOR TO THE START OF WORK. ENSURE ALL MORTAR INGREDIENTS ARE FRESH WITH DOCUMENTED DATES OF MANUFACTURE SUBMITTED TO (BES) FOR APPROVAL. NO LIME OR CEMENT PRODUCTS INCLUDING PATCHING MORTAR SHALL BE OLDER THAN 6 MONTHS FROM TIME OF MANUFACTURING.
- F. STORE ALL MATERIALS PER INDUSTRY STANDARDS AND AS SPECIFIED BY THE MANUFACTURER.
- G. COORDINATE ALL REPAIR ACTIVITIES AS PER THE MASTER CONSTRUCTION SCHEDULE, WITH OTHER SUB-TRADES, AND WITH OWNER TO MINIMIZE EXPOSURE TO PEDESTRIANS, VEHICLES, AND ADJACENT BUILDINGS.
- H. USE NECESSARY MEANS TO PROTECT ALL EXPOSED BUILDING AREAS FROM DAMAGE CAUSED BY WEATHER EVENTS OR OTHER ENVIRONMENTAL SITUATIONS DURING THE CONSTRUCTION PROCESS UNTIL THE REPAIR WORK IS DEEMED WEATHER-TIGHT. CONTRACTOR TO USE NECESSARY MEANS TO PROTECT ALL EXPOSED BUILDINGS AREAS, ADJACENT STRUCTURES, PEDESTRIANS, AND VEHICLES FROM DAMAGE CAUSED BY CONSTRUCTION RELATED ACTIVITIES DURING THE DURATION OF THE PROJECT. PROTECT ALL COMPLETED WORK UNTIL FINAL INSPECTION AND ACCEPTANCE BY THE DESIGN TEAM.
- I. INSPECT ALL WORK OUTLINED ON CONSTRUCTION DOCUMENTS PRIOR TO THE BEGINNING OF REPAIR EFFORTS. NOTIFY THE ARCHITECT AND BUILDING ENVELOPE SPECIALISTS PROJECT MANAGER WITHIN 24 HOURS IF ADDITIONAL SCOPE ITEMS ARE UNCOVERED BEYOND THE SCOPE OF THE CURRENT CONSTRUCTION DOCUMENTS.
- J. CONTRACTOR IS RESPONSIBLE FOR ANY SHORING AND SUPPORTING ENGINEERING AND DESIGN FOR AREAS DESIGNATED "REBUILD". SHORING IS PART OF "MEANS AND METHODS" AND IS NOT THE RESPONSIBILITY OF THE ARCHITECT. CONSULTANTS OR BUILDING ENGINEER. CONTRACTOR MUST SUBMIT SHORING PLAN PRIOR TO COMMENCING WITH WORK.
- K. HOT AND COLD WEATHER CONSTRUCTION AND QUALITY CONTROL REQUIRE SOME ADDITIONAL ATTENTION TO CONSTRUCTION PRACTICES AND PROTECTION.
- L. ALL TERMINATIONS BETWEEN NEW EIFS AND EXISTING MATERIALS TO BE BACKER ROAD AND SEALANT JOINTS.
- M. THE ARCHITECT WILL PERFORM REGULAR INSPECTIONS OF THE CONSTRUCTION OVER THE DURATION OF THE PROJECT. THESE INSPECTIONS WILL BE CONSIDERED AS PART OF THE "PUNCH LIST" INSPECTION PROCESS. ITEMS, WHICH DO NOT FOR CONFORM WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS OR INDUSTRY STANDARDS WILL BE MARKED WITH FLORESCENT MARKER WITH INSTRUCTIONS GUIDING THE CONTRACTOR WHAT TO CORRECT. AS CORRECTIONS ARE COMPLETED, THE ARCHITECT WILL INSPECT AGAIN AND REMOVE THE TAPE IF SATISFIED. ONLY BUILDING ENVELOPE SPECIALISTS OR AN AGENT OF IS AUTHORIZED TO REMOVE THE FLORESCENT MARKER.
- N. DO NOT INSTALL EIFS OVER DAMAGED OR SPALLING CONCRETE.
- O. AREAS AND QUANTITIES INDICATED ON BID DOCUMENTS ARE APPROXIMATES. CONTRACTOR SHALL CARRY QUANTITIES AND SQUARE FOOTAGE SUFFICIENT TO COMPLETE THE INDICATED TASK.
- P. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL ITEMS ON THE BUILDING THAT MAY INTERFERE WITH THE WORK PROPOSED IN THESE DRAWINGS. ITEMS NOT SHOWN ON THE DRAWINGS THAT MUST BE REMOVED OR ALTERED EVEN IN A TEMPORARY FASHION MUST BE ACCOUNTED FOR PRIOR TO THE START OF WORK. IF YOU ARE UNSURE OF A CERTAIN SITUATION PLEASE CONTACT THE ARCHITECT OR BES BEFORE PROCEEDING. FAILURE TO VISIT THE BUILDING, IN PERSON AND VERIFY ITEMS THAT MAY IMPEDE WORK WILL NOT BE REASON FOR A COST ADD AT A LATER DATE.
- S. PLEASE ASK QUESTIONS. BUILDING ENVELOPE SPECIALISTS IS ALWAYS WILLING TO PROVIDE CLARIFICATION TO THESE DOCUMENTS AS NEEDED WITHIN REASON. PLEASE SUBMIT ALL QUESTIONS IN WRITING IN THE FORM OF A "REQUEST FOR INFORMATION" (RFI).
- T. CONTRACTOR IS REQUIRED TO SUBMIT FOR ALL PRODUCTS USED FOR THIS JOB - ALL PRODUCT SUBMITTALS MUST HAVE A COVER SHEET INDICATING THAT IT IS A SUBMITTAL AND ALL THE PERTINENT DATA NEEDED TO BE EVALUATED. SUBMITTALS WILL HAVE A MINIMUM OF ONE WEEK FOR REVIEW.
- U. A SUBSTITUTION IS NOT A SUBMITTAL. A SUBSTITUTION REQUEST MUST HAVE A COVER SHEET INDICATING IT IS A "REQUEST FOR SUBSTITUTION". ALL PERTINENT DATA FOR THE SUBSTITUTED PRODUCT AND THE SPECIFIED PRODUCT MUST BE PART OF THE REQUEST. A REQUEST MADE WITHOUT ALL THE INFORMATION INDICATED WILL BE REJECTED. REQUESTS FOR SUBSTITUTION WILL HAVE A MINIMUM OF TWO WEEKS FOR REVIEW.
- V. ALL DAMAGE TO GROUNDS SURROUNDING THE PROJECT MUST BE R TO ORIGINAL CONDITION OR BETTER WHEN SITE IS DEMOBILIZED, THIS MAY INCLUDE BUT IS NOT LIMITED TO GRASS, GARDENS, SHRUBS AND GARDENS, DAMAGED PAVEMENT FENCES OR OTHER HARD-SCAPE ITEMS.
- W. ALL DIMENSIONS IN THIS SET ARE ± UNLESS OTHERWISE NOTES AS A CLEAR DIMENSION OR OTHER SPECIAL CASE. ALL DIMENSIONS NEED TO BE VERIFIED IN THE FIELD.

