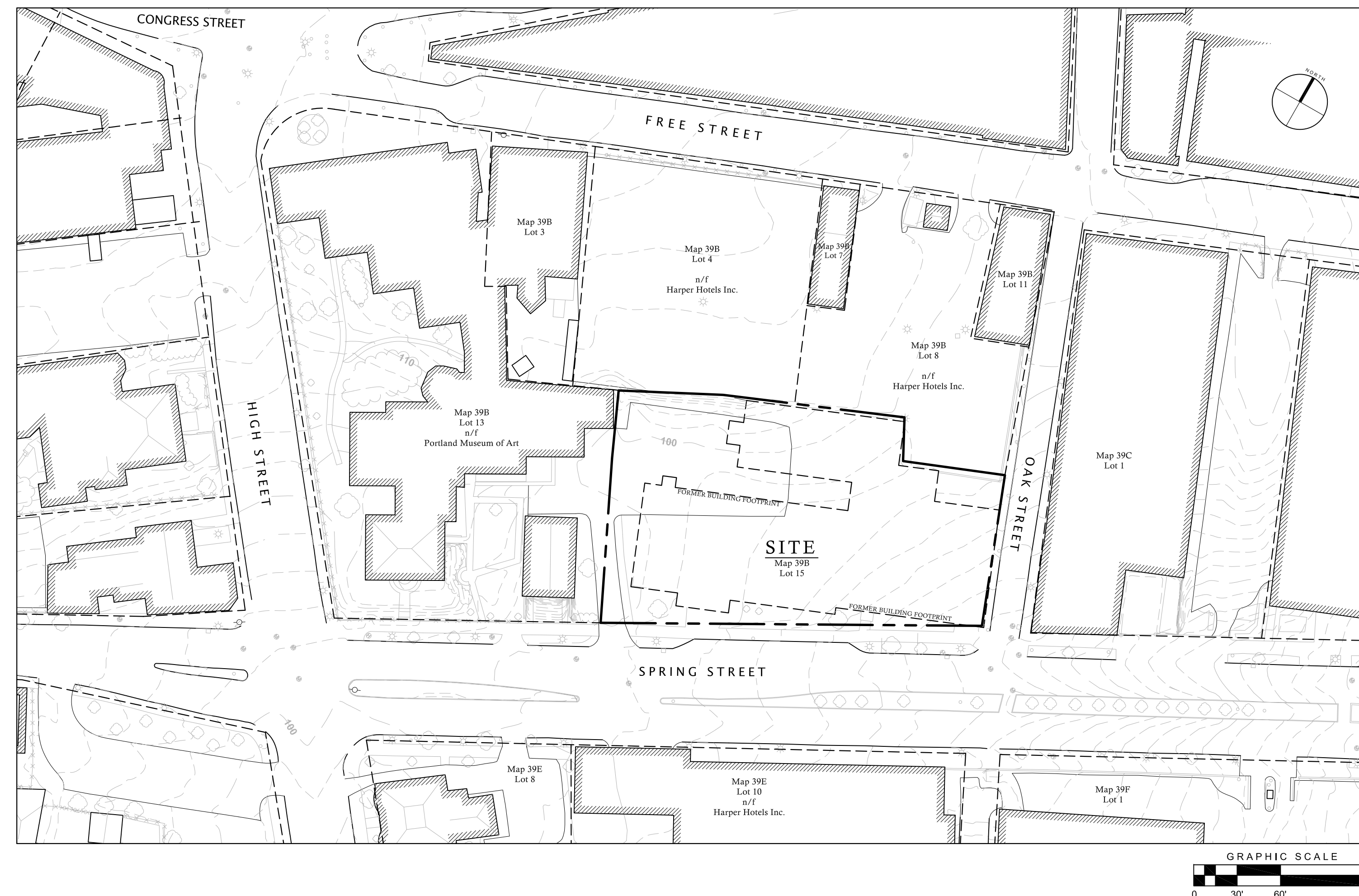


# PMA Spring Street Parking and Garden

87 SPRING STREET

PORTLAND, MAINE 04101



## PROJECT DATA

Owner: Portland Museum of Art  
7 Congress Square  
Portland, Maine 04101  
207.775.6148

