

**Listed below are key characters (in bold) for searching within this file.**

**Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.**

**APL** – all documents behind this target sheet pertain to the original application submitted by the Applicant.

**PBM1** – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

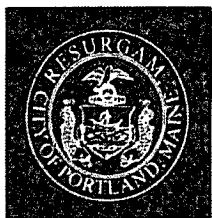
**PBR1** - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

**CC1** - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

**DRC1** - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

**MISC1** - all documents behind this target sheet are those that may not be included in any of the categories above.

**APL**



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[www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning & Urban Development Department**  
Penny St. Louis Littell, Director

**Planning Division**  
Alexander Jaegerman, Director

**JANUARY 25, 2010**

**Project Name:** Free Street - 110; Building Renovations; Maine Health, Applicant.  
**Project ID:** 09-79900019  
**Project Address:** 110 FREE STREET

**Planner:** Shukria Wiar

Dear Applicant:

On January 25, 2010, the Portland Planning Authority approved a minor site plan for building renovations and parking lot improvements at 110 Free Street as submitted by the Applicant and shown on the approved plan prepared by Harriman and dated December 11, 2009.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

**STANDARD CONDITIONS OF APPROVAL**

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.
2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.

5. The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Shukria Wiar at 756-8083 or [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov)

Sincerely,



Alexander Q. Jaegerman  
Planning Division Director

**Attachments:**

1. Performance Guarantee Packet

**Electronic Distribution:**

Penny St. Louis Littell, Director of Planning and Urban Development  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Tammy Munson, Inspections Division  
Gayle Guertin, Inspections Division  
Lannie Dobson, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Public Services

Bill Clark, Public Services  
David Margolis-Pineo, Deputy City Engineer  
Greg Vining, Public Services  
John Low, Public Services  
Jane Ward, Public Services  
Keith Gautreau, Fire  
Jeff Tarling, City Arborist  
Tom Errico, Wilbur Smith Consulting Engineers  
Dan Goyette, Woodard & Curran  
Assessor's Office  
Approval Letter File  
**Hard Copy:** Project File

Auburn Business Park  
46 Harriman Drive  
Auburn, Maine 04210

207.784.5100 tel  
207.782.3017 fax  
www.harriman.com

Building communities  
since 1870

December 11, 2009

Ms. Barbara Barhydt  
Development Services Review Manager  
City of Portland  
389 Congress Street  
Portland, Maine 04101

Re: MaineHealth Free Street  
110 Free Street  
Portland, ME  
Project No. 09146  
Minor Site Plan Review Application

Dear Barbara,

Enclosed are seven (7) copies of the Minor Site Plan Review submission package for the MaineHealth renovations to the 110 Free Street building. Also enclosed is a check for \$400 for the review. Included are narratives, application form, and folded survey site plans, architectural and photometric drawings.

Feel free to contact me with any questions or concerns.

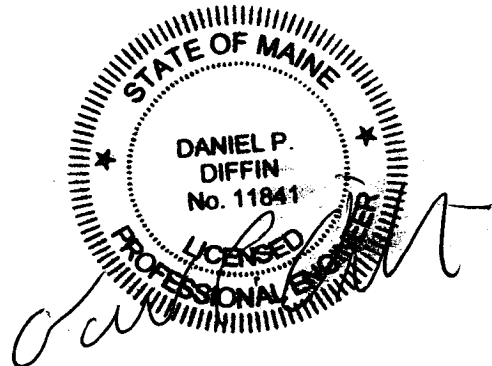
Sincerely,  
Harriman



Daniel P. Diffin, P.E., LEED AP BD+C

DPD/ksfli

encl: Drawings and submittal package



# Site Plan Checklist

## Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Maine Health Free Street

**Project Name, Address of Project**  
 (The form is to be completed by the Applicant or Designated Representative)

110 Free Street

**Application Number**

Check Submitted

Required Information

Applicant Staff

*minor new parking lot - 33 stalls proposed  
 planting & separation of storm & waste water  
 B-3 - exterior A-B-3 guidelines - (ck Congress St Historic D.)  
 Section 14-525 (b,c)*

- |                                                                                                                                                                                 |    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:                                                       | 1  |
| Name and address of applicant and name of proposed development                                                                                                                  | a  |
| * Scale and north points                                                                                                                                                        | b  |
| * Boundaries of the site                                                                                                                                                        | c  |
| * Total land area of site                                                                                                                                                       | d  |
| * Topography - existing and proposed (2 feet intervals or less)                                                                                                                 | e  |
| Plans based on the boundary survey including:                                                                                                                                   | 2  |
| * Existing soil conditions                                                                                                                                                      | a  |
| * Location of water courses, wetlands, marshes, rock outcroppings and wooded areas                                                                                              | b  |
| * Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used     | c  |
| * Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)            | d  |
| * Location of on-site waste receptacles                                                                                                                                         | e  |
| * Public utilities                                                                                                                                                              | e  |
| * Water and sewer mains                                                                                                                                                         | e  |
| * Culverts, drains, existing and proposed, showing size and directions of flows                                                                                                 | e  |
| * Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed                                                              | f  |
| * Location and dimensions of on-site pedestrian and vehicular access ways                                                                                                       | g  |
| * Parking areas                                                                                                                                                                 | g  |
| * Loading facilities                                                                                                                                                            | g  |
| * Design of ingress and egress of vehicles to and from the site onto public streets                                                                                             | g  |
| * Curb and sidewalks                                                                                                                                                            | g  |
| Landscape plan showing:                                                                                                                                                         | h  |
| * Location of existing vegetation and proposed vegetation                                                                                                                       | h  |
| * Type of vegetation                                                                                                                                                            | h  |
| * Quantity of plantings                                                                                                                                                         | h  |
| * Size of proposed landscaping                                                                                                                                                  | h  |
| * Existing areas to be preserved                                                                                                                                                | h  |
| * Preservation measures to be employed                                                                                                                                          | h  |
| * Details of planting and preservation specifications                                                                                                                           | h  |
| * Location and dimensions of all fencing and screening                                                                                                                          | i  |
| Location and intensity of outdoor lighting system                                                                                                                               | j  |
| Location of fire hydrants, existing and proposed (refer to Fire Department checklist - page 11)                                                                                 | k  |
| Written statements to include:                                                                                                                                                  | c  |
| * Description of proposed uses to be located on site                                                                                                                            | cl |
| * Quantity and type of residential, if any                                                                                                                                      | cl |
| * Total land area of the site                                                                                                                                                   | c2 |
| * Total floor area, total disturbed area and ground coverage of each proposed Building and structure                                                                            | c2 |
| * General summary of existing and proposed easements or other burdens                                                                                                           | c3 |
| * Type, quantity and method of handling solid waste disposal                                                                                                                    | c4 |
| * Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application - page 12) | c5 |
| * Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.                                      | c6 |

\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- \* An estimate of the time period required for completion of the development 7
  - \* A list of all state and federal regulatory approvals to which the development may be subject to. 8  
the status of any pending applications, anticipated timeframe for obtaining such permits, or letters  
of non-jurisdiction.
  - \* Evidence of financial and technical capability to undertake and complete the development including a  
letter from a responsible financial institution stating that it has reviewed the planned development and  
would seriously consider financing it when approved.
  - \* Evidence of applicant's right title or interest, including deeds, leases, purchase options or other  
documentation.
  - \* A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located  
on or near the site.
- A jpeg or pdf of the proposed site plan, if available.  
Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in  
AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- emissions
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study



**Development Review Application  
PORTLAND, MAINE**

Department of Planning and Urban Development,  
Planning Division and Planning Board

PROJECT NAME: 110 Free Street Building Renovations

PROPOSED DEVELOPMENT ADDRESS:

110 Free Street, Portland, Maine

PROJECT DESCRIPTION:

Interior building "fit-up" to provide approximately 60,000sf  
office space and supportive conference space. Exterior  
improvements include parking lot re-striping to provide 33 stalls  
proposed plantings, and separation of storm and waste water.

CHART/BLOCK/LOT: \_\_\_\_\_

CONTACT INFORMATION:

APPLICANT

Name: Maine Health

Address: 465 Congress St. Suite 600

Portland, Maine

Zip Code: 04101-3537

Work #: 207-775-7001

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home: \_\_\_\_\_

E-mail: \_\_\_\_\_

PROPERTY OWNER

Name: Maine Health

Address: 465 Congress Street, Suite 600

Portland, Maine

Zip Code: 04101-3537

Work #: 207-775-7001

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home: \_\_\_\_\_

E-mail: \_\_\_\_\_

BILLING ADDRESS

Name: Maine Health

Address: 465 Congress St. Suite 600

Portland, Maine

Zip: 04101-3537

Work #: 207-775-7001

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home: \_\_\_\_\_

E-mail: \_\_\_\_\_

~As applicable, please include additional contact information on the next page~



AGENT/REPRESENTATIVE

Name: Walter Pochebit, MMC  
Address: 22 Bramhall Street  
Portland, ME  
Zip Code: 04102-3175  
Work #: 207-662-5508  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

ENGINEER

Name: Harriman, c/o Dan Diffin P.E.  
Address: 46 Harriman Drive  
Auburn, ME  
Zip Code: 04210  
Work #: 207-784-5100  
Cell #: \_\_\_\_\_  
Fax #: 207-782-3017  
Home: \_\_\_\_\_  
E-mail: ddiffin@harriman.com

ARCHITECT

Name: Harriman, c/o Patrick Costin  
Address: 46 Harriman Drive  
Auburn, ME  
Zip Code: 04210  
Work #: 207-784-5100  
Cell #: 207-212-2972  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: pcostin@harriman.com

CONSULTANT

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Work #: \_\_\_\_\_  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

SURVEYOR

Name: Sebago Technics  
Address: One Chabot Street  
Westbrook, Maine  
Zip Code: 04098-1339  
Work #: 207-856-0277  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

ATTORNEY

Name: Donald Quigley, Esq. Maine Health  
Address: 465 Congress Street, Suite 600  
Portland, ME  
Zip Code: 04101-3537  
Work #: 207-775-7001  
Cell #: \_\_\_\_\_  
Fax #: \_\_\_\_\_  
Home: \_\_\_\_\_  
E-mail: \_\_\_\_\_

**APPLICATION FEE:**

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Plan Amendments</b></p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p> <p><b>Subdivision</b></p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + (applicable Major site plan fee)</p>
<p><b>Minor Site Plan Review</b></p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p><b>Other Reviews</b></p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input type="checkbox"/> Storm water Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p>

**DEVELOPMENT REVIEW APPLICATION SUBMISSION**

Submissions shall include seven (7) packets with folded plans containing the following materials:

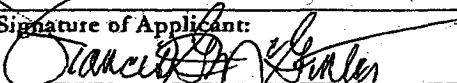
1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov). Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant:</p> 	<p>Date:</p> <p>December 11, 2009</p>
--------------------------------------------------------------------------------------------------------------------	---------------------------------------

## PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	43,009	sq. ft.
Proposed Total Disturbed Area of the Site	5,061	sq. ft.

(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.)

### IMPERVIOUS SURFACE AREA

Proposed Total Paved Area	12,267	sq. ft. of parking
Existing Total Impervious Area	42,907	sq. ft.
Proposed Total Impervious Area	40,892	sq. ft.
Proposed Impervious Net Change	-2,015	sq. ft.

### BUILDING AREA

Existing Building Footprint	25,749	sq. ft.
Proposed Building Footprint	25,749	sq. ft.
Proposed Building Footprint Net change	0	sq. ft.
Existing Total Building Floor Area	89,228	sq. ft.
Proposed Total Building Floor Area	89,228	sq. ft.
Proposed Building Floor Area Net Change	0	sq. ft.
New Building	NO	(yes or no)

### ZONING

Existing	B3
Proposed, if applicable	N/A

### LAND USE

Existing	Office
Proposed	Office

### RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units	N/A
Proposed Number of Residential Units to be Demolished	_____
Existing Number of Residential Units	_____
Proposed Number of Residential Units	_____
Subdivision, Proposed Number of Lots	_____

### PARKING SPACES

Existing Number of Parking Spaces	209
Proposed Number of Parking Spaces	195
Number of Handicapped Parking Spaces	6
Proposed Total Parking Spaces	195

### BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces	0
Proposed Number of Bicycle Parking Spaces	25 Interior
Total Bicycle Parking Spaces	_____

### ESTIMATED COST OF PROJECT

\$7,400,000

### **Please check all reviews that apply to the proposed development**

Design Review	<input checked="" type="checkbox"/>	Stormwater Quality	_____
Flood Plain Review	_____	Traffic Movement	_____
Historic Preservation	_____	Zoning Variance	_____
Housing Replacement	_____	Historic District/Landmark	_____
14-403 Street Review	_____	Off Site Parking	_____
Shoreland	_____	Multi-Family Dwelling	_____
Site Location Act Local Review	_____	B-3 Pedestrian Activity Review	_____
Single Family Dwelling	_____	Change of Use	_____
2 Family Dwelling	_____		

**APPLICATION FEE:**

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p><b>Major Development (more than 10,000 sq. ft.)</b></p> <ul style="list-style-type: none"> <li>___ Under 50,000 sq. ft. (\$500.00)</li> <li>___ 50,000 - 100,000 sq. ft. (\$1,000.00)</li> <li>___ Parking Lots over 100 spaces (\$1,000.00)</li> <li>___ 100,000 - 200,000 sq. ft. (\$2,000.00)</li> <li>___ 200,000 - 300,000 sq. ft. (\$3,000.00)</li> <li>___ Over 300,000 sq. ft. (\$5,000.00)</li> <li>___ After-the-fact Review (\$1,000.00 plus applicable application fee)</li> </ul>	<p><b>Plan Amendments</b></p> <ul style="list-style-type: none"> <li>___ Planning Staff Review (\$250.00)</li> <li>___ Planning Board Review (\$500.00)</li> </ul> <p><b>Subdivision</b></p> <ul style="list-style-type: none"> <li>___ Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + (applicable Major site plan fee)</li> </ul>
<p><b>Minor Site Plan Review</b></p> <ul style="list-style-type: none"> <li>___ Less than 10,000 sq. ft. (\$400.00)</li> <li>___ After-the-fact Review (\$1,000.00 plus applicable application fee)</li> </ul>	<p><b>Other Reviews</b></p> <ul style="list-style-type: none"> <li>___ Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</li> <li>___ Traffic Movement (\$1,000.00)</li> <li>___ Storm water Quality (\$250.00)</li> <li>___ Section 14-403 Review (\$400.00 + \$25.00 per lot)</li> <li>___ Other _____</li> </ul>

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**This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.**

Signature of Applicant:	Date:
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**MAINEHEALTH  
110 FREE STREET BUILDING RENOVATIONS  
APPLICATION FOR MINOR SITE PLAN REVIEW  
CITY OF PORTLAND PLANNING DEPARTMENT  
PORTLAND, MAINE  
Project No. 09146**

**December 11, 2009**

**INTRODUCTION**

Maine Health is doing tenant fit-up building renovations to the 110 Free Street office building. The renovations will result in 60,900 sf +/- of office space with associated conference rooms and mechanical spaces over the 89,228 sq.ft. floor area. Site work will include improvements to the adjacent parking lot such as sealing and restriping, better defined vehicle circulation and adding landscaping to buffer the site from Free and Spring Streets.

**WRITTEN STATEMENTS**

- Total Land Area = 0.99 acres (60,548 sq.ft.).  
Building footprint = 25,749 sq. ft.  
Total floor area = 89,228 sq. ft.  
Total site disturbed area = 6,000 sq. ft.
  
- The site is encumbered with a 554 sq. ft. snow storage easement on the eastern corner of the site. The site has a parking easement on the City of Portland property to the east.
  
- Solid waste will be handled by an exterior dumpster in the loading area at Spring Street. An interior space will be designated for recycling segregation.
  
- Off-site facilities are adequate to serve the renovated office space in the building:
  - Post renovations the design sewer flow from the building will be decreased and the roof drainage is being separated from the sanitary sewer. With these considerations, the building use on the City's sewer system will be significantly reduced.
  - Design water demand in the building will be reduced post renovation. The building water system was designed using flow test data provided by the Portland Water District.
  - Traffic from the fit-up of the office building will not exceed existing capacity of Spring and Free Streets. These streets are both major roadways designed for high traffic volume.

- The existing site is almost entirely impervious with parking and concrete walks. A third of the site drains to the north toward Free Street and is captured in the streets closed storm drain system. The southern two thirds of the site drains to a trench drain at the Spring Street exit and into the City's closed storm system. The roof runoff drains to the City's sanitary sewer system.

The post development surface drainage patterns will generally be the same as existing conditions and the impervious area will be decreased with the construction of the landscaped areas. The interior landscaped islands are at the site's drainage break. The large landscaped island to the southeast of the building corner along Spring Street will be constructed with a bio-retention cell as shown on the included drawing set. The bio-retention cell sizing calculations are attached.

The roof runoff is being separated during construction to drain to the City's closed storm drain system along Spring Street. Attached is the HydroCAD model used to analyze the capacity of the existing 12" RCP drain line from the on-site trench drain to the City's storm system. The pipe passes the 10-yr and 25-yr storms without overburdening the trench drain and the new drainage manhole.

- **Anticipated Construction Schedule:**

<u>Jan 20, 2010:</u>	Building abatement and interior demolition.
<u>April 1, 2010:</u>	Finish building demo and start skylight construction.
<u>May-June 2010:</u>	Start building interior renovations.
<u>July 10, 2010:</u>	Start exterior improvements; parking lot, landscaping and minor utilities upgrades.
<u>October 5, 2010:</u>	Complete site work.
<u>November 2010:</u>	Complete and clean building work.

- No State or Federal regulatory permits are needed for this tenant fit-up.
- Evidence of Financial Capacity is attached.
- Title, Right, and Interest: See attached deed.

- On this small 0.99-acre fully developed with mostly impervious area there are no known unusual natural areas or habitats. The lot is almost entirely developed with building, pavement and concrete/paver walks.

**ADDITIONAL STANDARDS:**

1. Parking:

Re-stripping of the parking lot will decrease the parking spaces adjacent to the building from 47 spaces to 33 spaces. The lot is being restriped with landscaping to improve the vehicle circulation and meet the City's dimensional requirements. Maine Health owns a parking area across Oak Street that totals 162 spaces and will have a total of 195 spaces available for use. Of these 195, six will be designated as accessible parking spaces and be nearest the Free Street entrance of the building.

Ordinance requires 153 space for Office Use(1 per 400s.f.), the proposed parking exceeds the ordinance.

2. Lighting:

The site is lit from wall-pack lights on the building. These fixtures will have cut-off lense features and illuminate the parking as shown on the photometrics plan included in the drawing set.

3. Erosion Control is detailed on drawing C00.3 of the set provided.

✓ \_\_\_\_\_  
 ✓ \_\_\_\_\_  
 ✓ \_\_\_\_\_  
 ✓ \_\_\_\_\_  
 N/A \_\_\_\_\_  
 UPON \_\_\_\_\_  
 APPROVAL \_\_\_\_\_

- \* An estimate of the time period required for completion of the development 7
- \* A list of all state and federal regulatory approvals to which the development may be subject to, the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction. 8
- \* Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.
- \* Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.
- \* A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.

A jpeg or pdf of the proposed site plan, if available.  
 Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- erosion and sedimentation controls to be used during construction
- a parking and/or traffic study
- emissions
- a wind impact analysis
- an environmental impact study
- a sun shadow study
- a study of particulates and any other noxious
- a noise study



Thence N 33° 12' 28" E a distance of 9.33 feet by and along the southwesterly sideline of said Arcand Properties;

Thence N 37° 00' 28" E a distance of 73.69 feet by and along the southwesterly sideline of said Arcand Properties to the most westerly corner thereof on the southeasterly sideline of said Free Street;

Thence S 52° 59' 32" W a distance of 166.32 feet by and along the southeasterly sideline of said Free Street to the most northerly corner of land now or formerly of The Children's Museum of Maine as described in Deed Book 9770, Pages 254 & 257;

Thence S 41° 19' 50" E a distance of 162.37 feet by and along the northeasterly sideline of said Children's Museum to a brick wall and the northwesterly sideline of said Portland Museum of Art;

Thence N 49° 54' 04" E a distance of 30.90 feet along a brick wall and a continuation thereof by and along the northwesterly sideline of said Portland Museum of Art;

Thence N 48° 24' 35" E a distance of 72.75 feet by and along the northwesterly sideline of said Portland Museum of Art to an angle point;

Thence N 52° 59' 35" E a distance of 127.15 feet by and along the northwesterly sideline of said Portland Museum of Art to an angle point;

Thence S 43° 04' 55" E a distance of 30.49 feet by and along the southwesterly sideline of said Portland Museum of Art to an angle point;

Thence N 53° 32' 05" E a distance of 71.36 feet by and along the northwesterly sideline of said Portland Museum of Art to the Point of Beginning.

Meaning and intending to describe a parcel of land containing 46,061 square feet, more or less (1.06 Acres) and being shown as Parcel A on the hereinafter mentioned plan.

Subject to an access easement granted to the Children's Museum of Maine by Baxter Building Realty Trust, dated October 16, 1991 and recorded in Deed Book 9770 Page, 259.

Subject to a release of rights in an 8 inch portion of the party wall on the southeast end of the brick building at 128 Free Street to Anthony Kostopoulos by Harper Hotels, Inc. dated November 23, 1992, and recorded in Deed Book 10463, Page 48.

**EXHIBIT "A"**

**PREMISES**

A certain lot or parcel of land situated on the northwesterly side of Spring Street, the northeasterly side of Oak Street and the southeasterly side of Free Street in the City of Portland, County of Cumberland and the State of Maine as shown on an ALTA Survey of Anthem Health Building and Parking for Jenkins and Gilchrist by Sebago Technics, Inc. dated March 19, 2007, and last revised on June 13, 2007, with reference to Project Number 06484, being more specifically bounded and described as follows:

BEGINNING at the intersection of the northwesterly side of Spring Street and the northeasterly side of Oak Street;

Thence N 36°-11'-38" W, by and along Oak Street, a distance of 288.04 feet to the southeasterly side of Free Street;

Thence N 52°-59'-32" E, by and along Free Street, a distance of 152.03 feet to land now or formerly of the City of Portland;

Thence S 36°-58'-20" E, by and along land of said City of Portland, a distance of 270.81 feet to the northwesterly side of Spring Street;

Thence S 46°-41'-55" W, by and along Spring Street, a distance of 156.90 feet to the POINT OF BEGINNING.

Bearings are based on Grid North.