BASIS OF DESIGN

HOLIDAY INN BY THE BAY IS AN 11 STORY CAST IN PLACE CONCRETE HOTEL AND CONVENTION CENTER IN THE OLD PORT OF PORTLAND MAINE. THE SCOPE OF THESE DOCUMENTS IS A COMPLETE REPLACEMENT OF THE MAIN BUILDING TOWER WINDOWS, GUEST ROOM HVAC SYSTEM (PTAC) AND INSTALLATION OF AN EXTERIOR INSULATION AND FINISH SYSTEM. NEW CONSTRUCTION WILL CONSIST OF FROSTED GLASS OVERSTORY ABOVE THE ELEVATOR TOWER. A STEEL FRAME ROOF STRUCTURE WILL BE BUILT AND WRAPPED IN THE SPECIFIED CURTAIN WALL SYSTEM.

WINDOWS SYSTEM:
KAWNEER 1600UT SYSTEM 1 CURTAIN WALL WITH 1" GLAZING AND LOUVERS.
WINDOW SYSTEM AND LOUVER COLOR:
NATURAL ALUMINUM

NEW MEMBRANE ROOF:
FIRESTONE 90 MIL EPDM FULLY ADHERED WITH MECHANICALLY FASTENED PROTECTION BOARD AND 2" OF POLYISOCYANURATE INSULATION OVER NEW METAL DECK.

EXTERIOR INSULATION AND FINISH SYSTEM:
StoTherm ci XPS CLASSIC.
HIS SYSTEM WILL INCORPORATE ALL OF THE PRODUCTS REQUIRED FOR INSTALLATION BY THE EIFS MANUFACTURER AND 2" OF XPS INSULATION OVER 1/2" DENS GLASS MECHANICALLY INSTALLED OVER THE EXISTING CONCRETE EXTERIOR

BREAK METAL FLASHINGS:
22GA. NATURAL FINISH ALUMINUM

MEMBRANE FLASHING:
GRACE VYCOR OR GRACE VYCOR PLUS (IN SOME LOCATIONS)