# MaineHealth

December 10, 2009

Barbara Barhydt  
Development Review Services Manager  
Portland Planning Department  
389 Congress Street  
Portland, ME 04101

Dear Ms. Barhydt,

As you know, MaineHealth recently purchased the former Blue Cross and Blue Shield of Maine building at 110 Free Street. As you also know, we propose to spend approximately \$11.9 million to renovate and equip the building for use as our principal corporate office. The purpose of this letter is to confirm that MaineHealth has the financial capacity to undertake this project.

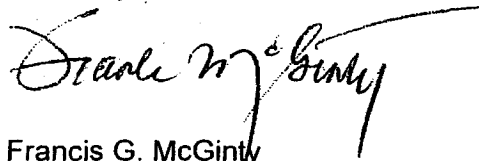
I have enclosed a copy of our most recent audited financial statement for your information. As indicated on page 30, MaineHealth had unrestricted net assets of \$38.4 million dollars on September 30, 2008. Our audited financial statement for the year that ended September 30, 2009, which will not be available until February 15, will indicate that our unrestricted net assets now exceed \$45.0 million. Although it would not be our preference, we clearly have the wherewithal to carry out this project. Should it become necessary to do so, we can and will use available cash resources to pay for all or some of the work that is planned.

That said, we have initiated discussions with TD Bank, with which we maintain our principal banking relationship, regarding its willingness to provide financing for the project. The repayment of the amount borrowed will be guaranteed by Maine Medical Center and the other organizations that comprise our "Obligated Group". As indicated in the enclosed financial statement, the system has unrestricted net assets in excess of \$704.0 million. Both our system and the Medical Center have been assigned AA- ratings by Standard & Poor's. We are, in short, an excellent credit. In the unlikely event we do not reach agreement with TD Bank, there will be no shortage of other banks willing to provide the financing we desire.

If there is additional information that would be helpful to you, please do not hesitate to contact me.

Thank you for your consideration of our filing.

Sincerely,



Francis G. McGinty  
Executive Vice President & Treasurer

cc: Patrick Costin

JOB: 110 FREESTREET

DATE: 12/5/09

BY: DAN DUFFIN

## STORM WATER MANAGEMENT

RAIN GARDEN #1:

WATER QUALITY VOLUME = WQV

$$WQV = 1"(\text{IMPERVIOUS AREA}) + 0.4"(\text{LANDSCAPED AREA})$$

SUBCATCHMENT TO RG#1 TOTAL AREA = 4,277 ft<sup>2</sup>

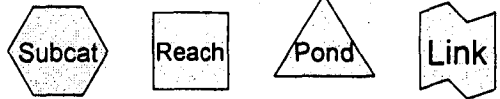
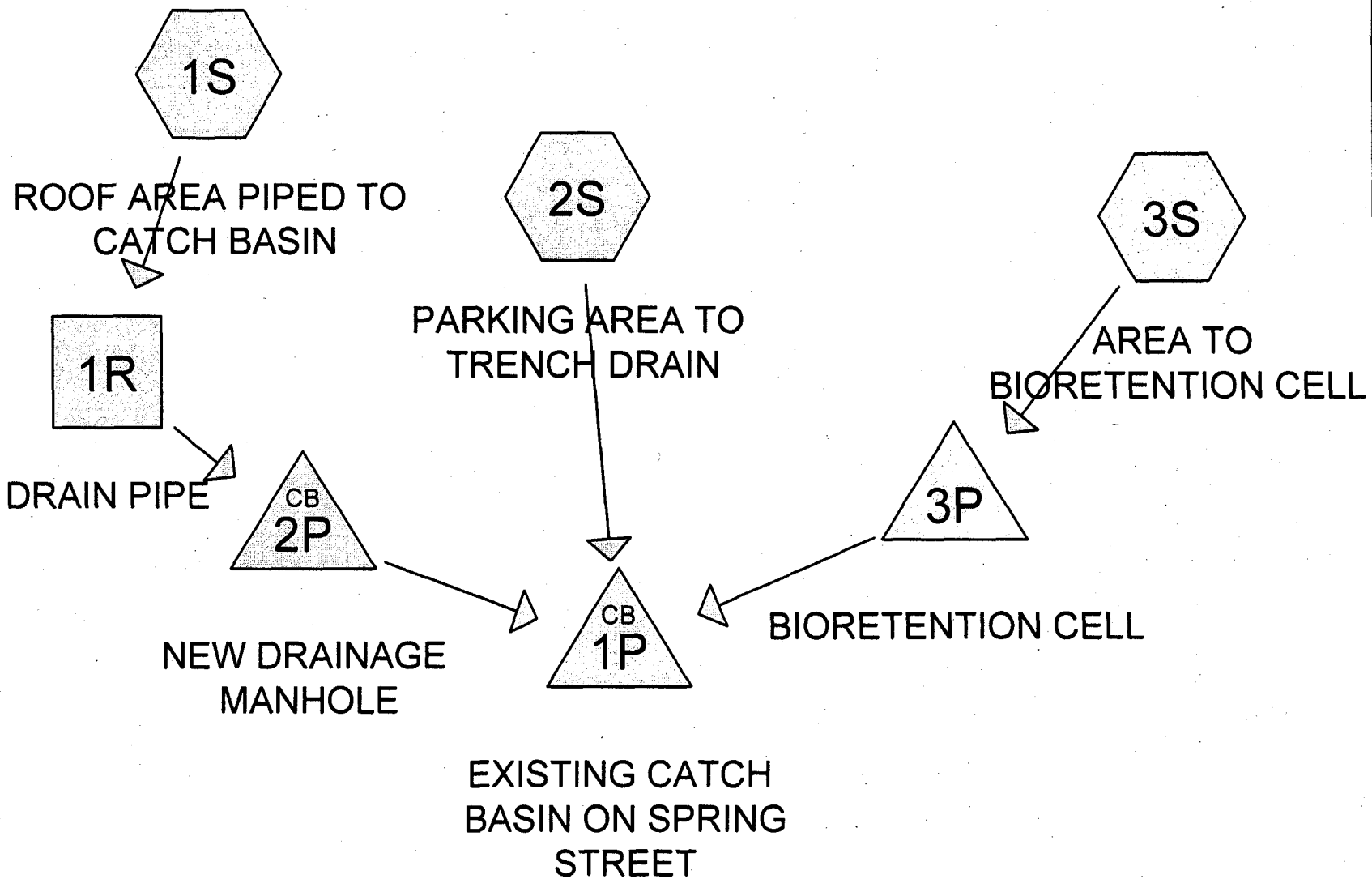
IMPERVIOUS AREA = 3,329 ft<sup>2</sup>

LANDSCAPED = 948 ft<sup>2</sup>

$$WQV = \frac{1"(3,329 \text{ ft}^2) + 0.4"(948 \text{ ft}^2)}{12 \text{ "/ft}} = \underline{\underline{309.0 \text{ ft}^3}}$$

STORAGE VOLUME PROVIDED W/ RG#1 = 145 ft<sup>3</sup>

% WQV PROVIDED = 47%



**Drainage Diagram for 09146-devcond**  
 Prepared by {enter your company name here} 12/10/2009  
 HydroCAD® 7.00 s/n 000770 © 1986-2003 Applied Microcomputer Systems

**Subcatchment 1S: ROOF AREA PIPED TO CATCH BASIN**

Runoff = 4.08 cfs @ 11.96 hrs, Volume= 0.220 af, Depth= 4.46"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type II 24-hr 10-YR Rainfall=4.70"

Area (sf)	CN	Description
25,749	98	Paved parking & roofs

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Tc MUST BE GREATER THAN OR EQUAL TO 5 M

**Subcatchment 2S: PARKING AREA TO TRENCH DRAIN**

Runoff = 0.96 cfs @ 11.96 hrs, Volume= 0.052 af, Depth= 4.46"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type II 24-hr 10-YR Rainfall=4.70"

Area (sf)	CN	Description
6,055	98	Paved parking & roofs

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Tc MUST BE GREATER THAN OR EQUAL TO 5 M

**Subcatchment 3S: AREA TO BIORETENTION CELL**

Runoff = 0.68 cfs @ 11.96 hrs, Volume= 0.037 af, Depth= 4.46"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
Type II 24-hr 10-YR Rainfall=4.70"

Area (sf)	CN	Description
4,277	98	Paved parking & roofs

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Tc MUST BE GREATER THAN OR EQUAL TO 5 M

**Reach 1R: DRAIN PIPE**

Inflow Area = 0.591 ac, Inflow Depth = 4.46" for 10-YR event  
 Inflow = 4.08 cfs @ 11.96 hrs, Volume= 0.220 af  
 Outflow = 3.11 cfs @ 11.89 hrs, Volume= 0.220 af, Atten= 24%, Lag= 0.0 min

Time span=0.00-30.00 hrs, dt=0.01 hrs, 3001 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1S: ROOF AREA PIPED TO CATCH BASIN**      Runoff Area=25,749 sf    Runoff Depth=5.26"  
Tc=5.0 min    CN=98    Runoff=4.78 cfs    0.259 af

**Subcatchment 2S: PARKING AREA TO TRENCH DRAIN**      Runoff Area=6,055 sf    Runoff Depth=5.26"  
Tc=5.0 min    CN=98    Runoff=1.12 cfs    0.061 af

**Subcatchment 3S: AREA TO BIORETENTION CELL**      Runoff Area=4,277 sf    Runoff Depth=5.26"  
Tc=5.0 min    CN=98    Runoff=0.79 cfs    0.043 af

**Reach 1R: DRAIN PIPE**      Peak Depth=0.83'    Max Vel=6.1 fps    Inflow=4.78 cfs    0.259 af  
D=10.0"    n=0.012    L=20.0'    S=0.0150 '/'    Capacity=2.91 cfs    Outflow=3.05 cfs    0.259 af

**Pond 1P: EXISTING CATCH BASIN ON SPRING STREET**      Peak Elev=83.85'    Inflow=4.80 cfs    0.363 af  
12.0" x 38.0' Culvert    Outflow=4.80 cfs    0.363 af

**Pond 2P: NEW DRAINAGE MANHOLE**      Peak Elev=84.37'    Inflow=3.05 cfs    0.259 af  
10.0" x 60.0' Culvert    Outflow=3.05 cfs    0.259 af

**Pond 3P: BIORETENTION CELL**      Peak Elev=86.16'    Storage=216 cf    Inflow=0.79 cfs    0.043 af  
Primary=0.02 cfs    0.023 af    Secondary=0.75 cfs    0.020 af    Outflow=0.78 cfs    0.043 af

**Total Runoff Area = 0.828 ac    Runoff Volume = 0.363 af    Average Runoff Depth = 5.26"**

**MISC1**



HARRIMAN

Architects + Engineers

Auburn Business Park  
46 Harriman Drive  
Auburn, Maine 04210

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207.782.3017 fax  
www.harriman.com

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February 2, 2010

Ms. Penny St. Louis Littell  
Director  
Planning and Urban Development Department  
City of Portland  
389 Congress Street  
Portland, ME 04101

Re: MaineHealth  
110 Free Street Renovations  
Portland, ME  
Project No. 09146  
Request for Waiver of Performance Guarantee

*asking release of demo permit  
prior to posting a performance guarantee  
Ok'd by Penny*

Dear Penny:

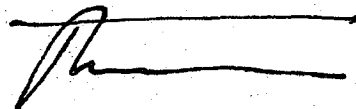
Shukria Wiar suggested I write you to request a ~~waiver of the performance guarantee~~ requirement in our planning approval to allow a demolition permit for the interior of 110 Free Street to be issued by the Inspection Services Department.

We have received planning department approval subject to standard terms and conditions (see attachment). Consigli Construction wants to start interior demolition activities as soon as possible. We don't expect to start site construction for several months. However, we will follow up soon with the performance guarantee as required by our approval.

The waiver will allow Consigli to start interior work this week, if permitted.

Thank you for your assistance on this matter. Please contact me if you have any questions.

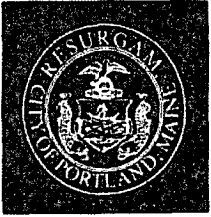
Sincerely,  
Harriman



Patrick S. Costin, AIA, LEED AP, BD+C  
Principal

Psc/Ksfi

Enclosure



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**Planning & Urban Development Department**

Penny St. Louis Littell, Director

**Planning Division**

Alexander Jaegerman, Director

**JANUARY 25, 2010**

**Project Name:** Free Street - 110: Building Renovations; Maine Health, Applicant.  
**Project ID:** 09-79900019  
**Project Address:** 110 FREE STREET

**Planner:** Shukria Wiar

Dear Applicant:

On January 25, 2010, the Portland Planning Authority approved a minor site plan for building renovations and parking lot improvements at 110 Free Street as submitted by the Applicant and shown on the approved plan prepared by Harriman and dated December 11, 2009.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

**STANDARD CONDITIONS OF APPROVAL**

Please note the following standard conditions of approval and requirements for all approved site plans:

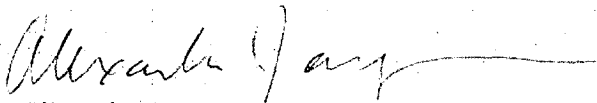
1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.
2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.

5. The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Shukria Wiar at 756-8083 or [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov)

Sincerely,



Alexander Q. Jaegerman  
Planning Division Director

**Attachments:**

1. Performance Guarantee Packet

**Electronic Distribution:**

Penny St. Louis Littell, Director of Planning and Urban Development  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Tammy Munson, Inspections Division  
Gayle Guertin, Inspections Division  
Lannie Dobson, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Public Services

Bill Clark, Public Services  
David Margolis-Pineo, Deputy City Engineer  
Greg Vining, Public Services  
John Low, Public Services  
Jane Ward, Public Services  
Keith Gautreau, Fire  
Jeff Tarling, City Arborist  
Tom Errico, Wilbur Smith Consulting Engineers  
Dan Goyette, Woodard & Curran  
Assessor's Office  
Approval Letter File  
**Hard Copy:** Project File

Auburn Business Park  
46 Harriman Drive  
Auburn, Maine 04210

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22 January 2010

Ms. Shukria Wiar, Planner  
City of Portland  
Division of Planning  
389 Congress Street  
Portland, ME 04101

Re: MaineHealth Free Street  
110 Free Street  
Portland, ME  
Project No. 09146

Minor Site Plan Review Application

Responses to Review Comments for Final Plan  
Planning Authority Review dated January 14, 2010

Dear Shukria:

Please see selected comments from the Planning Authority Review dated January 14, 2010 and associated responses below. It is our understanding that acceptance of the responses and acceptance of the attached information would allow final plan approval for the MaineHealth Free Street Project. We would then make minor plan revisions and submit seven copies for your distribution and file.

Comment: B. Planning: Shukria Wiar  
1. *Submit the 'audited financial statement' referred to in the letter dated 12.10.09 from Francis G. McGinly.*

Response: Please see attached financial information referred to in the original letter. As we spoke, page 29 and 30 of the report are attached and represent the "Consolidating Balance Sheet Information" portion of the full statement.

Comment: C. Historic Preservation: Deb Andrews  
1. *Since this project in the Congress Street Historical District, it will be reviewed by the Historic Preservation under a different application process.*

HARRIMAN

Ms. Shukria Wiar  
Page 2 of 2

Response: As you confirmed via email earlier today, the project is not located within the Congress Street Historical District and does not require associated review and approval.

Comment: F. Consulting Engineer: Stormwater Dan Goyette  
1. *The applicant should look into an overlay of the parking surface rather than a seal coat due to the negative environmental impacts from seal coats.*  
2. *In addition, we would recommend the use of a timber guardrail instead of metal.*

Response: The scope and budget of the project improvements do not support a bituminous pavement overlay of the entire parking lot. The intended function of the seal coat is to prevent pavement deterioration and allow restriping/reconfiguration of parking stalls. In addition, a portion of the parking area run-off is being treated via bio-retention cell to help mitigate environmental impacts.

We will install timber guardrail in place of all proposed metal guardrail.

Please contact me with any questions and/or clarifications as needed.

Sincerely,  
Harriman



John P. Jacobson, RLA, ASLA

JPJ/ksfi

encl: Financial Statement

**MAINEHEALTH AND SUBSIDIARIES**

**CONSOLIDATING BALANCE SHEET INFORMATION  
SEPTEMBER 30, 2007  
(In thousands)**

	MaineHealth	Maine Medical Center	Miles Health Care Inc.	Western Maine Health Care Corp.	Spring Harbor Hospital	St. Andrews Hospital	MaineHealth Visiting Nurses of Southern ME	NorDx	Spring Harbor Counseling	Maine PHO	Synemat	Eliminations	Sub-Total Prior to Reclassifications	Reclassifications	Consolidated
<b>ASSETS</b>															
<b>CURRENT ASSETS:</b>															
Cash and cash equivalents	\$ 8,620	\$ 25,440	\$ 2,257	\$ 10,399	\$ 4,497	\$ 1,119	\$ 208	\$ 2,239	\$ 273	\$ -	\$ 244	\$ -	\$ 55,296	\$ -	\$ 55,296
Investments	9,745	263,598	489	671			672	8,358					283,533		283,533
Patient accounts receivable — net		39,029	7,970	2,757	2,043	2,499	1,616	1,095	191				57,200	728	57,928
Current portion of assets whose use is limited	40,085	23,339	317	56	464	180							64,441		64,441
Inventory, prepaid expenses, and other current assets	1,512	13,096	1,591	1,634	411	594	941	844	48	2	1,168		21,841	1,368	23,209
Amounts receivable under reimbursement regulations		26,773		246									27,019		27,019
Current portion of notes and amounts receivable from affiliated entities	13,021	10,324	345			162		1,790		36		(23,582)	2,096	(2,096)	
Total current assets	72,983	401,599	12,969	15,763	7,415	4,554	3,437	14,326	512	38	1,412	(23,582)	511,426	-	511,426
<b>INVESTMENTS WHOSE USE IS LIMITED BY:</b>															
Debt agreements		45,249	318	744	464	180							46,955		46,955
Board designation	2,435	54,515	3,538	8,275		4,045	1,699						74,507		74,507
Self-insurance trust agreements	40,084	21,320											61,404		61,404
Specially designated specific purpose funds		25,941	1,253	156	85	497	421						28,353		28,353
Plant replacement funds		13,639		62	105								13,806		13,806
Funds functioning as endowment funds		102,361		443	364		230						103,398		103,398
Pooled life income funds		2,086											2,086		2,086
Total investments	42,519	265,111	5,109	9,680	1,018	4,722	2,350						330,509		330,509
Less current portion	40,085	23,339	317	56	464	180							64,441		64,441
	2,434	241,772	4,792	9,624	554	4,542	2,350						266,068		266,068
<b>PROPERTY, PLANT AND EQUIPMENT — Net:</b>															
Amounts receivable under reimbursement regulations	4,741	393,511	26,946	17,983	24,085	17,943	1,006	2,717	81	5	359		489,377		489,377
Deferred financing costs — net		1,535	207		4,581								4,581		4,581
Prepaid pension costs		3,105			278								2,020		2,020
Other assets	1,175	20,619	4,885	240		1,379	517					(480)	28,335		28,335
Notes and amounts receivable from affiliates, less current portion		2,454											(2,454)		
<b>TOTAL</b>	<b>\$ 81,333</b>	<b>\$ 1,064,595</b>	<b>\$ 49,799</b>	<b>\$ 43,610</b>	<b>\$ 36,913</b>	<b>\$ 28,418</b>	<b>\$ 7,310</b>	<b>\$ 17,043</b>	<b>\$ 593</b>	<b>\$ 43</b>	<b>\$ 1,771</b>	<b>\$ (26,516)</b>	<b>\$ 1,304,912</b>	<b>\$ -</b>	<b>\$ 1,304,912</b>

(Continued)

## MAINEHEALTH AND SUBSIDIARIES

### CONSOLIDATING BALANCE SHEET INFORMATION SEPTEMBER 30, 2007 (in thousands)

	MaineHealth	Maine Medical Center	Miles Health Care Inc.	Western Maine Health Care Corp.	Spring Harbor Hospital	St. Andrews Hospital	HomeHealth Visiting Nurses of Southern ME	NorCis	Spring Harbor Counseling	Maine PHO	Synemet	Eliminations	Sub-Total Prior to Reclassifications	Reclassifications	Consolidated
<b>LIABILITIES AND NET ASSETS</b>															
<b>CURRENT LIABILITIES:</b>															
Current portion of long-term debt	\$ 18	\$ 7,755	\$ 1,289	\$ 384	\$ 562	\$ 308	\$ 228	\$ -	\$ -	\$ -	\$ 16	\$ -	\$ 10,560	\$ -	\$ 10,560
Accounts payable and other current liabilities	1,950	27,921	2,132	2,469	702	1,096	241	3,054	74	43	347	(1,239)	38,790	714	39,504
Accrued payroll, payroll taxes and amounts withheld		12,119	1,405	731	941	479	680	393	89				16,837		16,837
Accrued earned time	634	15,844	1,218	1,450	1,115	709	503	1,018	6		249		22,746		22,746
Accrued interest payable	5	396	164		350	117							1,032		1,032
Amounts payable under reimbursement regulations		72,772	1,286	3,235		965	65						78,323		78,323
Self-insurance reserves	29,519	17,747											47,266		47,266
Deferred revenue	1,537		119				687				121		2,464		2,464
Due to affiliated entities		8,452	3,093	657	1,677	903	935	1,449	2			(16,454)	714	(714)	-
Total current liabilities	33,663	163,006	10,706	8,926	5,347	4,577	3,339	5,914	171	43	733	(17,693)	218,732	-	218,732
ACCRUED POST-RETIREMENT BENEFITS OTHER THAN PENSION		31,257											31,257		31,257
LONG-TERM DEBT — Less current portion	844	153,704	14,282	7,040	23,383	8,439	169				15		207,876		207,876
OTHER LIABILITIES		17,239	1,064	912	230	661							20,106		20,106
NOTES AND AMOUNTS PAYABLE TO AFFILIATES	8,343											(8,343)			-
Total liabilities	42,850	365,206	26,052	16,878	28,960	13,677	3,508	5,914	171	43	748	(26,036)	477,971	-	477,971
<b>NET ASSETS:</b>															
Unrestricted	38,483	586,308	18,646	26,072	7,413	13,243	3,634	11,129	422		1,023	(480)	704,893		704,893
Temporarily restricted		92,365	179	218	190	752	421						94,125		94,125
Permanently restricted		20,716	4,922	442	350	746	747						27,923		27,923
Total net assets	38,483	699,389	23,747	26,732	7,953	14,741	3,802	11,129	422		1,023	(480)	826,941	-	826,941
<b>TOTAL</b>	<b>\$ 81,333</b>	<b>\$ 1,064,595</b>	<b>\$ 49,799</b>	<b>\$ 43,610</b>	<b>\$ 36,913</b>	<b>\$ 28,418</b>	<b>\$ 7,310</b>	<b>\$ 17,043</b>	<b>\$ 593</b>	<b>\$ 43</b>	<b>\$ 1,771</b>	<b>\$ (26,516)</b>	<b>\$ 1,304,912</b>	<b>\$ -</b>	<b>\$ 1,304,912</b>

(Concluded)

**Shukria Wiar - 110 Free Street**

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**From:** Thomas Errico <Thomas.Errico@tylin.com>  
**To:** Shukria Wiar <SHUKRIAW@portlandmaine.gov>  
**Date:** 1/5/2010 10:58 AM  
**Subject:** 110 Free Street  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@portlandmaine.gov>

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Shukria – I have reviewed the submittal dated December 11, 2009 prepared by Harriman Architects and Engineers and find the layout of the proposed 33 space parking lot to be acceptable. During the renovation of the building, it is my assumption that all sidewalks will remain open. If this is not the case, the applicant should provide a plan for sidewalk closures for review and approval.

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, P.E.  
**TYLIN** INTERNATIONAL

12 Northbrook Drive  
Building A, Suite One  
Falmouth, ME 04105

207.347.4354 (Direct)  
207.781.4721 (Main)  
207.781.4753 (Fax)  
207.400.0719 (Mobile)



**Type:**  
**Job:**  
**Catalog number:**

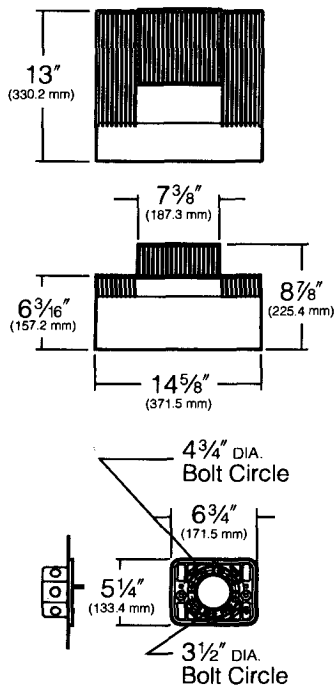
**Approvals:**

Fixture    Electrical Module    Finish    Options  
 \_\_\_\_\_  
 See page 2    See pages 3-4

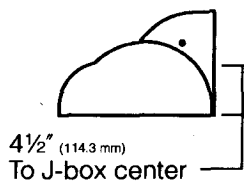
**Date:**  
**Page: 1 of 5**

## Specifications

Maximum Fixture  
 Weight (150HPS) = 26 lb



**Mounting Plate**  
 Attaches directly to any  
 standard 4" J-box (by others)



**Reflector Housing:** One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral cooling fins. Rotates against ballast housing to provide 10° of adjustment with degree markers cast into the housing. At 0° adjustment, lens is totally concealed from view above horizontal with fixture aimed downward.

**Ballast Housing:** One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral cooling fins. Fastens to mounting plate with keyhole slots freeing both hands for securing and wiring. One stainless steel socket-head screw on each side of housing frees the reflector housing to rotate for aiming. Tightening the screws locks the two housings together with sealing provided by a silicone gasket. For visual aiming, adjustment may be accomplished with the fixture on.

**Lens Frame:** One-piece die-cast, low copper (<0.6% Cu) aluminum alloy with integral hinges and stainless steel pins. Two stainless steel quarter-turn fasteners secure lens frame to reflector housing with sealing provided by a one-piece extruded and vulcanized silicone gasket. Lens is clear flat 3/16" thick tempered glass sealed to lens frame with a silicone gasket and retainer clips. For UP models, lens is mounted flush with frame for water run off, and is silicone sealed.

**Type II, III, and IV Reflector Module:** Specular Alzak® optical segments are rigidly mounted within a die-cast aluminum enclosure that attaches to the housing by a no-tool quick-disconnecting hinge and fastener. All sockets are porcelain medium base rated 4KV. All modules are factory prewired with a quick-disconnect plug for mating to the ballast. Available in three light distributions, all interchangeable within the same housing.

**Wall Grazer Reflector Module:** Specular Alzak® optical segment is rigidly formed into a self-contained module which attaches to the housing by a no-tool quick-disconnecting hinge and fastener. Black louver vanes run parallel to the lamp arc for controlling the hot spot directly behind the fixture, and spill light into the atmosphere. All sockets are porcelain medium base rated 4KV. All modules are factory prewired with a quick-disconnect plug for mating to the ballast.

**Spot Reflector Module:** Specular Alzak® optical spun parabola is rigidly mounted to a self-contained module which attaches to the housing by a no-tool quick-disconnecting hinge and fastener. Black internal louvers are provided to control the beam and prevent hot spots directly behind the fixture and spill light into the atmosphere. All sockets are porcelain medium base rated 4KV. All modules are factory prewired with a quick-disconnect plug for mating to the ballast.

**Electrical Components:** High power factor ballasts are rigidly mounted inside the housing and are factory prewired with a quick-disconnect plug for mating to the socket. Starting temperatures are -40°F for HPS lamp modes and -20°F for PMH lamp modes.

**Mounting Plate:** Mounting plate attaches directly to any standard 4" junction box. All mounting plates are die-cast aluminum with reinforced ribs. Two studs are provided in each plate with flange nuts to allow fixture mounting by keyhole slots. Sealant must be applied (by others) between mounting plate and mounting surface to insure a dry junction box.

**Finish/Color:** Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanated zirconium conversion coating; A.S.T.M. 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Light Gray, Stealth Gray®, Platinum Silver, or White. Custom colors are available.

**CAUTION:** Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

### Listings and Ratings

UL cUL 1598 <sup>1</sup>	CE	25C Ambient
	IP66 Rated	

<sup>1</sup>Suitable for wet locations

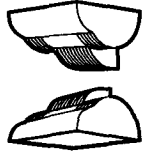
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.



Type:

Job:

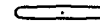
Page: 2 of 5



## Standard Features

**Fixture**

Cat. No. designates **WD14** fixture, Up (U) or Down (D) configuration, and light distribution (2, 3, 4, G or S).



WD Fixture

Light Distribution:

Type II

Type III

Type IV

Wall Grazer

Spot

Cat. No.: (Up 14')

**WD14U2**

**WD14U3**

**WD14U4**

**WD14UG**

**WD14US**

Cat. No.: (Down 14')

**WD14D2**

**WD14D3**

**WD14D4**

**WD14DG**

**WD14DS**

**Finish**

Super TGIC powder coat paint over a titanated zirconium conversion coating.

Color: Black Dark Bronze Light Gray Stealth Gray® Platinum Silver White Custom Color¹

Cat. No.:  **BL**

**DB**

**LG**

**SG**

**PS**

**WH**

**CC**

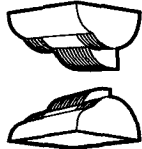
¹Custom colors subject to additional charges, minimum quantities and extended lead times.

Consult representative. Custom color description: \_\_\_\_\_

Type:

Job:

Page: 3 of 5



## Standard Features

### Electrical Module

**PMH** = Pulse Start Metal Halide  
**HPS** = High Pressure Sodium  
**PL** = Compact Fluorescent Triple Tube  
**IF** = Induction Fluorescent



Lamp Lamp Line  
 Watts Type Volts  
**150 PMH 277**

Lamp and electrical data supplied for reference purposes only. All initial lumen values shown may vary from one manufacturer to another. Consult lamp manufacturer's data for exact lumen and life data.

**NOTE:** For lamp/ballast information outside of the U.S.A. and Canada, please consult your local Kim representative.

**WARNING:** Fixtures must be installed and grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury. For lamp/ballast information outside of the U.S.A. and Canada, please consult your local Kim representative. Lamps by others.

### Cat. Nos. for Electrical Modules available:

	Pulse Start Metal Halide				
	<input type="checkbox"/> 50PMH120 <sup>1</sup>	<input type="checkbox"/> 70PMH120 <sup>1</sup>	<input type="checkbox"/> 100PMH120 <sup>1</sup>	<input type="checkbox"/> 125PMH120 <sup>1</sup>	<input type="checkbox"/> 150PMH120 <sup>1</sup>
	<input type="checkbox"/> 50PMH208 <sup>1</sup>	<input type="checkbox"/> 70PMH208 <sup>1</sup>	<input type="checkbox"/> 100PMH208 <sup>1</sup>	<input type="checkbox"/> 125PMH208 <sup>1</sup>	<input type="checkbox"/> 150PMH208 <sup>1</sup>
	<input type="checkbox"/> 50PMH240 <sup>1</sup>	<input type="checkbox"/> 70PMH240 <sup>1</sup>	<input type="checkbox"/> 100PMH240 <sup>1</sup>	<input type="checkbox"/> 125PMH240 <sup>1</sup>	<input type="checkbox"/> 150PMH240 <sup>1</sup>
	<input type="checkbox"/> 50PMH277 <sup>1</sup>	<input type="checkbox"/> 70PMH277 <sup>1</sup>	<input type="checkbox"/> 100PMH277 <sup>1</sup>	<input type="checkbox"/> 125PMH277 <sup>1</sup>	<input type="checkbox"/> 150PMH277 <sup>1</sup>
	<input type="checkbox"/> 50PMH347 <sup>1</sup>	<input type="checkbox"/> 70PMH347 <sup>1</sup>	<input type="checkbox"/> 100PMH347 <sup>1</sup>	<input type="checkbox"/> 125PMH347 <sup>1</sup>	<input type="checkbox"/> 150PMH347 <sup>1</sup>
		<input type="checkbox"/> 70PMH480 <sup>3,4</sup>	<input type="checkbox"/> 100PMH480 <sup>3,4</sup>		<input type="checkbox"/> 150PMH480 <sup>3,4</sup>
Lamp	ED-17 Clear	T6 Clear, or ED-17 Clear	ED-17 Clear	ED-17 Clear	T6 Clear, or ED-17 Clear
Socket	Medium Base	G-12 Base, or Medium Base	Medium Base	Medium Base	G-12 Base, or Medium Base
ANSI Ballast	M148, M110	M143, M98	M140, M90	M150	M142, M102

	High Pressure Sodium		
	<input type="checkbox"/> 70HPS120	<input type="checkbox"/> 100HPS120	<input type="checkbox"/> 150HPS120
	<input type="checkbox"/> 70HPS208	<input type="checkbox"/> 100HPS208	<input type="checkbox"/> 150HPS208
	<input type="checkbox"/> 70HPS240	<input type="checkbox"/> 100HPS240	<input type="checkbox"/> 150HPS240
	<input type="checkbox"/> 70HPS277	<input type="checkbox"/> 100HPS277	<input type="checkbox"/> 150HPS277
	<input type="checkbox"/> 70HPS347	<input type="checkbox"/> 100HPS347	<input type="checkbox"/> 150HPS347
	<input type="checkbox"/> 70HPS480 <sup>3</sup>	<input type="checkbox"/> 100HPS480 <sup>3</sup>	<input type="checkbox"/> 150HPS480 <sup>3</sup>
Lamp	ED-17 Clear	ED-17 Clear	ED-17 Clear,
Socket	Medium Base	Medium Base	Medium Base
ANSI Ballast	S-62	S-54	S-55

	Compact Fluorescent			Induction Fluorescent
	<input type="checkbox"/> 42PL120 <sup>1,2</sup>	<input type="checkbox"/> 57PL120 <sup>1,2</sup>	<input type="checkbox"/> 60PL120 <sup>1,2</sup>	<input type="checkbox"/> 55IF120
	<input type="checkbox"/> 42PL208 <sup>1,2</sup>	<input type="checkbox"/> 57PL208 <sup>1,2</sup>	<input type="checkbox"/> 60PL208 <sup>1,2</sup>	<input type="checkbox"/> 55IF208
	<input type="checkbox"/> 42PL240 <sup>1,2</sup>	<input type="checkbox"/> 57PL240 <sup>1,2</sup>	<input type="checkbox"/> 60PL240 <sup>1,2</sup>	<input type="checkbox"/> 55IF240
	<input type="checkbox"/> 42PL277 <sup>1,2</sup>	<input type="checkbox"/> 57PL277 <sup>1,2</sup>	<input type="checkbox"/> 60PL277 <sup>1,2</sup>	<input type="checkbox"/> 55IF277
Lamp	Coated	Coated	Coated	Induction
Socket	GX24q-4 Base	GX24q-5 Base	2G8-1 Base	---
ANSI Ballast	---	---	---	---

<sup>1</sup>Multiple CFL lamp configurations (ie, two 42W lamps) are possible with certain optical systems. Consult factory for details.

<sup>2</sup>Remote battery pack and test switch available for 57W, and 60W CFL lamps - consult factory.

<sup>3</sup>480 volt with medium base lamp sockets may require approval by the local building code authority.

**\*CAUTION:** All manufacturers of metal halide lamps recommend turning them off for 15 minutes once per week when under continuous operation. This will reduce the risk of arc tube rupture at end of life. Also, color temperature may differ between manufacturers of metal halide lamps. See lamp manufacturers' specification sheets.

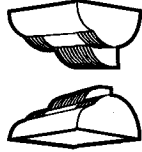
**NOTE:** Due to the Energy Independence and Security Act (EISA) of 2007, Kim Lighting can no longer supply probe start metal halide ballasts with its luminaires, effective January 1, 2009. Contact Kim Lighting for availability of replacement ballasts for warranty service claims.

([http://www.aboutlightingcontrols.org/education/papers/2008\\_energy\\_law.shtml#metahalide](http://www.aboutlightingcontrols.org/education/papers/2008_energy_law.shtml#metahalide)).

Type:

Job:

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## Optional Features

### Base Socket

Cat. No.  G12  
 No Option

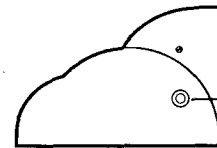
G12 base socket available for 70W and 150W Pulse Start Metal Halide lamps only.

### Photocell Control

Cat. No. (see right)  
 No Option

Factory installed inside housing with fully gasketed sensor on side wall.

Cat. No.	Line Volts:	Cat. No.	Line Volts:
<input type="checkbox"/> A-30	120V	<input type="checkbox"/> A-33	277V
<input type="checkbox"/> A-31	208V	<input type="checkbox"/> A-34	480V
<input type="checkbox"/> A-32	240V	<input type="checkbox"/> A-35	347V



Photocell Control

### Houseside Shield

Cat. No.  HS  
 HSC  
 No Option

Combination louver shield and black end-panel for reflector. Factory installed to reflector module. Reduces light toward wall by the amounts shown.

**CAUTION:** Do not use the Houseside Shield option with the Wall Grazer as it will interfere with the light distribution.

Approximate Light	Type II	Type III	Type IV
Reduction Toward Wall	-43%	-74%	-77%



HS  
for flat  
lens

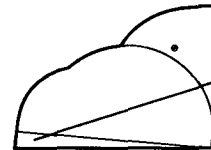


HSC  
for Lexan®  
enclosure

### 5° Shield

Cat. No.  5DS14  
 No Option

Aluminum shield field-attached to lens frame. Maintains a horizontal cutoff fixture edge when the luminaire is tilted 5°. Finished to match the fixture.



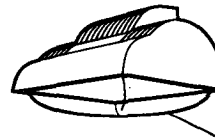
5° Shield

### Lexan® Non-yellowing Enclosure:

Cat. No.  LS  
 No Option

**For DOWN fixture models only.** Clear convex vacuum formed non-yellowing Lexan® enclosure with gasket replaces standard tempered glass lens.

**NOTE:** Use only when vandalism is anticipated to be high. Useful life is limited by UV discoloration from sunlight and MH lamps. A program of regular inspection and periodic replacement is highly recommended to maintain optimum fixture performance.

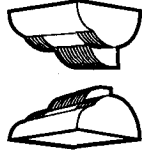


Lexan®  
enclosure

Type:

Job:

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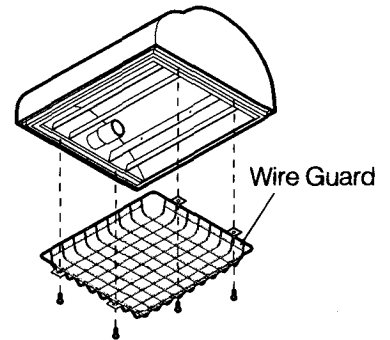
## Optional Features

### Wire Guard

Cat. No.  **WG14**  
 **No Option**

11 ga. (.12" dia.) BB Wire, (.75" sq. welded mesh pattern,) 11<sup>3</sup>/<sub>8</sub>" x 10<sup>1</sup>/<sub>4</sub>" x 1<sup>1</sup>/<sub>2</sub>" deep. Finish is super TGIC thermoset polyester powder coat paint, over zinc plated wireform. Finished to match the fixture.

**NOTE:** Only available with flat lens applications.



### Fusing

Cat. No. (see right)  
 **No Option**

Line Volts: 120V 208V 240V 277V 347V 480V  
 Cat. No.:  **SF**  **DF**  **DF**  **SF**  **SF**  **DF**



### Quartz Standby

Cat. No.  **QS**  
 **No Option**

Integral electronic device energizes a T-4 mini-can socket during initial lamp start-up or after a power interruption. De-energizes prior to H.I.D. lamp reaching full brightness. T-4 halogen lamp by others; 100 watt maximum.



### Surface Conduit Mount

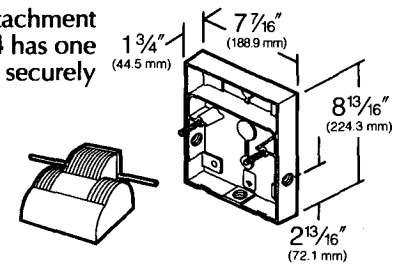
Cat. No.  **SCM14U**  
 **SCM14D**  
 **No Option**

Cast aluminum junction box and fixture mount for attachment (by others) to existing walls, beams or columns. **SCM14** has one 3/4" NPT conduit tap in each side and bottom. Must be securely mounted to wall surface. Finished to match the fixture.

**SCM14U** for UP fixtures only.

**SCM14D** for DOWN fixtures only.

**Note:** Must be securely mounted to all surface.



### Battery Back-up:

Cat. No.  **EM**  
 **No Option**

Internal battery pack provides 90 minutes of supplement light at 750 lumens on 26, 32, or 42 watt compact fluorescent lamps. (Remote mounted battery pack also available for 57W, and 60W CFL - consult factory.)



## RECIPROCAL EASEMENT AGREEMENT

**THIS RECIPROCAL EASEMENT AGREEMENT is made by and between TC 110 Free Street, LLC, a Delaware limited liability company ("FS LLC"), having a mailing address in care of c/o Trammell Crow Company, 2001 Ross Avenue, 3400 Trammell Crow Center Dallas, TX 75201 and the City of Portland, Maine, a body corporate and politic (the "City") having a mailing address 389 Congress Street, Portland, ME 04101 attn: Parking Division Director.**

### WITNESSETH:

**WHEREAS, FS LLC is the owner of certain real estate located between Free and Spring Streets in the City of Portland and more particularly depicted on a certain recorded Plan dated March 12, 2007, entitled "ALTA Survey of Anthem Health Building and Parking" prepared by Sebago Technics dated March 12, 2007 (the "Plan"), a reduced excerpt of which is attached hereto as Exhibit A, formerly owned by Anthem Health Plans of Maine pursuant to deeds recorded in said Registry of Deeds in Book 15513, Page 72 and in Book 17404, Page 63 (the "FS LLC Parcel");**

**WHEREAS, City is the owner of real estate located northeasterly easterly of and adjoining the FS LLC Parcel and depicted on the Plan and identified as the land "n/f City of Portland" (the "City Parcel") (Each of the FS LLC Parcel and the City Parcel are sometimes referred to herein as a "Parcel");**

**WHEREAS, FS LLC and City each propose to create by this agreement certain rights and easements in favor of the other for parking, snow removal and related rights over its respective Parcel, upon and subject to the terms and conditions expressed herein;**

**NOW, THEREFORE, the parties hereby agree as follows:**

**1. Grant of Easements. The City hereby grants to FS LLC an appurtenant, easement for the purposes of parking and vehicular and pedestrian ingress and egress by FS LLC, its employees, guests and invitees for the use of the existing parking area, pavement, parking and related improvements as depicted on the Plan, together with the right to maintain, repair and replace such pavement, parking areas and related improvements all at the risk and expense of FS LLC (the "Parking Easement"). The City hereby reserves, for itself, its successors and assigns, the right to enter onto the Parking Easement area to maintain and repair its abutting parking garage facility, provided that such entry shall be conducted so as to reasonably minimize the interruption of the use of the parking spaces to the extent feasible.**

**FS LLC hereby grants to the City an appurtenant easement during the hours of 9 PM to 6 AM each night to dump snow from the City Parcel onto the "Snow Removal Easement" forming a part of the FS LLC Parcel as depicted in Exhibit A, to enter on the FS Parcel with equipment and vehicles to remove and load such snow with equipment and vehicles, but this easement shall only permit the temporary placement and removal of such snow and not the storage thereof outside of said 9 hour period during the night, together with the right to post such Snow Dump**

Area against overnight winter parking and to remove improperly parked vehicles at its risk and expense (the "Snow Removal Easement").

2. **Binding Effect.** The easements, restrictions and obligations created and imposed herein shall be effective upon the date hereof, shall run with the land, and shall inure to the benefit of and be binding upon the parties, their successors and assigns. Each of the rights created hereunder may be enforceable in a court of equity by the owner of any property covered by this Agreement; however, enforcement hereunder shall be sought solely against the then owner of the Parcel (or the owner of an interest in such Parcel) alleged to be in default.

The rights and easements contained herein are strictly for the benefit of the parties specified in this Agreement and shall not be construed to confer any right of access to any other person or entity.

3. **Construction of Agreement; Captions.** This Agreement is to take effect as a sealed instrument. It shall be construed under Maine law, sets forth the entire agreement between the parties and supersedes all prior agreements and memoranda with respect to the subject matter hereof. The captions used herein are used only as a matter of convenience and are not to be considered a part of this Agreement or to be used in determining the intent of the parties.

4. **Amendments.** This Agreement may be modified, amended, or cancelled only by a written instrument executed by all parties hereto at the time of such amendment.

5. **Not Partners; No Rights.** Nothing contained in this Agreement shall be construed to make the parties hereto partners or joint venturers or render any of said parties liable for the debts or obligations of the others.