NEW PTAC UNITS:
FRIEDRICH MODEL NUMBER PZH09R35A

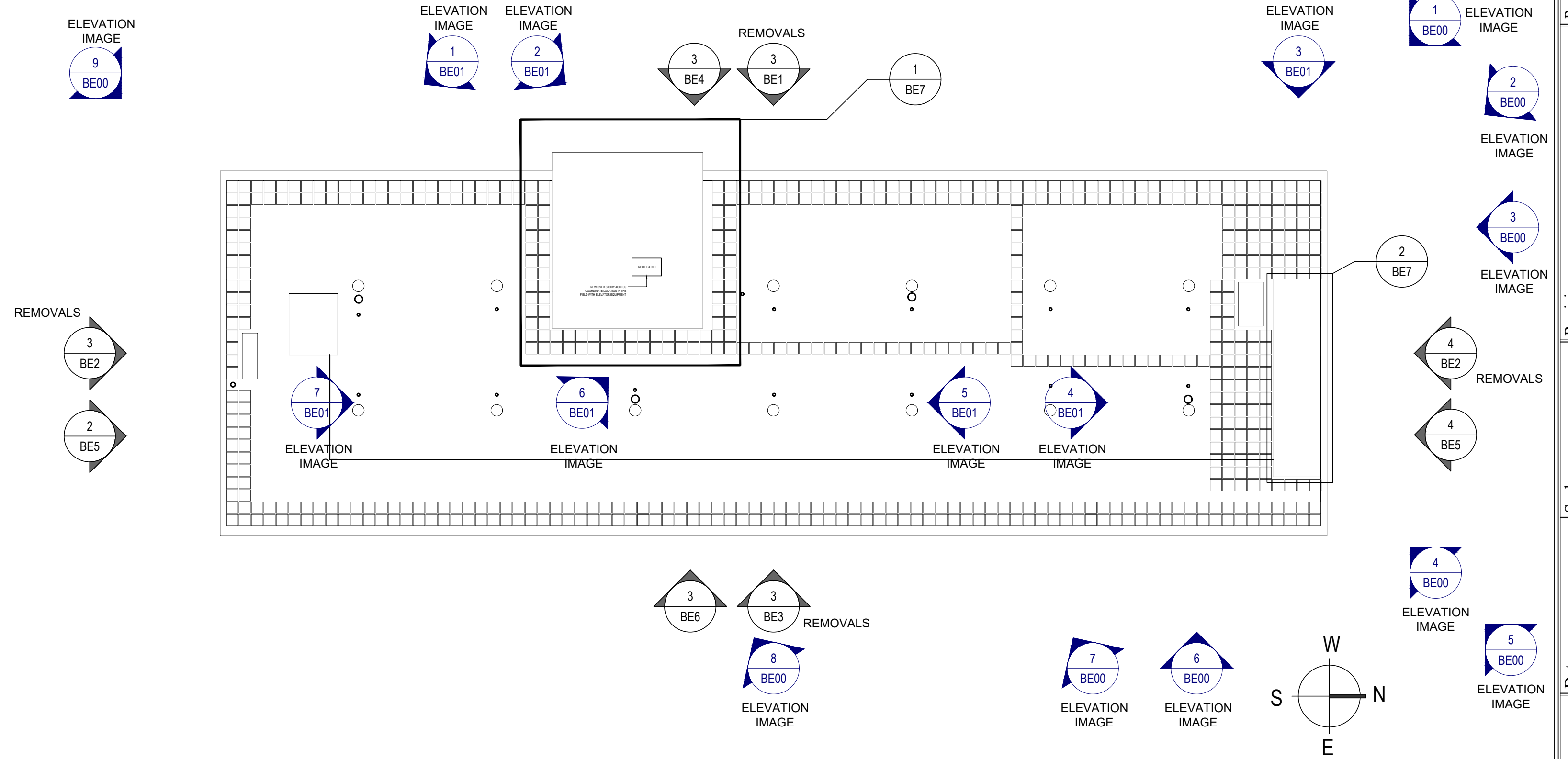
WATERPROOF FLESTOMETRIC MEMBRANE:
RUB-R-WALL SPRAY APPLIED WATERPROOF MEMBRANE OR EQUAL

REQUIRED MOCKUPS

CONTRACTOR TO PROVIDE MATERIAL MOCK-UP'S AND SAMPLES OF EACH FOR THE FOLLOWING ITEMS, APPROVAL FROM THE ARCHITECT AND BES IS REQUIRED BEFORE PROCEEDING WITH WORK:

- TYPICAL WINDOW ASSEMBLY WITH PTAC SLEEVE AND LOUVER INSTALLED. THIS MOCK UP WILL BE DONE IN MULTIPLE PHASES TO DEMONSTRATE ALL THE VARIOUS COMPONENTS ARE BEING INSTALLED AS SPECIFIED.
- EIFS TYPICAL CONDITIONS AS OUTLINED IN THE DRAWING SET.
- ALL BREAK METAL FLASHING CONDITIONS
- RUB - R - WALL INSTALLATION

3 NOT USED

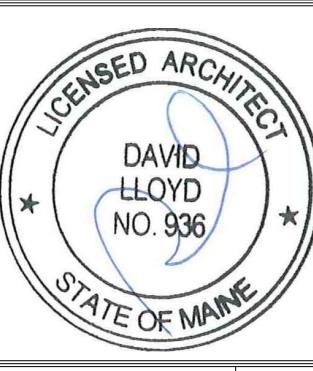


1 PROJECT NOTES - BASIS OF DESIGN - REQUIRED MOCKUPS

SCALE: NTS

2 OVERALL KEY PLAN AT ROOF TOP

SCALE: 1/8" = 1'-0"



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Revisions:
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JULY 10 2017 CLIENT FINAL REVIEW

Date: **June 30, 2017**
Scale: **As indicated**
PROJECT NOTES LEGEND AND KEY PLAN

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