6. **Miscellaneous.** This Agreement is subject to the following terms and conditions which shall be binding upon FS LLC, City and their respective successors and assigns:

(a) The maintenance and improvement of the pavement forming part of the Parking Easement is the responsibility of FS LLC.

(b) If either party's use of the easement areas results in damages thereto or damage to any improvements (except for normal wear and tear) arising from accidents, negligence, or use in a manner not consistent with use by a reasonably prudent operator, such party causing the damage shall be solely responsible for the costs of repairing such damage.

(c) Each Parcel owner agrees to indemnify and hold harmless the other Parcel owner for any liability, claim, damage, loss or cost, including reasonable attorneys' fees, arising out of the exercise of such Parcel owner's rights described in this Agreement. Each Parcel owner shall obtain and maintain at all times commercial general liability insurance with respect to its Parcel.

WITNESS our hands and seals as of September 20, 2007.

TC 110 FREE STREET, LLC, a Delaware limited liability company

By: TC Free Street Manager, LLC, a Delaware limited liability company, its Manager

[Signature]  
WITNESS

By: [Signature]  
Name: Michael S. Bulley  
Its FREE ST

WITNESS:

City of Portland, Maine

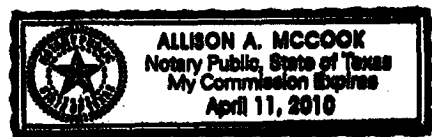
[Signature]  
WITNESS

By: [Signature]  
name: Joseph E. Gray, Jr.  
Its City Manager

STATE OF TEXAS  
COUNTY OF DALLAS

September 2007

Then personally appeared before me the above-named [Signature], in his said capacity and acknowledged the foregoing instrument to be his free act and deed in said capacity, the free act and deed of said limited liability company in its said capacity and the free act and deed of said TC 110 Free Street, LLC.



[Signature]  
Notary Public/Attorney-at-Law  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

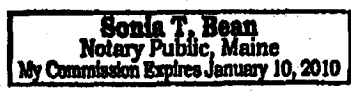
STATE OF MAINE  
COUNTY OF CUMBERLAND

September 7, 2007

Then personally appeared before me the above-named Joseph C. Gray, Jr., in his said capacity and acknowledged the foregoing instrument to be his free act and deed in said capacity, and the free act and deed of the City of Portland, Maine.

[Signature]  
Notary Public/Attorney-at-Law  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Reciprocal Agreement Agreement FINAL.DOC  
9/7/2007





CONSENT OF MORTGAGEE

Capmark Bank and Capmark CDF Subfund VI, LLC, holders of a Mortgage, Assignment of Rents and Leases, Security Agreement and Fixture Filing from TC 110 Free Street, LLC dated June 22, 2007, recorded in the Cumberland County Registry of Deeds in Book 25241, Page 261, a UCC-1 Financing Statement dated June 22, 2007, recorded in the Cumberland County Registry of Deeds in Book 25241, Page 285, and a UCC-1 Financing Statement recorded in the Delaware Department of State U.C.C. Filing Section with Initial Filing No. 2007 2580628, hereby consents to, and subordinates said mortgage lien, to the foregoing Reciprocal Easement Agreement. The mortgagee hereby agreeing that its lien under the aforesaid mortgage shall be subject to the provisions of the foregoing Reciprocal Easement Agreement, and the mortgagee further agrees that in the exercise of its rights as mortgagee under the aforesaid mortgage, the mortgagee will recognize the establishment of the easements and the terms associated therewith as described in the aforesaid Reciprocal Easement Agreement.

Dated as of 9/17, 2007.

\*an Assignment of Leases and Rents dated June 22, 2007 and recorded in said Registry in Book 25241, Page 276,

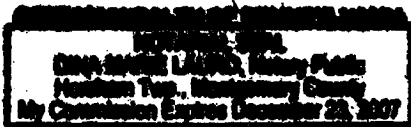
CAPMARK BANK,  
a Utah industrial bank

By: Beth Ann Herrmann  
Name: BETH ANN HERRMANN  
Title: SENIOR VICE PRESIDENT

STATE OF Pennsylvania  
COUNTY OF Montgomery


September 17, 2007

Then personally appeared before me the above-named Beth Ann Herrmann in his ~~her~~ said capacity and acknowledged the foregoing instrument to be his ~~free act and deed~~ free act and deed in said capacity, ~~the free act and deed of~~ in its said capacity and the free act and deed of said Capmark Bank.



Dina Marie Lajoie  
Notary Public/Attorney-at-Law  
Print Name: Dina Marie Lajoie  
My Commission Expires: 12/23/07

**CAPMARK CDF SUBFUND VI LLC,**  
a Delaware limited liability company

By:   
Name: Craig S. Dale  
Its: Vice President

STATE OF Colorado  
COUNTY OF Denver

Sept. 19, 2007

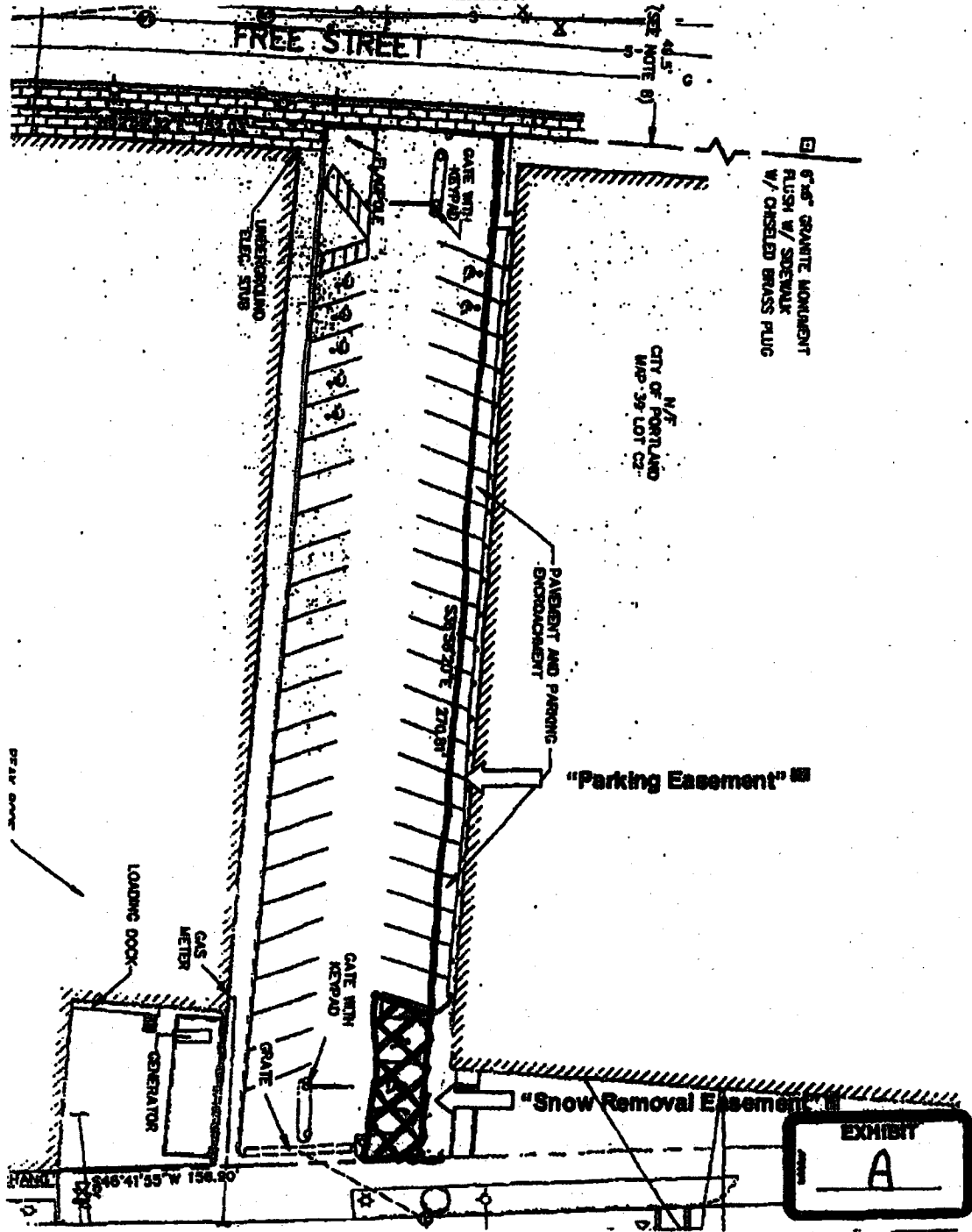
Then personally appeared before me the above-named Craig S. Dale, in his said capacity and acknowledged the foregoing instrument to be his free act and deed in said capacity, the free act and deed of Vice President in its said capacity and the free act and deed of said ~~Craig S. Dale~~ Capmark CDF Subfund VI LLC.



Reciprocal Agreement Act  
9/11/2007

Christine Eisen  
Notary Public/Attorney-at-Law.  
Print Name: Christine Eisen  
My Commission Expires: 7/13/2011

Exhibit A



Reciprocal Easement Free St., Portland ME.doc  
9/7/2007

**EXHIBIT A-1**

**Parking Easement:**

**A certain parking easement situated northwesterly of Spring Street but not adjacent to Spring Street, in the City of Portland, County of Cumberland and State of Maine as shown on an ALTA Survey of Anthem Health Building and Parking by Sebago Technics, Inc. dated March 12, 2007, with reference to Project Number 06484, being further bounded and described as follows:**

**Commencing on the northwesterly side of Spring Street at the southerly corner of land now or formerly owned by the City of Portland as shown on said plan, also being the easterly corner of the Proposed Snow Removal Easement as shown on said plan;**

**Thence N 36°-58'-20" W, by and along land of Anthem Health Plans of Maine as described in a deed recorded in Book 15513, Page 72, a distance of 38.81 feet to the Point of Beginning;**

**Thence continuing N 36°-58'-20" W, by and along land of Anthem Health Plans of Maine a distance of 207.00 feet to a point;**

**Thence N 53°-01'-40" E, over and through land of said City of Portland, a distance of 5.50 feet to a point;**

**Thence S 36°-58'-20" E, continuing over and through land of said City, a distance of 207.00 feet to a point;**

**Thence S 53°-01'-40" W, continuing over and through land of said City, a distance of 5.50 feet to the Point of Beginning.**

**Meaning and intending to describe a Parking Easement as shown on said plan containing approximately 1,138.50 square feet.**

**Bearings are based on Grid North.**

**Snow Removal Easement:**

**A certain snow removal easement situated on the northwesterly side of Spring Street in the City of Portland, County of Cumberland and State of Maine as shown on an ALTA Survey of Anthem Health Building and Parking by Sebago Technics, Inc. dated March 12, 2007, with reference to Project Number 06484, being further bounded and described as follows:**

**Beginning on the northwesterly side of Spring Street at the southerly corner of land now or formerly owned by the City of Portland as shown on said Plan;**

**Thence S 46°-41'-55" W, by and along Spring Street, a distance of 14.09 feet;**

**Thence N 36°-58'-20" W, over and through land of Anthem Health Plans of Maine as described in a deed recorded in Book 15513, Page 72, a distance of 40.37 feet;**

**Thence N 53°-01'-40" E, continuing over and through land of said Anthem Health Plans of Maine, a distance of 14.00 feet to the southwesterly side of said City land;**

**Thence S 36°-58'-20" E, by and along said City land, a distance of 38.81 feet to the Point of Beginning.**

**Meaning and intending to describe said Snow Removal Easement as shown on said plan containing approximately 554 square feet.**

**Bearings are based on Grid North.**

**Received  
Recorded Register of Deeds  
Oct 15, 2007 02:50:12P  
Cumberland County  
Pamela E. Lovley**

# 110 FREE STREET BUILDING RENOVATIONS

110 FREE STREET  
PORTLAND, MAINE 04101

ISSUED FOR CITY STAFF REVIEW

DECEMBER 11, 2009

HARRIMAN

Architects + Engineers  
Architects + Engineers  
16 Exchange Street  
Portland, Maine 04101  
207.764.2300 ext.  
207.764.2307 fax  
  
120 Middle Street  
Portland, Maine 04101  
207.772.8800 ext.  
207.772.8800 fax  
www.harriman.com  
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## LIST OF DRAWINGS

COVER SHEET

### SITE DRAWINGS

COO.1 SITE LAYOUT, GRADING AND UTILITIES PLAN  
COO.2 SITE NOTES AND DETAILS  
COO.3 SITE EROSION CONTROL NOTES AND DETAILS  
C10.1 EXISTING SITE CONDITIONS AND DEMOLITION PLAN  
C90.1 SITE PLANTING PLAN  
SHT 1 OF 1 EXISTING CONDITIONS SURVEY

### ARCHITECTURAL DRAWINGS

A20.1 EXTERIOR ELEVATIONS  
A20.2 EXTERIOR ELEVATIONS  
A21.1 EXISTING ELEVATION ENVELOPE REVIEW  
A21.2 EXISTING ELEVATION ENVELOPE REVIEW

### ELECTRICAL DRAWINGS

EPOO.1 PARKING LOT PHOTOMETRIC PLAN

**HARRIMAN**  
Architects + Engineers

45 Main Street  
Portland, ME 04101  
207.774.5100 ext

123 Middle Street  
Portland, ME 04101  
207.775.0033 ext

Char Peabody Road  
Manchester, NH 03103  
603.624.1242 ext

www.harriman.com  
© 2009

Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
PORTLAND, MAINE

Project No. 09146

Key Plan

**NOTES:**

1. SURVEY PREPARED BY SEBAGO TECHNICS, DATED 11/03/08.

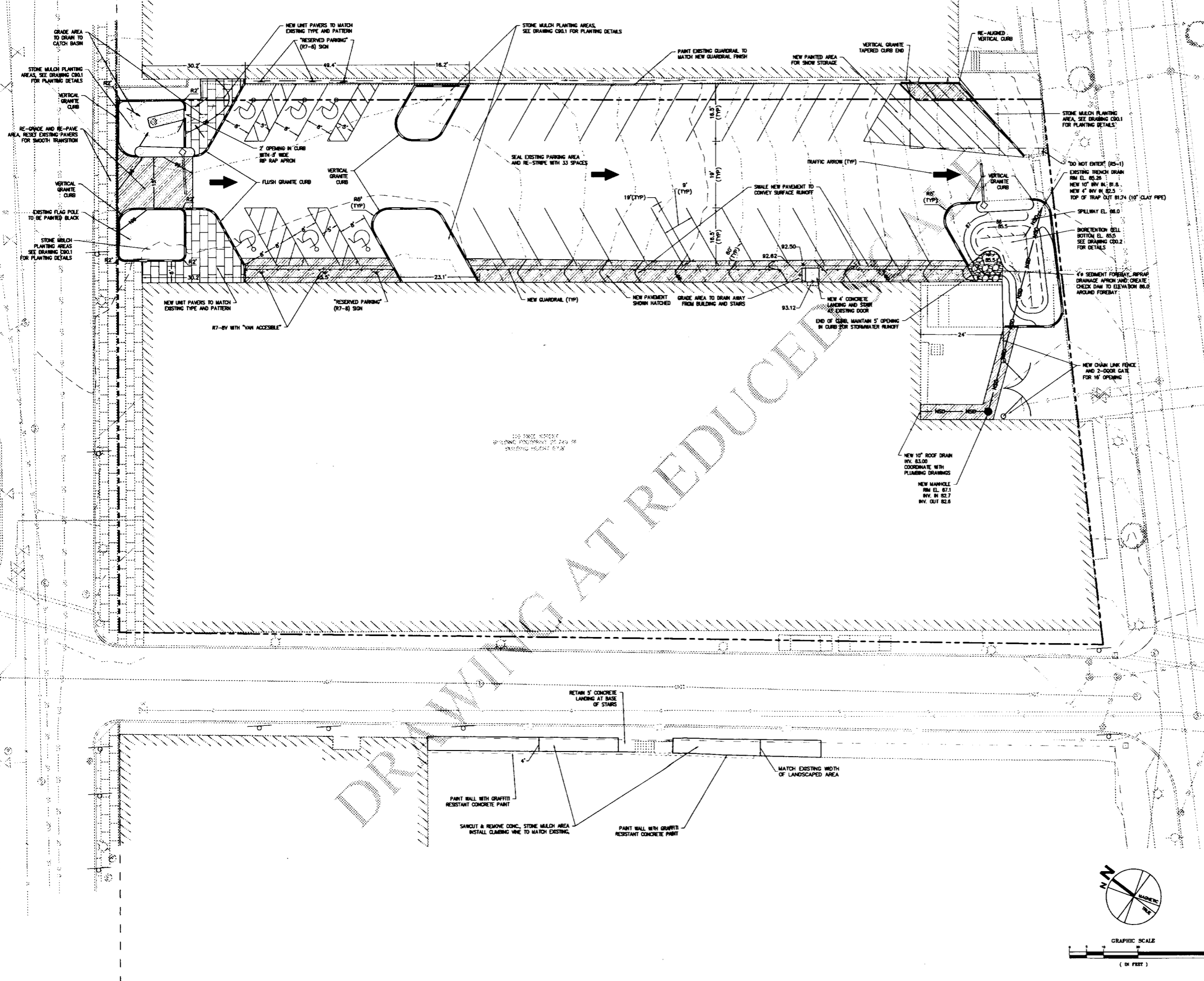
Issue	Date	Description
12-11-09		CITY STAFF REVIEW
12-11-09		DESIGN DEVELOPMENT
10-23-09		SCHEMATIC DESIGN

Drawing Status

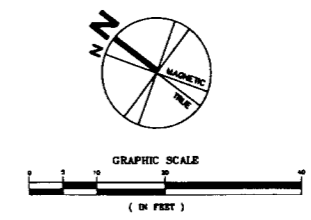
Drawing Title  
**SITE LAYOUT, GRADING AND UTILITIES PLAN**

PA / PG: DPD      Drawn By: DPD

Drawing Number  
**C00.1**



DRAWING AT REDUCED SCALE



Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
PORTLAND, MAINE

Project No. 09146  
Key Plan

**LANDSCAPING NOTES**  
NOT TO SCALE

**NOTES:**  
1. SURVEY PREPARED BY SEBAGO TECHNIQS, DATED 11/03/09.

**DIG SAFE NOTES**  
NOT TO SCALE

**UTILITY NOTES**  
NOT TO SCALE

Date	Description
12-11-09	CITY STAFF REVIEW
12-11-09	DESIGN DEVELOPMENT
10-23-09	SCHEMATIC DESIGN

**SITE NOTES AND DETAILS**  
As / P/E: DPD Drawn By: DPD  
Drawing Number  
**C00.2**

**LANDSCAPING NOTES**  
NOT TO SCALE

- THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANTS IN SUFFICIENT QUANTITIES TO COMPLETE WORK AS SHOWN ON THE DRAWINGS. DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE DRAWING AND THE PLANT LIST SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL COMPENSATION.
- THE LANDSCAPE CONTRACTOR IS ADVISED THAT BOTH ABOVE AND BELOW GROUND UTILITIES EXIST ON THE SITE, THE LOCATIONS OF WHICH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF HIS OPERATIONS. SHOULD THE LOCATION OF ANY PROPOSED PLANTING CONFLICT WITH ANY UTILITY, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR REVISION.
- PAVING, CURBING, UTILITIES, GRASS, ETC., DAMAGED AS A RESULT OF THE LANDSCAPE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- AREAS RECEIVING PLANTING INCLUDING TREE PITS, AND SHRUB AND GROUND COVER BEDS, SHALL BE MAINTAINED TO A DEPTH AND TYPE AS DETAILED ON PLAN SHEET C01.
- THE LANDSCAPE CONTRACTOR SHALL RELOCATE PLANTS ACCORDING TO THE DIRECTION OF THE ARCHITECT.
- PLANT MATERIALS CALLED FOR AND INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- TREES SHALL BE HEALTHY EXTERIOR AND DEFERRED. FINAL PLANTING LAYOUT AND LOCATIONS SHALL BE FIELD COORDINATED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- IF SUBSTITUTIONS ARE NECESSARY, CONTRACTOR SHALL NOTIFY ARCHITECT OF PROPOSED REPLACEMENT PLANT(S). SUBSTITUTIONS SHALL BE OF SIMILAR BOTANICAL CHARACTERISTICS. TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE MINIMAL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:
  - TREES WITH POOR - QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED, REJECT RATHER THAN STAKE.
  - TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN NEAR TRUNKS REJECT RATHER THAN STAKE.
  - PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOIL AROUND THE ROOT BALL, CORRECT THE PLANTING PROCEDURE.
  - ROOT BALLS PLACED ON SOFT SOIL. TAMP SOIL UNDER ROOT BALL PRIOR TO PLANTING.
  - ROOT BALLS WITH VERY SHADY SOIL OR VERY WET CLAY SOIL, STAKING ADVISABLE.
  - TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS, STAKING ADVISABLE.
  - TREES LOCATED IN PARKING LOT GRASS, STAKING ADVISABLE.

**DIG SAFE NOTES**  
NOT TO SCALE

PRIOR TO EXCAVATION, VERIFY THE UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND FACILITIES. PROVIDE THE FOLLOWING MINIMUM MEASURES:

- PRE-MARK THE BOUNDARIES OF YOUR PLANNED EXCAVATION WITH WHITE PAINT, FLAGS OR STAKES, SO UTILITY CREWS KNOW WHERE TO MARK THEIR LINES.
- CALL DIG SAFE, AT 1-888-DIGSAFE, AT LEAST THREE BUSINESS DAYS - BUT NO MORE THAN 30 CALENDAR DAYS - BEFORE STARTING WORK. DON'T ASSUME SOMEONE ELSE WILL MAKE THE CALL.
- IF BLASTING, NOTIFY DIG SAFE AT LEAST ONE BUSINESS DAY IN ADVANCE.
- MARK THREE BUSINESS DAYS FOR LINES TO BE LOCATED AND MARKED WITH COLOR-CODED PAINT, FLAGS OR STAKES. NOTE THE COLOR OF THE MARKS AND THE TYPE OF UTILITIES THEY INDICATE. TRANSFER THESE MARKS TO THE AS-BUILT DRAWINGS.
- CONTACT THE LANDOWNER AND OTHER "NON-MEMBER" UTILITIES (WATER, SEWER, GAS, ETC.), FOR THEM TO MARK THE LOCATIONS OF THEIR UNDERGROUND FACILITIES. TRANSFER THESE MARKS TO THE AS-BUILT DRAWINGS.
- RE-NOTIFY DIG SAFE AND THE NON-MEMBER UTILITIES IF THE DIGGING, DRILLING OR BLASTING DOES NOT OCCUR WITHIN 30 CALENDAR DAYS, OR IF THE MARKS ARE LOST DUE TO WEATHER CONDITIONS, SITE WORK ACTIVITY OR ANY OTHER REASON.
- HAND DIG WITHIN 18 INCHES IN ANY DIRECTION OF ANY UNDERGROUND LINE UNTIL THE LINE IS EXPOSED. MECHANICAL METHODS MAY BE USED FOR INITIAL SITE PENETRATION, SUCH AS REMOVAL OF PAVEMENT OR ROCK.
- DIG SAFE REQUIREMENTS ARE IN ADDITION TO TOWN, CITY AND/OR STATE DOT STREET OPENING PERMIT REQUIREMENTS.
- FOR COMPLETE DIG SAFE REQUIREMENTS, CALL THE PUC OR VISIT THEIR WEBSITE.
- IF YOU DAMAGE, DISLOCATE OR DISTURB ANY UNDERGROUND UTILITY LINE, IMMEDIATELY NOTIFY THE AFFECTED UTILITY. IF DAMAGE CREATES SAFETY CONCERNS, CALL THE FIRE DEPARTMENT AND TAKE IMMEDIATE STEPS TO SAFEGUARD HEALTH AND PROPERTY.
- ANY TIME AN UNDERGROUND LINE IS DAMAGED OR DISTURBED, OR IF LINES ARE IMPROPERLY MARKED, YOU MUST FILE AN INCIDENT REPORT WITH THE PUC. FOR AN INCIDENT REPORT FORM VISIT WWW.STATE.ME.US/MPUC OR CALL THE PUC AT 1-800-452-4699.

**UTILITY NOTES**  
NOT TO SCALE

- RELOCATE EXISTING TBM INFORMATION ONTO NEW TBM OF CONTRACTOR'S CHOICE FOR CONSTRUCTION USE PRIOR TO REMOVAL OF EXISTING TBM.
- SOME EXISTING PIPES COULD BE ASBESTOS CEMENT PIPE, HANDLE AND DISPOSE OF ASBESTOS MATERIALS WITH CARE AND IN ACCORDANCE WITH APPLICABLE CODES AND SAFETY STANDARDS.
- DIMENSIONS ARE TO FACE OF CURB AND TO FACE OF FOUNDATION UNLESS OTHERWISE INDICATED.
- PAVEMENT EDGES SHALL BE TRUE TO LINE, SAWCUT EXISTING PAVEMENT IN SMOOTH STRAIGHT LINE WHERE NEW PAVEMENT JOINS. PROVIDE TACK COAT LAYER AS SPECIFIED.
- CONTRACTOR SHALL VERIFY SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- PROVIDE TRAFFIC CONTROL SIGNAGE AND STRIPING AS SHOWN AND IN ACCORDANCE WITH U.S.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

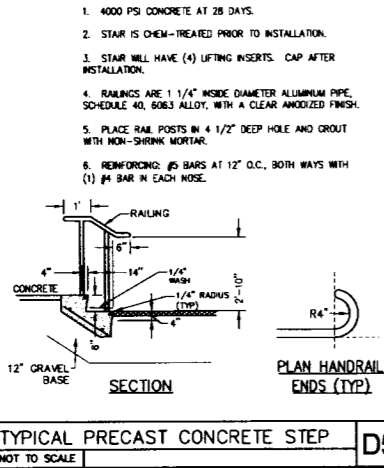
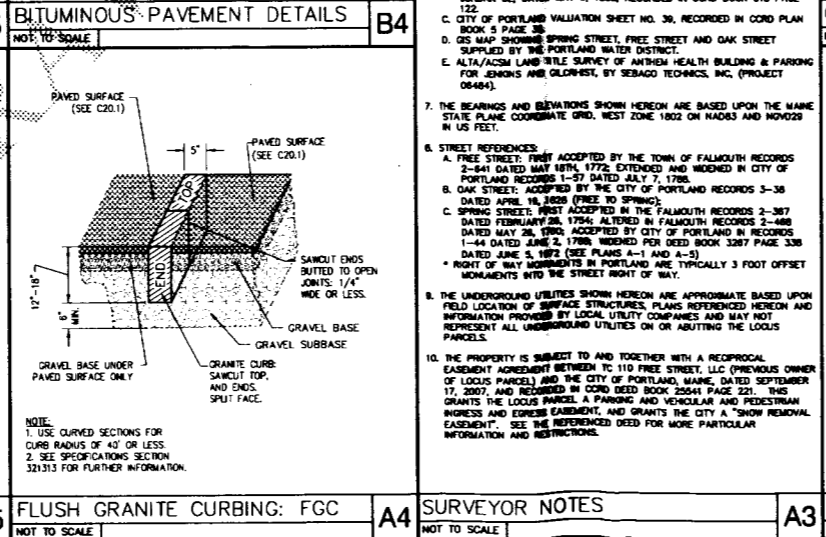
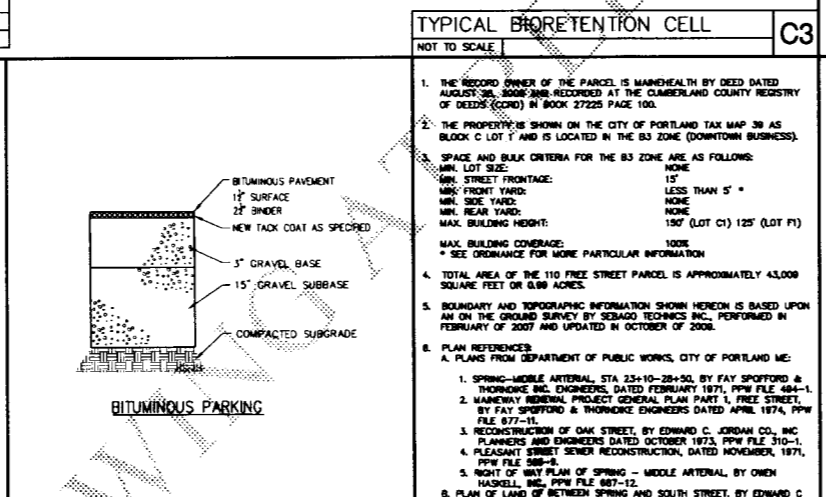
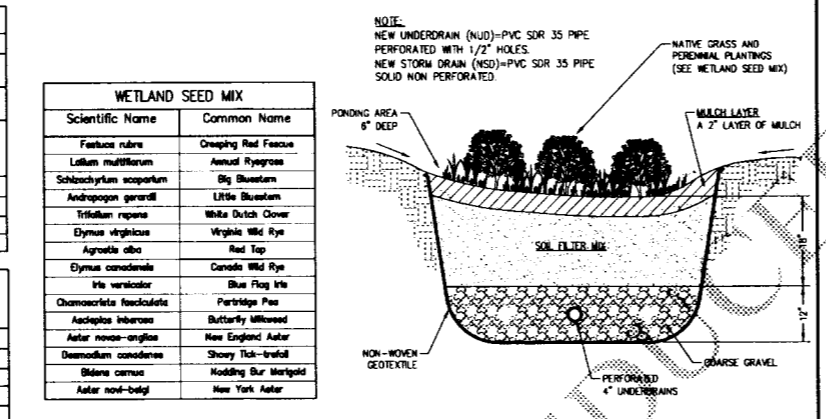
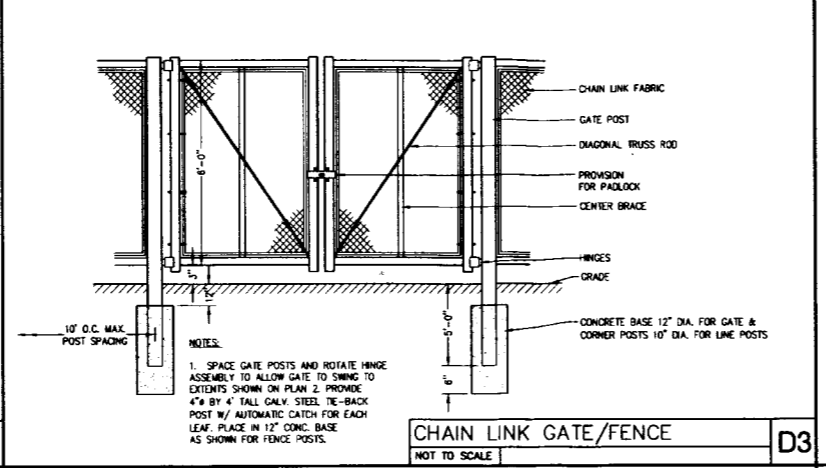
**GENERAL SITE NOTES**  
NOT TO SCALE

- ADD 6" LOAM, SEED AND MULCH TO DISTURBED AREAS UNLESS OTHERWISE NOTED. PROVIDE EROSION CONTROL MESH ON ALL SLOPES 3:1 OR STEEPER, AND ALONG DITCH CHANNELS.
- GRADE SURFACES TO DRAIN AWAY FROM BUILDING. MATERIAL, USE, AND CURRENT ACTIVITY. REPORT DISCREPANCIES TO THE ARCHITECT FOR DIRECTION PRIOR TO COMMENCING THE WORK ON THAT UTILITY.
- MAINTAIN TEMPORARY EROSION CONTROL MEASURES FOR THE FULL DURATION OF CONSTRUCTION. INSPECT REGULARLY AND AFTER EACH STORM AND REPAIR AS NEEDED. REMOVE SEDIMENTS FROM THE SITE. PLACE IN AREA OF LOW EROSION POTENTIAL, AND STABILIZE WITH SEED AND MULCH.
- PLACE TEMPORARY SOIL STABILIZATION WITHIN 30 DAYS OF INITIAL DISTURBANCE. PLACE PERMANENT SOIL STABILIZATION WITHIN 7 DAYS OF FINAL GRADING.

**EXISTING**  
 - - - - - BT. CONC. PAVEMENT  
 - - - - - CURB  
 - - - - - CHAIN-LINK FENCE  
 - - - - - GUARDRAIL  
 - - - - - SIGN  
 - - - - - BELLOUSE  
 - - - - - 1' CONTOUR  
 - - - - - SPOT ELEVATION  
 - - - - - GRADE TO DRAIN  
 - - - - - BANK/TYME CHECK DAM  
 - - - - - RIP-RAP (SEE NOTES)  
 - - - - - CATCH BASIN/DRAIN W/LET  
 - - - - - SEWER MANHOLE  
 - - - - - STORM DRAIN MANHOLE  
 - - - - - SEWER MANHOLE  
 - - - - - TELEPHONE MANHOLE  
 - - - - - ELECTRIC MANHOLE/PULLBOX  
 - - - - - WATER VALVE  
 - - - - - HYDRANT  
 - - - - - UTILITY POLE  
 - - - - - LIGHT PICTURE WITH LABEL  
 - - - - - STORM DRAIN  
 - - - - - UNDERDRAIN  
 - - - - - SANITARY SEWER  
 - - - - - WATER LINE  
 - - - - - PROPERTY LINE

**PROPOSED**  
 - - - - - WITH DOTS SHOWN  
 - - - - - WITH LABEL  
 - - - - - 5' B.S.L.

**GRADING NOTES**  
NOT TO SCALE



**SOIL FILTER MIX**

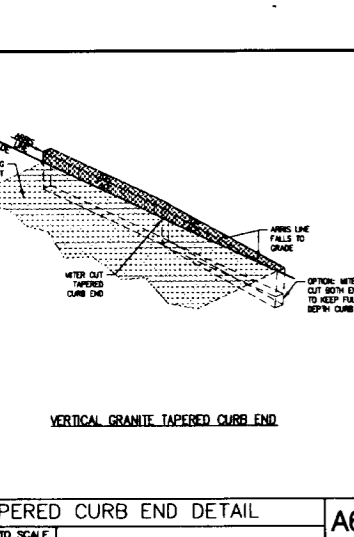
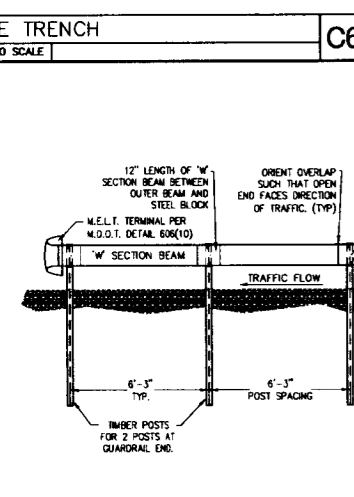
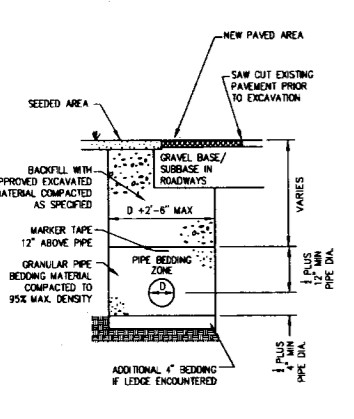
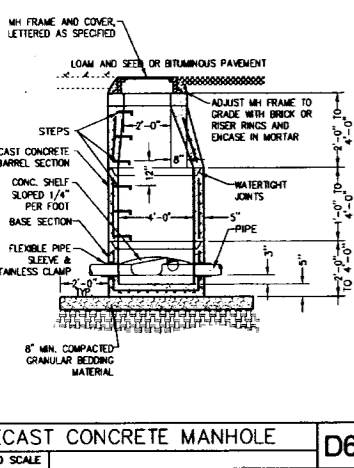
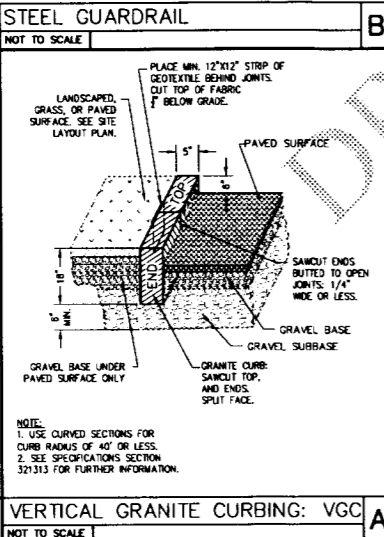
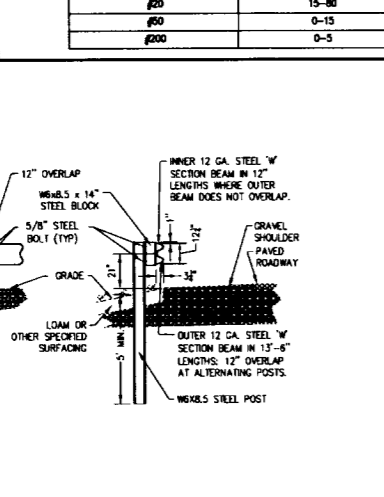
FILTER MEDIA	MIXTURE BY VOLUME
LOAMY SAND TOPSOIL	75%-80%
FINE-SCREENED BARK MULCH OR COMPOST	20%-25%

THE RESULTING MIX MUST BE TESTED AT A SOIL TESTING LAB, AND BE WITHIN THE FOLLOWING LIMITS:

SEIVE SIZE	% PASSING BY WEIGHT
3/4"	100
#4	95-100
#20	8-10

**COARSE GRAVEL**  
MEDOT SPECIFICATIONS FOR UNDERDRAINS (MEDOT #703.22)

SEIVE SIZE	% PASSING BY WEIGHT
1"	95-100
#4	75-100
#20	50-100
#60	15-80
#100	0-15
#200	0-5



**FLUSH GRANITE CURBING: FGC**  
NOT TO SCALE

**SURVEYOR NOTES**  
NOT TO SCALE

1. GENERAL
- Plan the sequence of construction so that the smallest practical area of land is exposed at any one time during construction. Schedule the work such that sedimentation barriers and detention ponds are installed early in the construction sequence, to prevent sediments from uphill areas reaching streams, wetlands, or property lines.
  - Take necessary steps to prevent soil erosion. Refer to publications of the Maine DEP and the Maine Soil and Water Conservation Commission for additional prevention measures to stop soil erosion and follow DEP "Best Management Practices". The Contractor shall conduct his operations in conformity with all Federal and State permit requirements concerning water, air, or noise pollution, or the deposit of contaminated or hazardous materials. Erosion control measures shown on the Plans are minimum only. Satisfy the current requirements of the regulatory agencies.
  - Erosion Control Mat: Intended as a temporary erosion control measure that will decompose after stabilization. Open weave, single jet yarn of loosely tumbled construction, not varying in thickness by more than 1/2 its nominal diameter. The woven material shall weigh 0.9 pounds per square yard. Staples: No. 11 (or heavier) plain iron wire, made 6 inches in length.
  - Erosion Control Blanket: Intended as a permanent erosion control measure that will reinforce the topsoil and vegetation against erosion after construction. Synthetic fiber matrix sandwiched between heavy duty UV stabilized netting. Blanket shall weigh not less than 0.9 pounds per square yard. North American Green P300 or approved equal. Staples: No. 11 (or heavier) plain iron wire, made 6 inches in length.
  - Silt Fence:
    - Post: 2 inch diameter hardwood post, 4.5 feet in length.
    - Fabric: Parvus 30" wide sheet of synthetic polymer of 12-mil thickness, such as Milrol 100X, Terra Tex-SC, or approved equal.
  - Erosion Control Soil/Bark Mix: Shall consist of a mix of recycled composted bark, flame grit, and fragmented wood generated from ester-flame log handling systems. Conforming to the following:
    - F.1. pH - 5.0 to 6.0.
    - F.2. Screen size - 6 inch minus.
    - F.3. No less than 25 percent organic material.
    - F.4. No stones larger than 2 inches in diameter.
    - F.5. Approved by Maine Department of Environmental Protection for use in wetlands and near waterways.
  - Hay Bales: Bales shall be of least 14" x 18" x 30" in size, stacked twice per bale. Stakes shall be 1" x 1" x 36" wooden. Place bales with three on sides of bale, not top and bottom.
  - Water, calcium chloride, or crushed stone for prevention of airborne dust.
  - Under-Grate Sediment Trap: A filter fabric bag which hangs under the grate to catch sediments. Provide AStrawguard model 3003, ABoen Bag® by Emco Distribution, ASISack High Flow® by AC Environmental, or approved equal. Install the bag device per manufacturer's recommendation.
  - Before earthwork is started, a silt fence, silt bar, or stone sediment dam shall be installed along the down-slope side of the construction site, as necessary, to prevent soil sediment migration away from the site. Install silt fence or silt bar along the down-slope side of all top-soil and subsoil slopes.
  - Erosion control barriers shall be removed after construction is complete, but not until final grading, final seeding, and mulching has been completed and the established grass has stabilized the soil. Maintain barriers in good condition until removed.
  - Inspect erosion and sedimentation control weekly and after every storm and maintain in good working condition for project duration. Remove silt deposits from the site, place in an area of low erosion potential so it will not wash into a wetland or water body, seed with erosion control mix, and mulch.
  - Silt Fence: Set fence post 8 feet O.C. to a depth of 2 feet. Apply fabric to full height of posts and secure to prevent sagging, blow off, and less. The bottom of the fabric shall be trashed into the existing ground a minimum of 8 inches. In addition, hay bales or ditch checks shall be installed along the silt fence to create sedimentation pools in low areas where run-off concentrates.
  - Silt Bar: Place unconnected erosion control mix in a window of locations shown on the plan or as directed by the Architect. At a minimum the berm shall be 3 feet wide at the base and 2 feet high at the center of all points along its length. Bark material, where the berm is still required, which has decomposed, clogged with sediment, eroded, or become ineffective, shall be replaced. The berm shall be removed from the site or raised into nearby woods to a depth no greater than 1", when no longer required, as approved by the Architect.
  - Maintain temporary erosion control measures for the full duration of construction. Inspect weekly and after each storm and repair as needed. Remove sediments from the site, place in area of low erosion potential, and stabilize with seed and mulch.
  - Place temporary soil stabilization within 30 days of initial disturbance. Place permanent soil stabilization within 7 days of final grading.

2. TEMPORARY SEEDING AND MULCHING

- Topsoil stripped and stockpiled on site shall be immediately seeded with erosion control seed mix and mulched with hay. Mulch shall be cured straw free from noxious weed seeds and rough or woody material.
- Erosion Control Seed:
 

Seed Type	% Weight	% Purity	% Germination
Domestic Rye	70	85	80
Perennial Rye	30	85	80
- Exposed earthwork areas, which will not be worked on for one week, shall be mulched with straw.
- Unfinished areas which are not to be worked on for one month, or will be wintered, shall be seeded with erosion control mix at a rate of 3 pounds of seed per 1000 sq. ft. and mulched with straw. Apply straw mulch at the rate of 75 pounds per 1000 sq. ft. Anchor mulch to prevent wind blown movement.

3. PERMANENT SEEDING AND MULCHING

- Grass seed shall be free from noxious weed seeds and rickens, Grade A recent crop seed, treated with appropriate fungicide of time of sowing, delivered to the site in sealed containers with dealer's guaranteed analysis, and each variety of seed shall have percentages of germination of not less than 80%, and a percentage of purity of not less than 80%.
- Weed seed content shall not exceed 0.25%. Wet, moldy, or otherwise damaged seed will be rejected.
- Seed Mix Proportions by weight:
 

Seed Type	% Weight	% Purity	% Germination
Chewing Fescue	35	85	80
Draughting Red Fescue	35	85	80
Perennial Rye	30	85	80

4. WETLAND SEED MIX

- Where required by the plans, use a mixture which contains the following species:

Scientific Name	Common Name
<i>Festuca rubra</i>	Draughting Red Fescue
<i>Lolium multiflorum</i>	Annual Ryegrass
<i>Schizanthus scoparium</i>	Big Bluestem
<i>Andropogon gerardii</i>	Little Bluestem
<i>Triticum repens</i>	White Dutch Clover
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Agrostis alba</i>	Red Top
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Tripsacum dextratum</i>	Blue Flag Iris
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Aeschylus inaequalis</i>	Butterfly Milkweed
<i>Aster novae-angliae</i>	New England Aster
<i>Desmodium canadense</i>	Shoey Tick-trail
<i>Bidens cernua</i>	Hobbling Bar Marigold
<i>Aster novae-angliae</i>	New York Aster

5. FALL AND WINTER STABILIZATION (September 15 or Later)

- Stabilize exposed soils throughout the project site with permanent seed and mulch by September 15, with the exception of areas undergoing active earthmoving operations. These construction areas are primarily in the immediate vicinity of the building. For proposed grass areas not stabilized by permanent seed and mulch by this date, provide the following stabilization measures at no additional cost to the Owner. Select the appropriate methods from the options listed and obtain approval from the Architect prior to installation.
  - A.1. Stabilize the soil with temporary vegetation, except for ditches, by October 1. Place winter rye seed at the rate of 3 pounds per 5000 sq. ft. and lightly mulch with hay or straw at 75 pounds per 1000 sq. ft. Place erosion control mat over mulch and anchor.
  - A.2. For slopes steeper than 3:1, place and over the exposed soil by October 1. Roll the soil, anchor it with wire pins, and water it to promote growth.
  - A.3. For graded areas flatter than 10:1, stabilize the disturbed soil by November 1 with temporary winter mulching by applying hay or straw at a rate of at least 150 pounds per 1000 sq. ft., such that no soil is visible through the mulch. Anchor mulch with erosion control mat.
  - A.4. For slopes steeper than 10:1, and flatter than 3:1, place a 6" layer of erosion control soil/bark mix on the disturbed soil by November 1. Remove snow accumulated on the slope prior to installation. If groundwater seeps are present, place stone rip rap to thickness shown on drawing details over non-woven geotextile.
  - A.5. For drainage ditches or channels, place a seed lining by October 1 or place a rip rap lining by November 1. Sod shall be rolled, fastened with wire pins, anchored with erosion control mat, and watered. Rip rap shall be placed at the thickness shown on the drawing details over a layer of non-woven geotextile.
- If the catch of permanent or temporary grass is less than 3" tall or covers less than 75% of the disturbed soil by November 1, apply additional hay mulch at a rate of 150 pounds per 1000 sq. ft. Anchor mulch with erosion control mat.
- If the catch of permanent or temporary grass is less than 3" tall or covers less than 75% of the disturbed soil on slopes steeper than 10:1 and flatter than 3:1 by November 1, place a 6" layer of erosion control soil/bark mix or a rip rap layer, as described above.
- PARKING AND DRIVES
  - PLACE TEMPORARY STABILIZED CONSTRUCTION EXITS WHERE VEHICLES LEAVE THE SITE AND ENTER EXISTING PAVED ROADS, CONSISTING OF A 6" LAYER OF 1-1/2" TO 3" CRUSHED STONE. TRUCKING AND SPILLING OF EARTH AND/OR DEBRIS ON PUBLIC STREETS SHALL BE AVOIDED TO THE MAXIMUM EXTENT POSSIBLE. CLEAN UP AND REMOVE SUCH SPILLAGE.
  - AS THE CRUSHED STONE STABILIZED CONSTRUCTION EXITS CONTINUE TO SCRUB THE SOIL FROM THE TRUCKS, THE STONE LAYER WILL TEND TO FILL WITH SEDIMENTS. WHEN THIS OCCURS REMOVE THE STONE AND SEDIMENT AND REPLACE IT WITH A CLEAN LAYER OF STONE.
  - AS SOON AS POSSIBLE AFTER ROADS AND PARKING AREAS ARE CLEARED, GRUBBED AND GRADED TO THE REQUIRED SUBGRADE, THE GRAVEL BASE SHALL BE PLACED.

7. DUST CONTROL

- Use traffic control to restrict traffic to predetermined routes. Minimize as much natural vegetation as is practicable. Use phasing of construction to reduce the area of land disturbed at any one time. The use of temporary mulching, permanent vegetative cover, permanent vegetative cover, or sodding will reduce the need for dust control. Use mechanical sweepers on paved surfaces where necessary to prevent dust buildup. Stationary sources of dust, i.e., rock crushers, should utilize the water sprays to control dust.
  - The exposed soil surface should be maintained periodically with water to control dust.
  - Calcium chloride shall be either loose dry granules or liquid form enough to feed through a spreader at a rate that will keep surface moist but not cause pollution or plant damage. Liquid calcium chloride can also be used. To reduce potential for environmental degradation, use only when other methods are not practical.
  - Cover surface with crushed stone or coarse gravel. In areas adjacent to waterways, use chemically stable aggregates.
  - When temporary dust control measures are used, repetitive treatment shall be applied as needed to accomplish control.
8. CONSTRUCTION DE-WATERING
- Water from construction dewatering operations shall be cleaned of sediment before reaching site boundaries. Utilize temporary sediment basins, erosion control soil filter berms backed by stacked hay bales, ADR1 Bag 55' sediment filter bag by ACF Environmental Inc, or other approved Best Management Practices (BMP's).

9. ADDITIONAL MEASURES

- Areas inside and outside the Contract work limits shall be protected from lubricants, fuel, sediment, filter, construction debris, chemicals, and other pollutants.
- Take precautions, and conform to all Federal, State and Local regulations to prevent pollutants from being discharged from materials on site, including storage practices to minimize exposure of the materials to stormwater. Implement spill prevention, containment, and response.
- During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater may not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of site, topography accumulates runoff that infiltrates into the soil. Due to the sandy native soils, impervious liners or materials must be used to store or contain the hazardous materials, and prevent them from entering the groundwater.

10. REMOVAL AND DISPOSAL

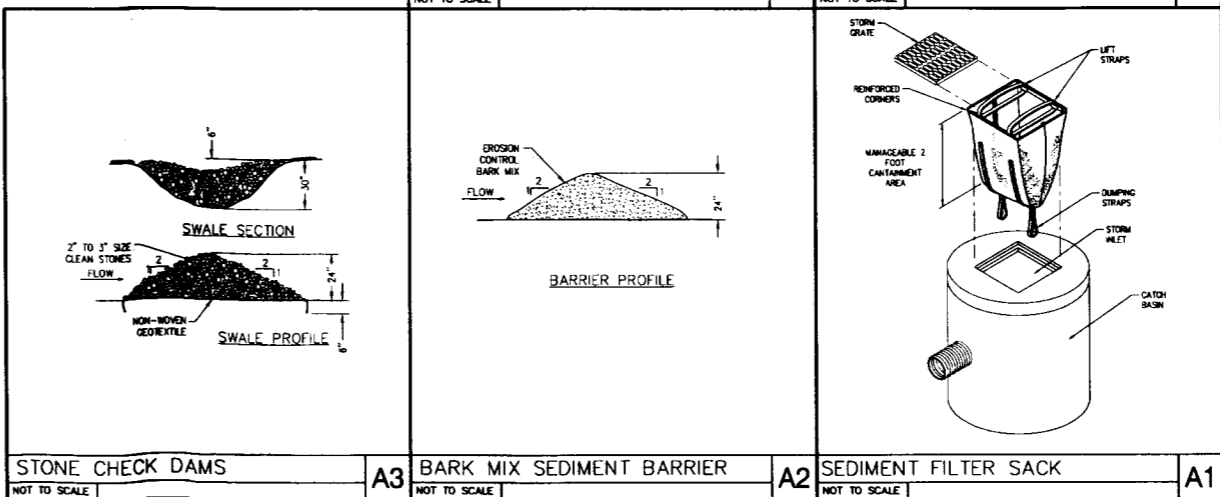
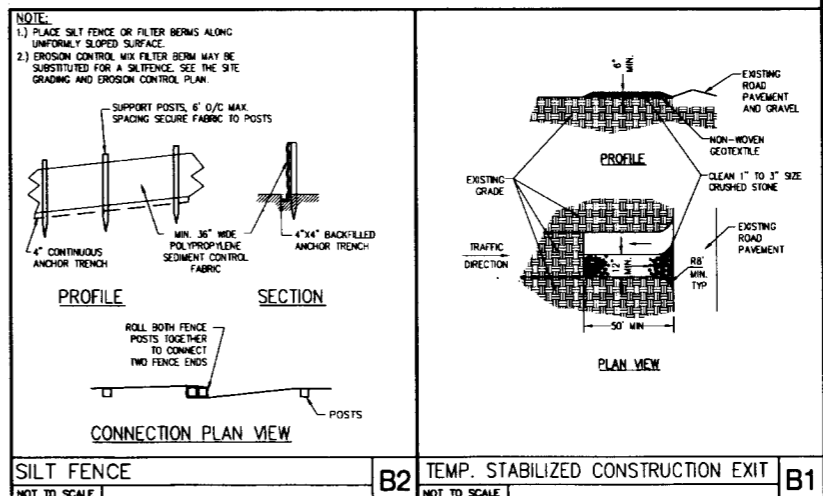
- When permanent soil stabilization has been achieved, temporary materials and devices that are not readily degradable shall be removed and disposed of off site. Silt fences, filter berms, and catch basin sediment filters must be fully removed. Re-usable materials are and shall remain the property of the Contractor.

11. STONES FOR RIP-RAP

- Size the stone mixture such that 50% of the stones, by weight, are larger than the specified #50 size. Stones shall not be schistose.
- Plain Rip-Rap: 4" to 12" diameter, hard, sound angular stones, #50 - #1".
- Special Rip-Rap: 10" to 18" wide sound stones with flat top surfaces, #50 - #1".
- The stones shall be placed with their beds at right angles to the slope, the larger stones being used in bottom courses.
- The finished work shall present an even, tight and reasonably smooth surface conforming to the required contour, and have a neat orderly appearance without scattered stones.
- "Special" rip-rap shall be hand-placed in close contact to form an even, tight and reasonably smooth surface with relatively flat top surfaces. Use no small stones or spall.

12. PLANTING TIME

- Seeding: Seeding shall be done between August 15th to September 15th and/or April 15th to June 15th.
- Sodding: Sodding may be done between April 15th and November 15th.
- Verfance: If special conditions exist which may warrant a varfance in the above planting dates, a written request shall be submitted to the Architect stating the special conditions for the proposed varfance. Permission for the varfance will be given if warranted in the opinion of the Architect. Responsibility of the time of seeding, the Contractor shall be responsible for a full growth of grass.
- Place permanent soil stabilization within 15 days of final grading.



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Project Title

**110 FREE STREET BUILDING RENOVATIONS**

PORTLAND, MAINE

Project No. 09146

Key Plan

**NOTES:**

- SURVEY PREPARED BY SEBAGO TECHNICS, DATED 11/03/09.

Issue Date	Date	Description
	12-11-09	CITY STAFF REVIEW
	12-11-09	DESIGN DEVELOPMENT
	10-23-09	SCHEMATIC DESIGN

Drawing Status

Drawing Title

**SITE EROSION CONTROL NOTES AND DETAILS**

No. / Rev. DPD Drawn By: DPD

Drawing Number

**C00.3**



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Project Title

**110 FREE STREET  
BUILDING  
RENOVATIONS**

PORTLAND, MAINE

HA Project No. 09146

Key Plan

**NOTES:**

1. SURVEY PREPARED BY SEBAGO TECHNICS, DATED 11/03/09.

Mark	Date	Description
12-11-09		CITY STAFF REVIEW
12-11-09		DESIGN DEVELOPMENT
11-25-09		DEMO BID SET
10-23-09		SCHEMATIC DESIGN

Drawing Status

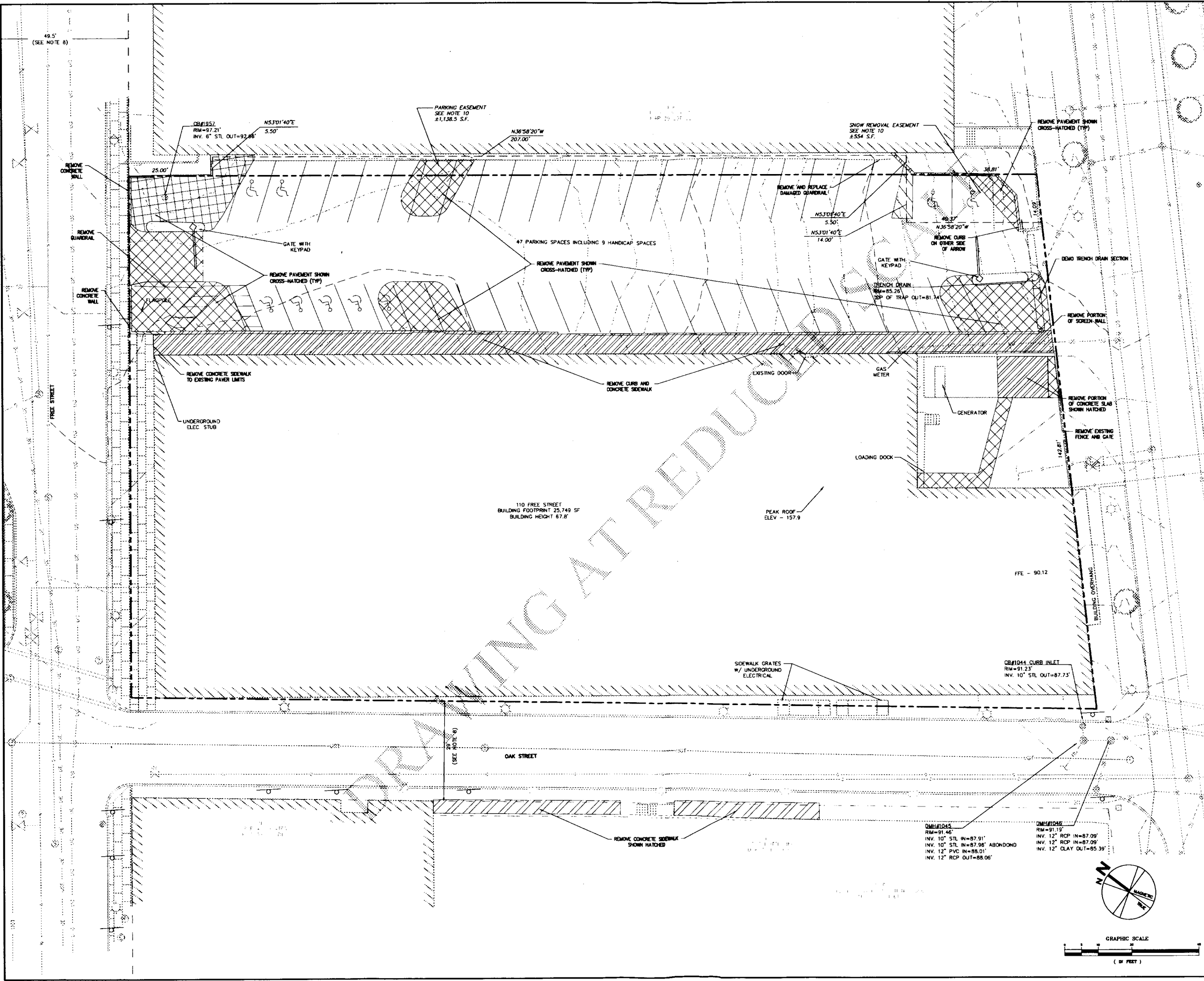
Drawing Title

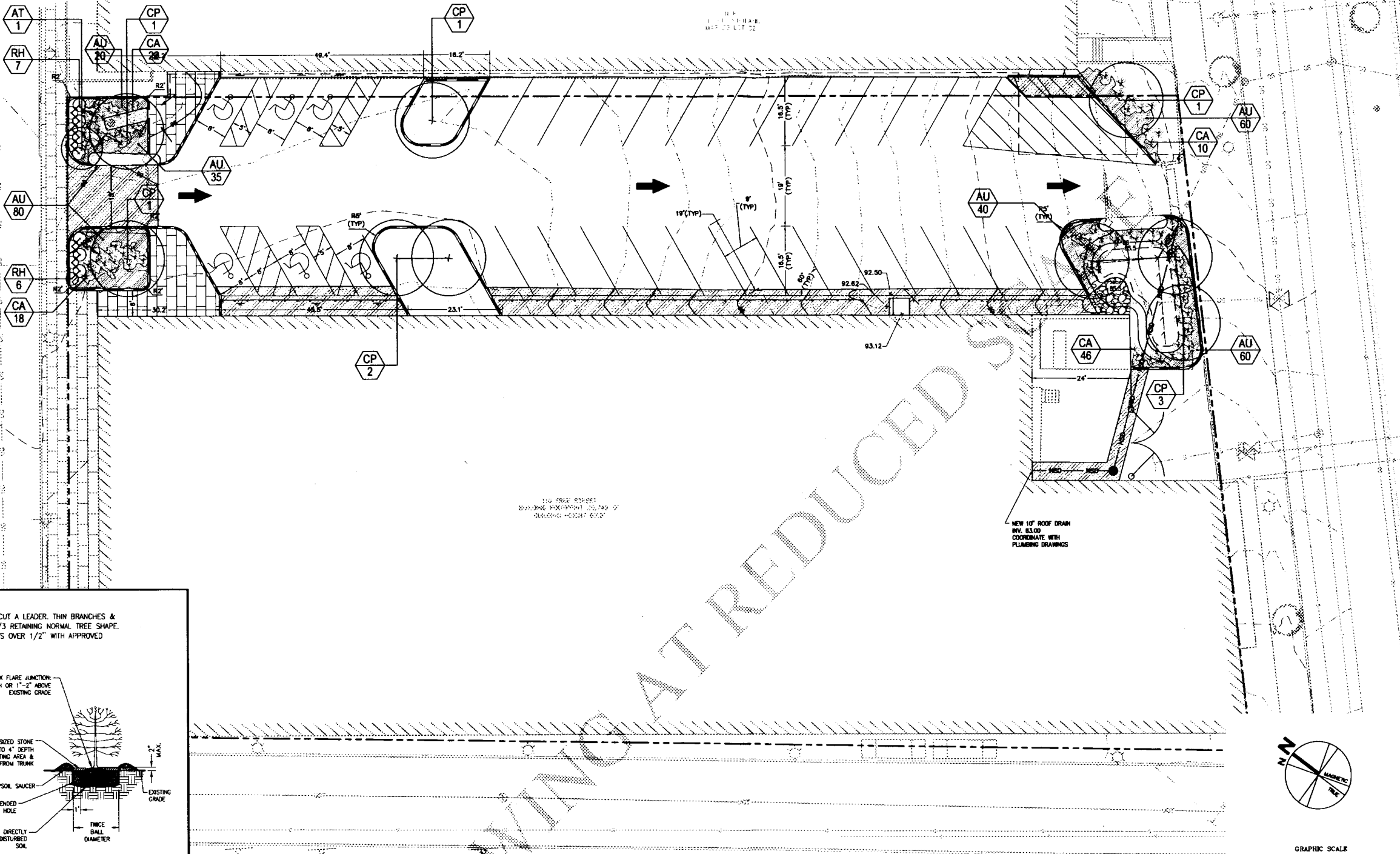
**EXISTING SITE  
CONDITIONS AND  
DEMOLITION PLAN**

PA / PE: DPD      Drawn By: DPD

Drawing Number

**C10.1**





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Project Title

**110 FREE STREET BUILDING RENOVATIONS**

PORTLAND, MAINE

HA Project No. 09146

Key Plan

**NOTES:**

1. SURVEY PREPARED BY SEBAGO TECHNICS, DATED 11/03/09.

Issue Date	Date	Description
12-11-09		CITY STAFF REVIEW
12-11-09		DESIGN DEVELOPMENT

Drawing Status

Drawing Title

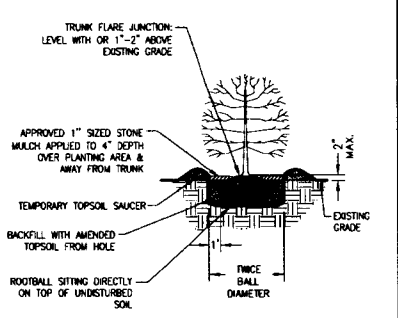
**SITE PLANTING PLAN**

HA / PE DPD Drawn By: OPD

Drawing Number

**C90.1**

NOTE: NEVER CUT A LEADER, THIN BRANCHES & FOLIAGE BY 1/3 RETAINING NORMAL TREE SHAPE. PAINT ALL CUTS OVER 1/2" WITH APPROVED TREE PAINT.

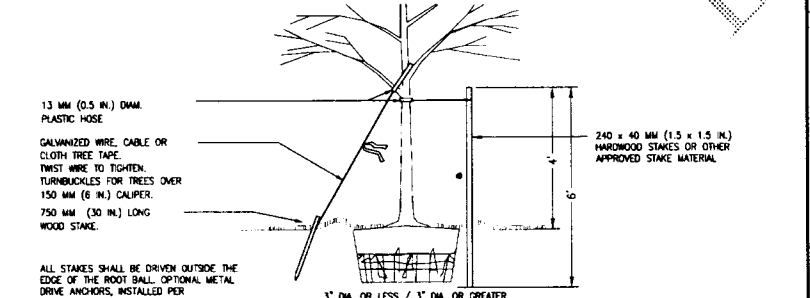


TYPICAL SHRUB PLANTING DETAIL L3 NOT TO SCALE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35MM (1.5 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

INSTALL THREE GUY WIRES PER TREE, SPACED EVENLY AROUND THE TRUNK.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

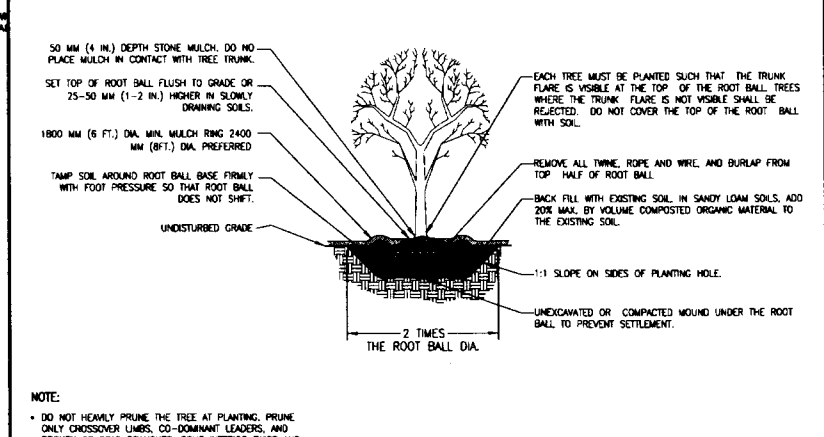


TREE STAKING DETAIL L2 NOT TO SCALE

**Plant Schedule**

Qty	Code	Common Name	Botanical Name	Size	Notes
<b>Deciduous Trees</b>					
9	CP	European Hornbeam	<i>Carpinus betulus</i>	2 1/2-3" C B&B	as shown
1	AT	Three-Flowered Maple	<i>Acer triflorum</i>	2-2 1/2" C B&B	as shown
<b>Shrubs &amp; Perennials</b>					
265	AU	Bearberry	<i>Arctostaphylos Uva-ursi</i>	1G	Install 2" o.c.
96	CA	Feather Reed Grass	<i>Calamagrostis acutiflora 'Avalanche'</i>	1G	as shown
13	RH	PJM Rhododendron	<i>Rhododendron 'PJM' Elite</i>	5G	as shown

NOTE: FOR BIORETENTION PLANTINGS SEE DRAWING C00.2 DETAIL C4.



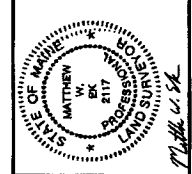
TREE PLANTING DETAIL L1 NOT TO SCALE

NOTE:

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

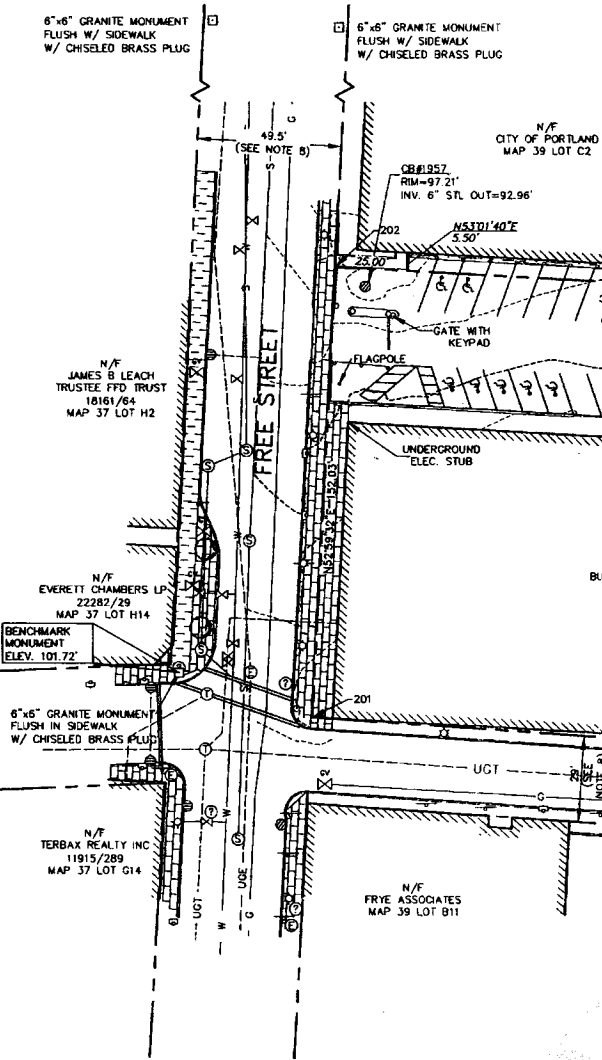
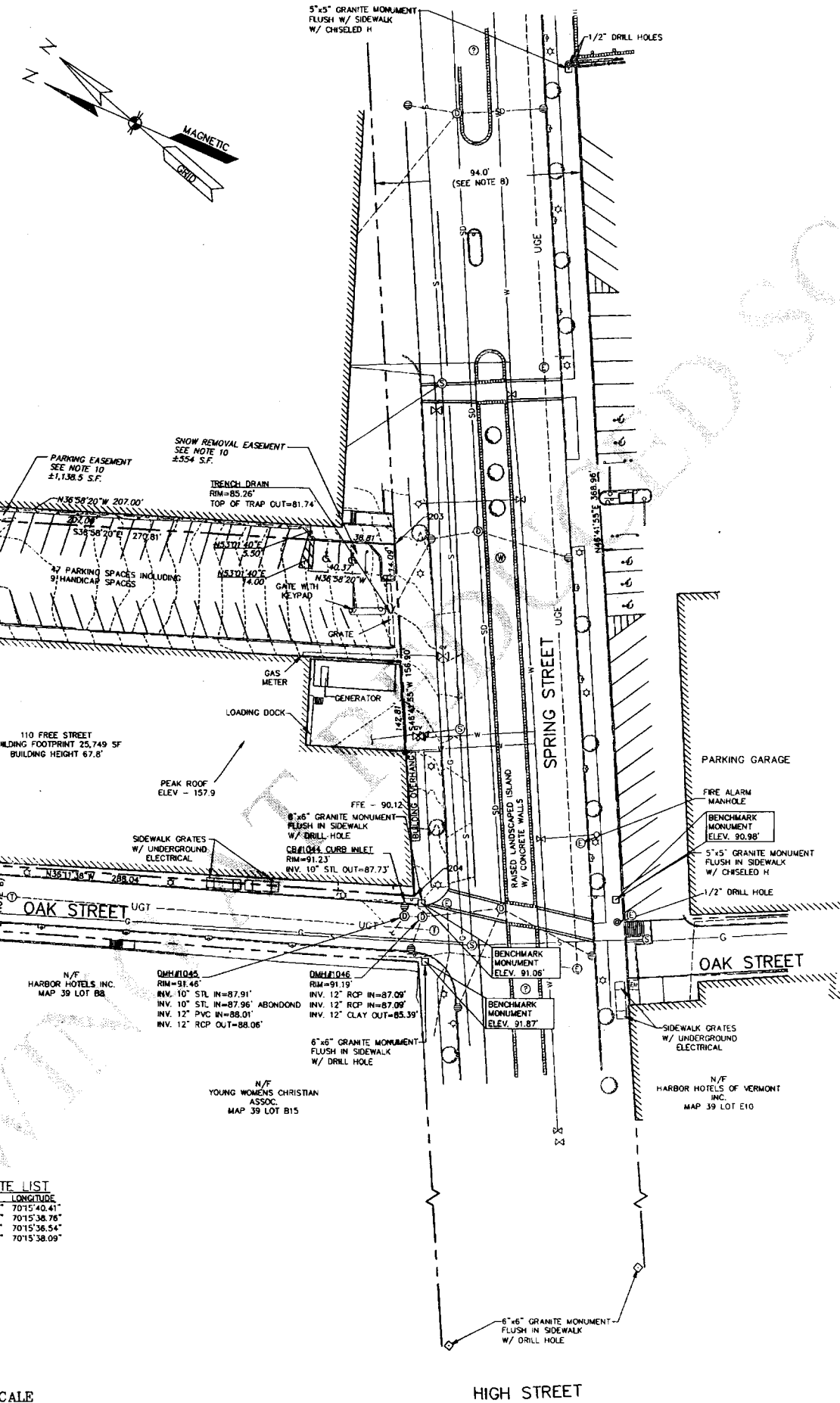


LOCATION MAP N.T.S.



**GENERAL NOTES**

- THE RECORD OWNER OF THE PARCEL IS MAINEHEALTH BY DEED DATED AUGUST 28, 2009 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 27225 PAGE 100.
- THE PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 39 AS BLOCK C LOT 1 AND IS LOCATED IN THE B3 ZONE (DOWNTOWN BUSINESS).
- SPACE AND BULK CRITERIA FOR THE B3 ZONE ARE AS FOLLOWS:  
 MIN. LOT SIZE: NONE  
 MIN. STREET FRONTAGE: 15'  
 MIN. FRONT YARD: LESS THAN 5'  
 MIN. SIDE YARD: NONE  
 MIN. REAR YARD: NONE  
 MAX. BUILDING HEIGHT: 150' (LOT C1) 125' (LOT F1)  
 MAX. BUILDING COVERAGE: 100%  
 \* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION
- TOTAL AREA OF THE 110 FREE STREET PARCEL IS APPROXIMATELY 43,009 SQUARE FEET OR 0.99 ACRES.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY BY SEBAGO TECHNICS INC., PERFORMED IN FEBRUARY OF 2007 AND UPDATED IN OCTOBER OF 2009.
- PLAN REFERENCES:  
 A. PLANS FROM DEPARTMENT OF PUBLIC WORKS, CITY OF PORTLAND ME:  
 1. SPRING-MIDDLE ARTERIAL, STA 23+10-28+50, BY FAY SPOFFORD & THORNDIKE INC. ENGINEERS, DATED FEBRUARY 1971, PPW FILE 494-1.  
 2. MAINWAY RENEWAL PROJECT GENERAL PLAN PART 1, FREE STREET, BY FAY SPOFFORD & THORNDIKE ENGINEERS DATED APRIL 1974, PPW FILE 677-11.  
 3. RECONSTRUCTION OF OAK STREET, BY EDWARD C. JORDAN CO., INC PLANNERS AND ENGINEERS DATED OCTOBER 1973, PPW FILE 310-1.  
 4. PLEASANT STREET SEWER RECONSTRUCTION, DATED NOVEMBER, 1971, PPW FILE 566-9.  
 5. RIGHT OF WAY PLAN OF SPRING - MIDDLE ARTERIAL, BY OWEN HASKELL, INC., PPW FILE 687-12.  
 B. PLAN OF LAND OF BETWEEN SPRING AND SOUTH STREET, BY EDWARD C. JORDAN CE, DATED MAY 9, 1885, RECORDED IN CCRD BOOK 518 PAGE 122.  
 C. CITY OF PORTLAND VALUATION SHEET NO. 39, RECORDED IN CCRD PLAN BOOK 5 PAGE 39.  
 D. GIS MAP SHOWING SPRING STREET, FREE STREET AND OAK STREET SUPPLIED BY THE PORTLAND WATER DISTRICT.  
 E. ALTA/ACSM LAND TITLE SURVEY OF ANTHEM HEALTH BUILDING & PARKING FOR JENKINS AND GILCHRIST, BY SEBAGO TECHNICS, INC. (PROJECT 06484).
- THE BEARINGS AND ELEVATIONS SHOWN HEREON ARE BASED UPON THE MAINE STATE PLANE COORDINATE GRID, WEST ZONE 1802 ON NAD83 AND NAD29 IN US FEET.
- STREET REFERENCES:  
 A. FREE STREET: FIRST ACCEPTED BY THE TOWN OF FALMOUTH RECORDS 2-541 DATED MAY 1878, 1772; EXTENDED AND WIDENED IN CITY OF PORTLAND RECORDS 1-57 DATED JULY 7, 1788.  
 B. OAK STREET: ACCEPTED BY THE CITY OF PORTLAND RECORDS 3-38 DATED APRIL 19, 1828 (FREE TO SPRING).  
 C. SPRING STREET: FIRST ACCEPTED IN THE FALMOUTH RECORDS 2-367 DATED FEBRUARY 26, 1754; ALTERED IN FALMOUTH RECORDS 2-488 DATED MAY 25, 1760; ACCEPTED BY CITY OF PORTLAND IN RECORDS 1-44 DATED JUNE 2, 1788; WIDENED PER DEED BOOK 3267 PAGE 338 DATED JUNE 5, 1972 (SEE PLANS A-1 AND A-5).  
 \* RIGHT OF WAY MONUMENTS IN PORTLAND ARE TYPICALLY 3 FOOT OFFSET MONUMENTS INTO THE STREET RIGHT OF WAY.
- THE UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE BASED UPON FIELD LOCATION OF SURFACE STRUCTURES, PLANS REFERENCED HEREON AND INFORMATION PROVIDED BY LOCAL UTILITY COMPANIES AND MAY NOT REPRESENT ALL UNDERGROUND UTILITIES ON OR ABUTTING THE LOCUS PARCELS.
- THE PROPERTY IS SUBJECT TO AND TOGETHER WITH A RECIPROCAL EASEMENT AGREEMENT BETWEEN 110 FREE STREET, LLC (PREVIOUS OWNER OF LOCUS PARCEL) AND THE CITY OF PORTLAND, MAINE, DATED SEPTEMBER 17, 2007, AND RECORDED IN CCRD DEED BOOK 25541 PAGE 221. THIS GRANTS THE LOCUS PARCEL A PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS EASEMENT, AND GRANTS THE CITY A "SNOW REMOVAL EASEMENT". SEE THE REFERENCED DEED FOR MORE PARTICULAR INFORMATION AND RESTRICTIONS.

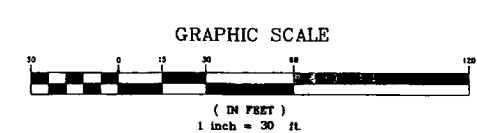


**LEGEND**

SYMBOL	DESCRIPTION
---	BOUNDARY LINE/R.O.W.
- - -	ABUTTER LINE/R.O.W.
---	SETBACK
---	EASEMENT
○	MONUMENT
○	IRON PIPE/ROD
○	DRILLHOLE
○	REBAR TO BE SET
○	CURVE/LINE NO.
○	BENCHMARK
▭	BUILDING
▭	SIGN
▭	EDGE PAVEMENT
▭	PAVEMENT PAINT
▭	CURBLINE
▭	CHAIN LINK FENCE
▭	RETAINING WALL
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	GUARDRAIL
○	BOLLARD
○	GAS
○	WATER
○	GATE VALVE
○	HYDRANT
○	POTABLE WELL
○	SEWER
○	FORCE MAIN
○	SEWER MH
○	STORM DRAIN
○	UNDERDRAIN
○	CATCH BASIN
○	DRAINAGE MH
○	CULVERT
○	OVERHEAD ELEC. & TEL.
○	UNDERGROUND ELEC. & TEL.
○	TRANSFORMER PAD
○	ELECTRICAL MANHOLE
○	TELEPHONE MANHOLE
○	UNKNOWN MANHOLE
○	LIGHT POLE/WALL
○	UTILITY POLE
○	GUY
○	PARKING METER

**PROPERTY CORNER COORDINATE LIST**

CORNER	NORTHING	EASTING	LATITUDE	LONGITUDE
201	299430.57	2927724.90	43°39'17.36"	7015°40.41'
202	299522.08	2927846.30	43°39'18.26"	7015°38.76'
203	299308.72	2928009.18	43°39'16.13"	7015°36.54'
204	299198.11	2927894.99	43°39'15.05"	7015°38.09'



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 WWW.SEBAGO7ECHNICS.COM

PROJECT NO. 06484EC  
 FIELD BOOK DESIGN CHDK  
 DRAWN MVE  
 MCC

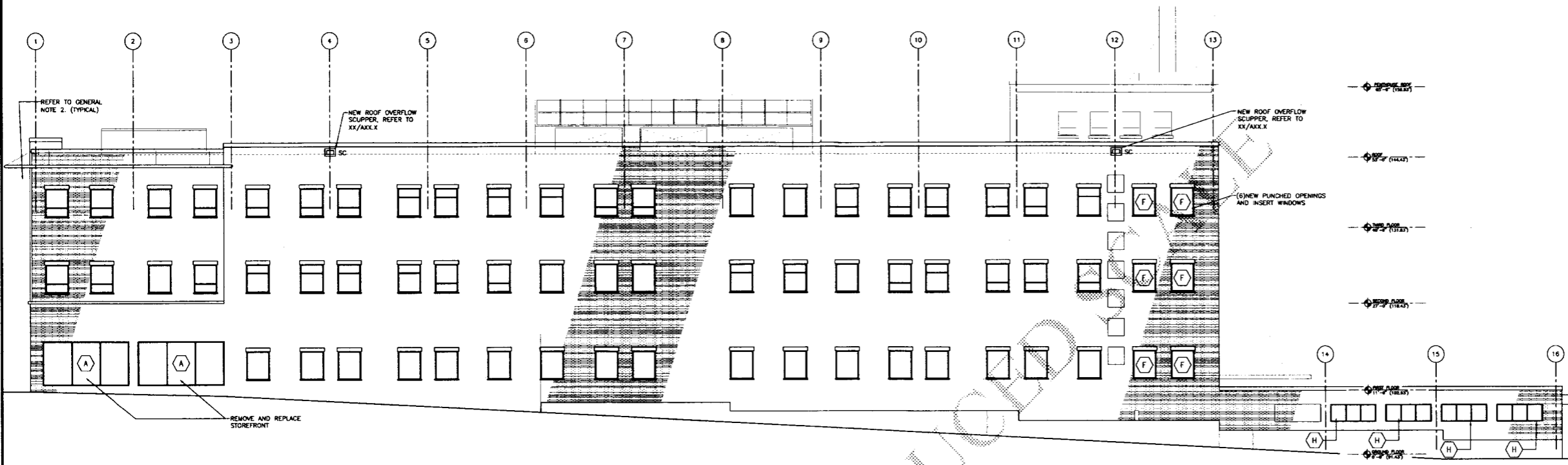
**EXISTING CONDITIONS SURVEY**  
 OF:  
**MAINEHEALTH PROPERTY**  
 110 FREE STREET  
 PORTLAND, MAINE 04101  
 FOR  
**MAINE MEDICAL CENTER**  
 465 CONGRESS STREET  
 PORTLAND, MAINE 04101

Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
 PORTLAND, MAINE

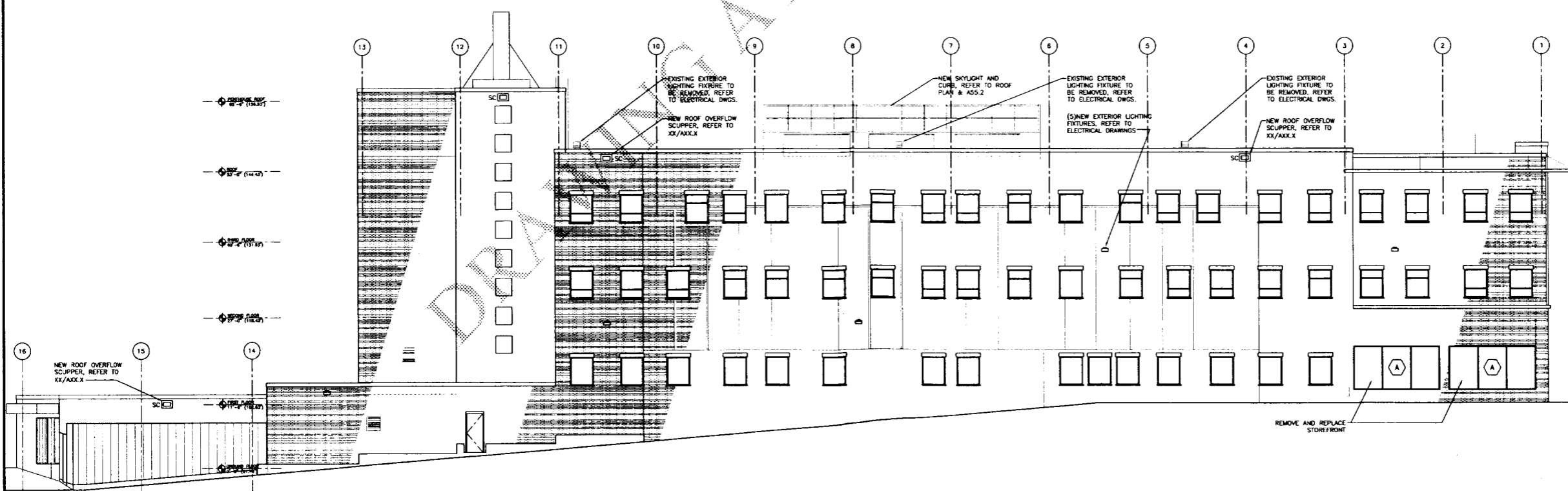
MA Project No. **09146**

Key Plan

GENERAL NOTES  
 1. REMOVE ALL EXISTING WINDOW CASINGS, CANOPSIES, FRAMING, AND ANCHORING ASSEMBLIES. REFER TO A21.1 AND A21.2 FOR EXISTING BRICK REMEDIAL WORK.  
 2. REFER TO A21.1 AND A21.2 FOR EXISTING BUILDING ENVELOPE REMEDIAL SCOPE OF WORK INCLUDING BUT NOT LIMITED TO DAMAGED AREAS, CRACKED BRICK/MORTAR, NEW EXPANSION JOINTS, SEALANT JOINTS ETC.



**WEST ELEVATION**  
 1/8" = 1'-0" REF: - **B1**



**EAST ELEVATION**  
 1/8" = 1'-0" REF: - **A1**

Mark	Date	Description
12/11/2009		CITY STAFF REVIEW
12/11/2009		DESIGN DEVELOPMENT
10/23/2009		SCHEMATIC DESIGN

Drawing Status  
**DESIGN DEVELOPMENT**

Drawing Title  
**EXTERIOR ELEVATIONS**

PA / PE PSC Drawn By  
**A20.1**

Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
PORTLAND, MAINE

HA Project No. **09148**

Key Plan

**MECHANICAL PENTHOUSE**

**ELEVATOR OVERUN ELEVATIONS**

**ENTRY ELEVATIONS**

**SOUTH ELEVATION**

Work	Date	Description
12/11/2009		CITY STAFF REVIEW
12/11/2009		DESIGN DEVELOPMENT
10/23/2009		SCHEMATIC DESIGN

Issue Dates

Drawing Status  
**DESIGN DEVELOPMENT**

Drawing Title  
**EXTERIOR ELEVATIONS**

PA / RE: PSC Drawn By

Drawing Number

**A20.2**

ENTRY ELEVATIONS  
1/8" = 1'-0"  
0 4 8 12 REF: -  
**C3**

ENTRY ELEVATIONS  
1/8" = 1'-0"  
0 4 8 12 REF: -  
**C2**

**NORTH ELEVATION**  
**WEST ELEVATION**  
**EAST ELEVATION**  
**SOUTH ELEVATION**

**ELEVATOR OVERUN ELEVATIONS**  
1/8" = 1'-0"  
0 4 8 12 REF: -  
**B2**

**MECHANICAL PENTHOUSE**  
1/8" = 1'-0"  
0 4 8 12 REF: -  
**A2**

**REPAIR EXISTING SHIPS LADDER ANCHORING**

**NEW ROOF OVERFLOW SCUPPER REFER TO XX/XXX.X**

**NORTH ELEVATION**

**WEST ELEVATION**

**PROPOSED MAINEHEALTH SIGN - 100 S.F.**  
**POTENTIAL SIGN LOCATION 215 S.F.**  
**POTENTIAL SIGN LOCATION 80 S.F.**  
**POTENTIAL SIGN LOCATION 170 S.F.**  
**POTENTIAL SIGN LOCATION 400 S.F.**

**REMOVE AND REPLACE STOREFRONT**

**SOUTH ELEVATION**  
1/8" = 1'-0"  
0 4 8 12 REF: -  
**B1**

**REMOVE AND REPLACE STOREFRONT**

**POTENTIAL SIGN LOCATION 170 S.F.**  
**POTENTIAL SIGN LOCATION 52 S.F.**  
**POTENTIAL SIGN LOCATION 52 S.F.**  
**MAINEHEALTH**  
**POTENTIAL SIGN LOCATION 90 S.F.**  
**PROPOSED MAINEHEALTH SIGN - 28 S.F.**  
**REMOVE AND REPLACE STOREFRONT**

**NORTH ELEVATION**  
1/8" = 1'-0"  
0 4 8 12 REF: -  
**A1**

Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
PORTLAND, MAINE  
NA Project No. **09148**  
Key Plan

**LEGEND**

- BRICK VENEER FACE CRACKS WITH REMOVED EPOXY (HATCHING & DIAGRAMATIC TO DEMONSTRATE EXTENT OF VENEER CRACKS - DOES NOT DEMONSTRATE ACTUAL LOCATIONS/QUANTITIES)
- BRICK VENEER/MORTAR CRACKING, GRIND EXISTING AND REPORT RELIEVING ANGLE LOCATIONS
- EJ NEW EXPANSION JOINT
- SC NEW 8"x16" ROOF OVERFLOW SCUPPERS
- AREA OF REQUIRED REPAIR - REFER TO ELEVATIONS FOR SPECIFIC DESCRIPTION

**AREA OF REPAIR NOTES**

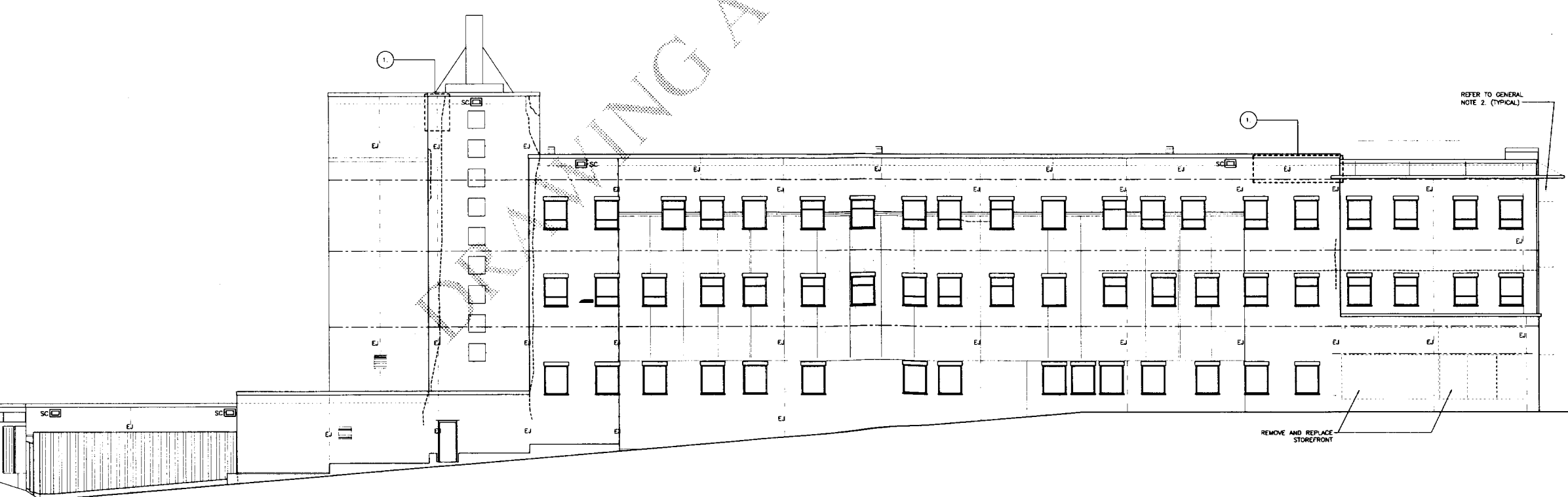
- 1 REMOVE EXISTING BRICK IN DAMAGED AREA REPAIR AND RECONSTRUCT WITH MATCHING BRICK AND MORTAR.
- 2 REFER TO GENERAL NOTE ITEM 4, BELOW THIS AREA HAS EXCESSIVE REBAR THAT NEEDS REMOVAL. UPON REMOVAL, REPLACE EFFECTED BRICK. APPLY MORTAR IN HOLES AT MORTAR JOINTS.

**GENERAL NOTES**

1. RELIEVING ANGLES - GRIND ENTIRE MORTAR JOINT (FULL DEPTH) BELOW ALL RELIEVING ANGLE LOCATIONS. REMOVE EXISTING SEALANT AT SAME JOINT WHERE SEALANT HAS BEEN APPLIED. CLEAN AND PREPARE JOINT FOR INSTALLATION OF CONTINUOUS BACKER ROD AND SEALANT ASSEMBLY. GRIND, CLEAN, AND PREPARE CONTINUOUS MORTAR JOINT LOCATED THREE COURSES ABOVE RELIEVING ANGLES WHERE EXISTING FLASHING HAS CREATED A BOND BREAK IN MORTAR AND CRACKED MORTAR JOINT CONDITIONS.
2. WINDOW/DOOR PRECAST/LITELS - REMOVE ALL EXISTING SEALANT & GRIND MORTAR JOINTS AT PERIMETER OF PRECAST CONCRETE LITELS ABOVE WINDOWS. CLEAN AND PREPARE FOR REPOINTING OF MORTAR JOINTS.
3. CRACKED BRICK & MORTAR JOINTS - GRIND MORTAR JOINTS AT LOCATIONS SHOWN WHERE CRACKED. CLEAN AND PREPARE FOR REPOINTING OF MORTAR JOINTS. AT LOCATIONS WHERE BRICK VENEER IS CRACKED OR DAMAGED, REMOVE AND REPLACE IN KIND.
4. REMOVE ALL EXTERNALLY APPLIED MASONRY NAILS, SCAFFOLDING ATTACHMENT ANCHORS, SCREWS, ETC. CLEAN AND PREPARE HOLES FOR MORTAR OR SEALANT DEPENDING ON LOCATION. APPLY MORTAR AT EXISTING MORTAR JOINT LOCATIONS. APPLY SEALANT AT EXISTING BRICK VENEER LOCATIONS.
5. WINDOW/DOOR FRAMES - REMOVE ALL EXISTING JOINT SEALANTS BETWEEN EXISTING WINDOW/DOOR FRAMES AND ADJACENT BRICK VENEER. CLEAN AND PREPARE FOR INSTALLATION OF CONTINUOUS NEW BACKER ROD AND SEALANT ASSEMBLY.



**WEST ELEVATION**  
1/8" = 1'-0" 0 4 8 12 REF: - **A1**



**EAST ELEVATION**  
1/8" = 1'-0" 0 4 8 12 REF: - **A1**

12/11/2009	CITY STAFF REVIEW
Work Date	Description
Issue Dates	

Drawing Status  
**REVIEW**

Drawing Title  
**EXISTING ELEVATION ENVELOPE REVIEW**

PA / PE PSC Drawn By  
Drawing Number

**A21.1**

Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
PORTLAND, MAINE

HA Project No. **09148**

Key Plan

**LEGEND**

BRICK VENEER FACE CRACKS WITH REPAIR EPOXY (SHOWING IN DIAGRAMATIC TO DEMONSTRATE EXTENT OF VENEER CRACKS - DOES NOT DEMONSTRATE ACTUAL LOCATIONS/QUANTITIES)

BRICK VENEER/MORTAR CRACKING, GRIND EXISTING AND REPOINT RELIEVING ANGLE LOCATIONS

EJ NEW EXPANSION JOINT

SC NEW 8"x18" ROOF OVERFLOW SCUPPERS

AREA OF REQUIRED REPAIR - REFER TO ELEVATIONS FOR SPECIFIC DESCRIPTION

AREA OF REPAIR NOTES

1 REMOVE EXISTING BRICK IN DAMAGED AREA. REPAIR AND RECONSTRUCT WITH MATCHING BRICK AND MORTAR.

2 REFER TO GENERAL NOTE ITEM 4. BELOW THIS AREA HAS EXCESSIVE REBAR THAT NEED REMOVAL. UPON REMOVAL, REPLACE EFFECTED BRICK. APPLY MORTAR IN HOLES AT MORTAR JOINTS.

**GENERAL NOTES**

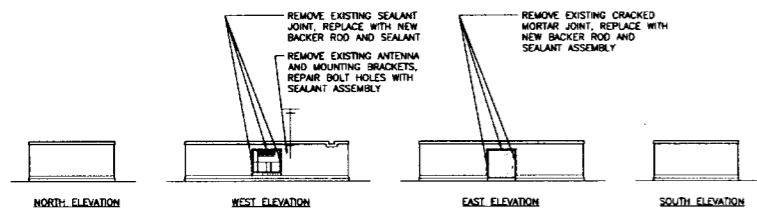
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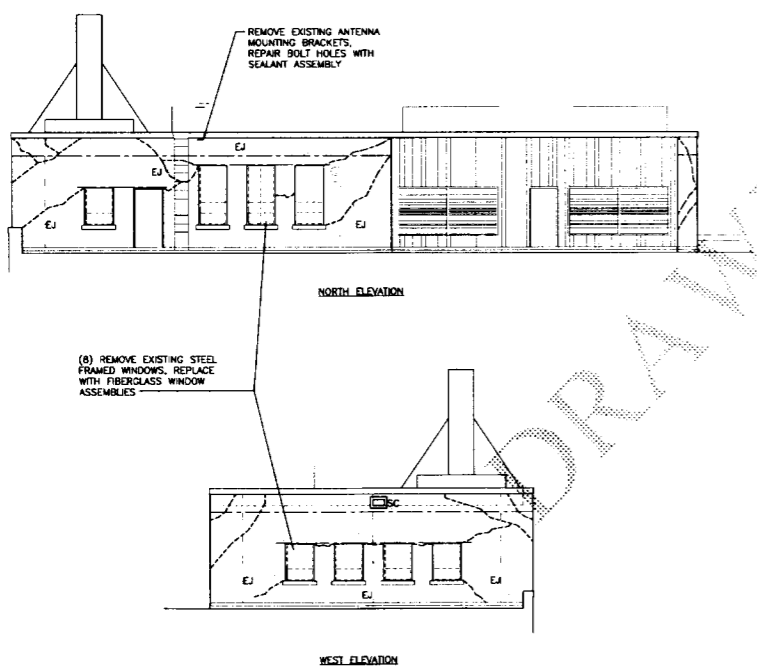
3. CRACKED BRICK & MORTAR JOINTS - GRIND MORTAR JOINTS AT LOCATIONS SHOWN WHERE CRACKED. CLEAN AND PREPARE FOR REPOINTING OF MORTAR JOINTS. AT LOCATIONS WHERE BRICK VENEER IS CRACKED OR DAMAGED, REMOVE AND REPLACE IN KIND.

4. REMOVE ALL EXTERNALLY APPLIED MASONRY WALLS, SCAFFOLDING ATTACHMENT ANCHORS, SCREWS, ETC. CLEAN AND PREPARE HOLES FOR MORTAR OR SEALANT DEPENDING ON LOCATION. APPLY MORTAR AT EXISTING MORTAR JOINT LOCATIONS. APPLY SEALANT AT EXISTING BRICK VENEER LOCATIONS.

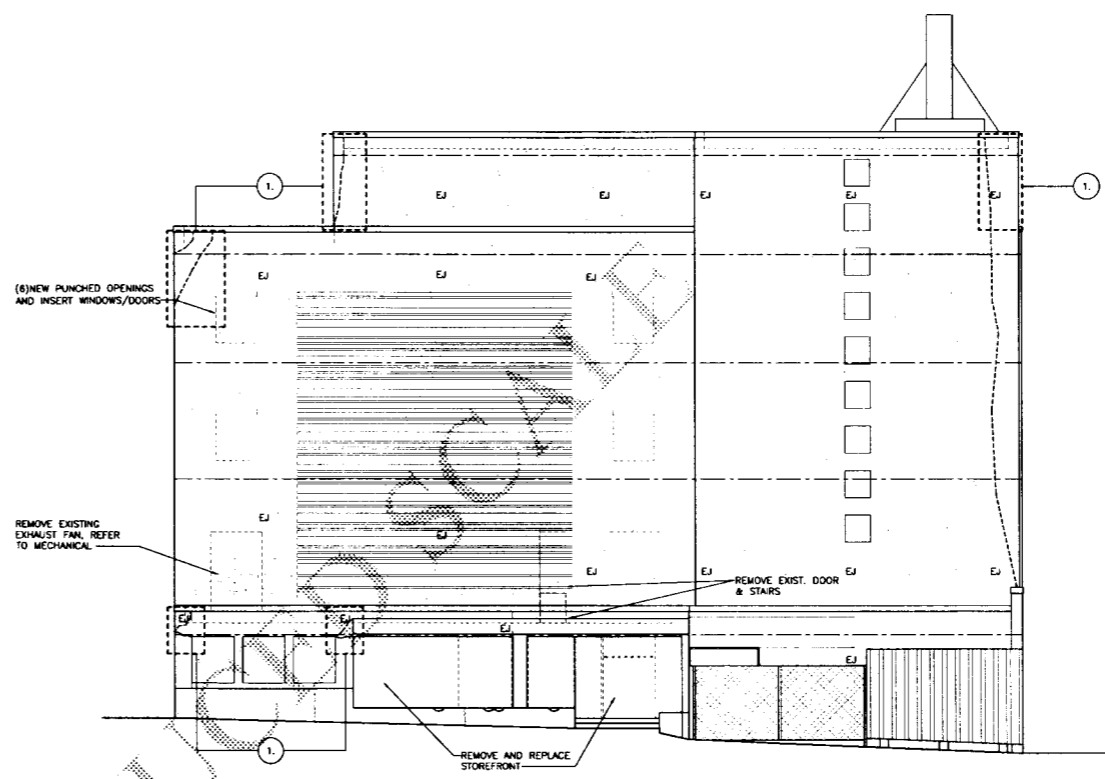
5. WINDOW/DOOR FRAMES - REMOVE ALL EXISTING JOINT SEALANTS BETWEEN EXISTING WINDOW/DOOR FRAMES AND ADJACENT BRICK VENEER. CLEAN AND PREPARE FOR INSTALLATION OF CONTINUOUS NEW BACKER ROD AND SEALANT ASSEMBLY.



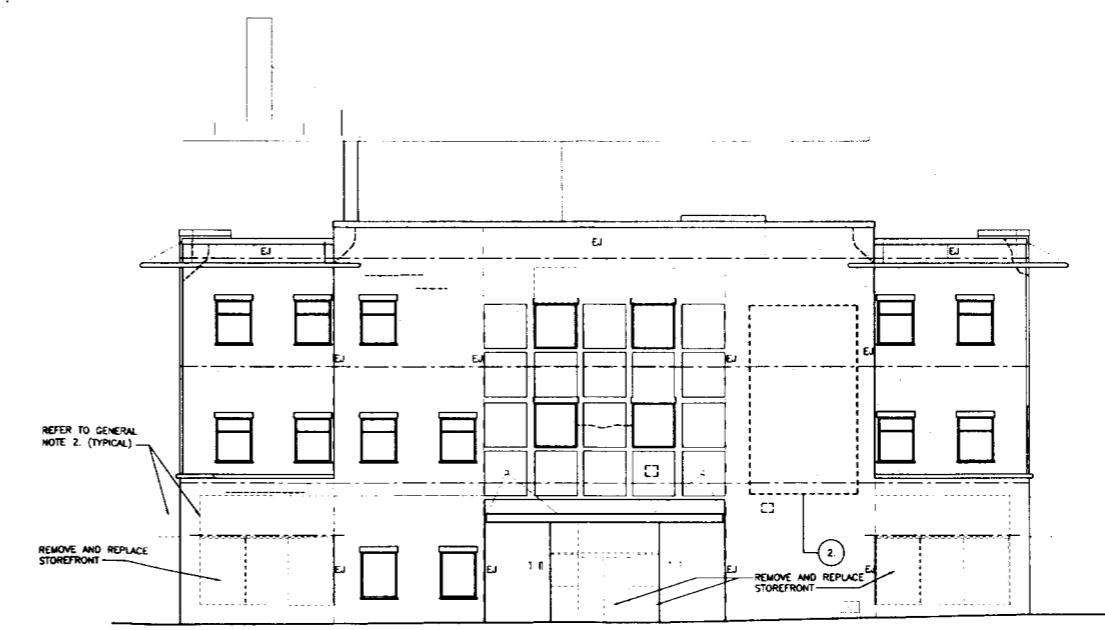
**ELEVATOR OVER-RUN ELEVATIONS**  
1/8" = 1'-0"    0    4'    8'    12'    REF: -    **B2**



**MECHANICAL PENTHOUSE ELEVATIONS**  
1/8" = 1'-0"    0    4'    8'    12'    REF: -    **A2**



**SOUTH ELEVATION**  
1/8" = 1'-0"    0    4'    8'    12'    REF: -    **B1**



**NORTH ELEVATION**  
1/8" = 1'-0"    0    4'    8'    12'    REF: -    **A1**

12/11/2009	CITY STAFF REVIEW
Mark	Date
Issue Dates	Description

Drawing Status  
**REVIEW**

Drawing Title  
**EXISTING ELEVATION ENVELOPE REVIEW**

PA / PK: PSC    Drawn By

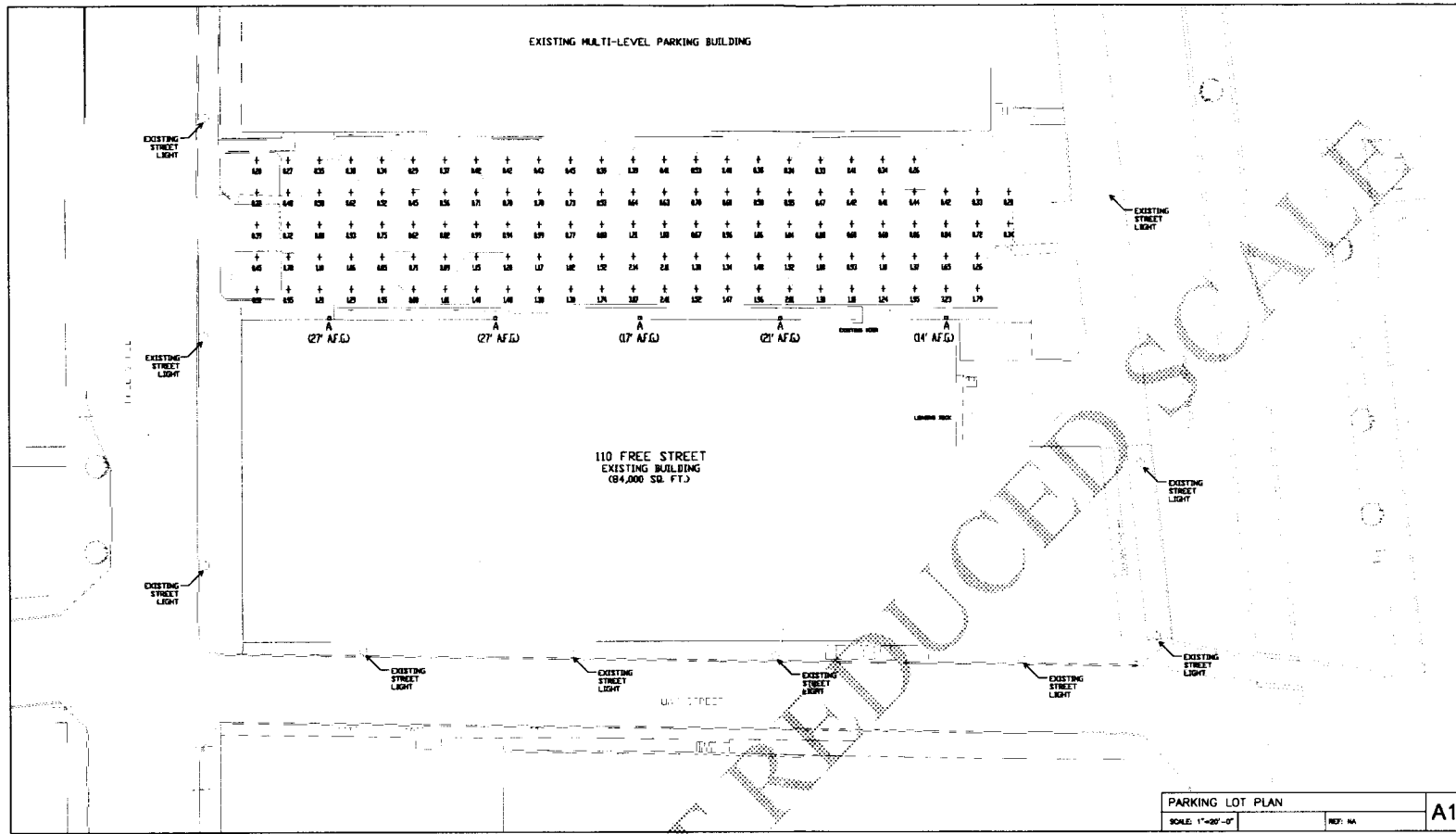
Drawing Number

**A21.2**

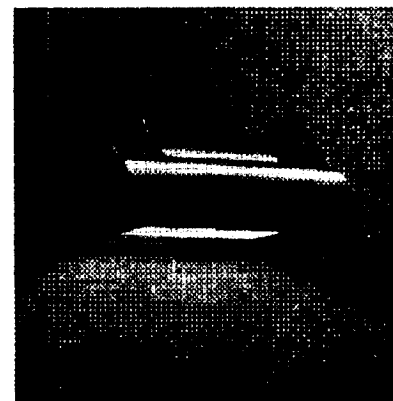
Project Title  
**110 FREE STREET BUILDING RENOVATIONS**  
 PORTLAND, MAINE

HA Project No. **09146**

Key Plan



PARKING LOT PLAN  
 SCALE: 1"=20'-0"  
 REV: NA  
**A1**



FIXTURE TYPE "A"  
 KIM "WALL DIRECTOR"

DXF file created by LitePro 2.025 on 12/8/2009 8:47:34 AM

CALCULATION SUMMARY										
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
Parking Lot	280.00x34.00 ft	New Grid / H-H	120	10.00	<+>	0.90	3.23	0.20	16.44	14.58

110 Free St (09146) LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
A	<input type="checkbox"/>	KIM LIGHTING W04x4/150MH-ED17 WALL DIRECTOR WALL MOUNTED LUM	(1)	1260	WALL - SURFACE	0.66 5

AREA SUMMARY SCHEDULE				
AREA NAME	L/O	DIMENSIONS	LUMS / (ASMS)	WATTS / SQ FT QTY
Parking Lot	OUT	280.00x34.00 ft	A (5)	104 11

12-11-09 CITY STAFF REVIEW  
 Mark Date Description  
 Issue Dates

Drawing Status  
**REVIEW**

Drawing Title  
**PARKING LOT PHOTOMETRIC PLAN**

HA / PE: WRH Drawn By: RJB  
 Drawing Number

**EP00.1**