Tax Map and Lot: Map 39-B, Lot 15

Consultants: Landscape Architect:  
Mohr & Seredin Landscape Architects, Inc.  
18 Pleasant Street  
Portland, Maine 04101  
207.871.0003

Civil Engineer/Stormwater  
Land Consulting Engineers, PA  
967 Broadway  
South Portland, Maine 04106  
207.767.7300

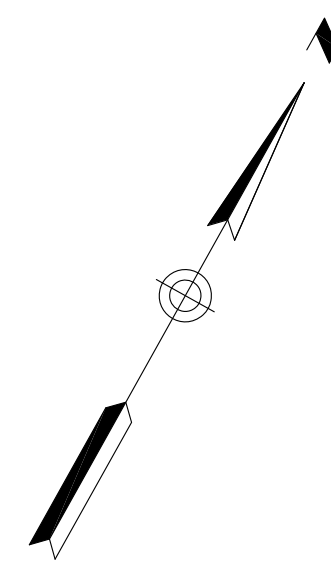
## ZONING SUMMARY

1. Property Location:	B-3 Zone (Downtown Business)	
2. Parcel Acreage:	0.89 acre / 38,797 s.f.	
3. Regulation:	<u>Required/Allowed</u>	<u>Provided</u>
Minimum Lot Area	none	38,797 s.f.
Min. Street Frontage	15 feet	370.94 feet
Min. Front Setback	none	64 feet (for parking)
Min. Rear Setback	none	4 feet (for parking)
Min. Side Setback	none	72 feet (for parking)
Max. Building Height	35 feet min.	N/A
4. Parking Required:	none	45 spaces (10 tandem)
5. Max. Impervious Surface Ratio	90% (existing)	60%
6. Wetland Fill:	N/A	N/A

## SHEET SCHEDULE:

- B-1 -- Boundary Survey
- L1.0 -- Existing Conditions Plan
- L2.0 -- Layout, Materials and Lighting Plan
- L2.1 -- Lighting Plan: Photometrics
- L3.0 -- Grading, Erosion Control and Utilities Plan
- L4.0 -- Landscape and Planting Plan
- L5.0 -- Site Details
- L5.1 -- Site Details
- L5.2 -- Site Details
- L5.3 -- Existing Retaining Wall: Elevation & Details
- C-1 -- Drainage Improvement Plan
- C-2 -- Existing and Proposed Conditions Maps
- C-3 -- Drainage Improvement Details
- C-4 -- Overall Neighborhood Drainage Plan





**LEGEND:**

■	GRANITE MONUMENT FOUND
○	GAS VALVE
○	HYDRANT
⊙	LIGHT POLE
○	MANHOLE
○	CATCH BASIN
⊗	ELECTRIC METER
⊕	SIGN
⊕	PARKING METER
○	SHRUB
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	VEGETATION LINE
---	FENCE
---	CURB
T	TELEPHONE
W	WATER LINE
G	GAS LINE
SS	SANITARY SEWER

**EXHIBIT A - PROPERTY DESCRIPTION**

A CERTAIN LOT OR PARCEL OF LAND WITH THE BUILDINGS THEREON, SITUATED ON THE NORTHERLY SIDE OF SPRING STREET AND THE WESTERLY SIDE OF OAK STREET IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND, AND STATE OF MAINE, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE AFOREMENTIONED INTERSECTION OF SPRING AND OAK STREETS;

THENCE, S 61°29'20" W ALONG SAID NORTHERLY SIDE OF SPRING STREET, 264.94 FEET TO LAND NOW OR FORMERLY OF THE PORTLAND SOCIETY OF ART;

THENCE, LEAVING SAID SPRING STREET, N 25°44'40" W ALONG SAID PORTLAND SOCIETY OF ART LAND 114.90 FEET;

THENCE, N 24°10'40" W, CONTINUING ALONG SAID PORTLAND SOCIETY OF ART LAND 47.37 FEET TO LAND NOW OR FORMERLY OF HARPER HOTELS INC.;

THENCE, ALONG SAID HARPER HOTELS INC. THE FOLLOWING COURSES AND DISTANCES:

N 63°27'20" E A DISTANCE OF 72.75 FEET;

N 68°06'18" E A DISTANCE OF 127.15 FEET;

S 27°48'20" E A DISTANCE OF 30.48 FEET;

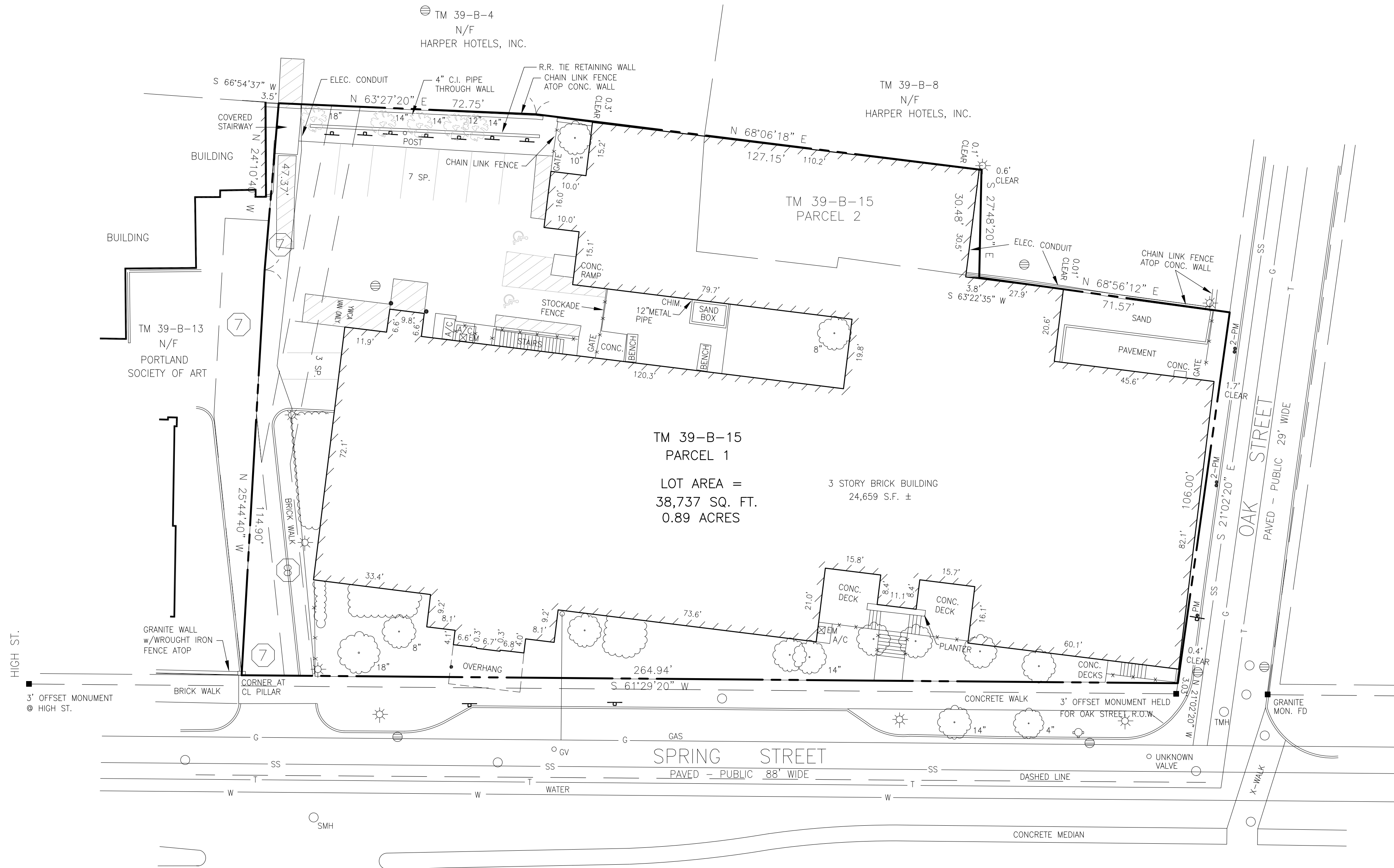
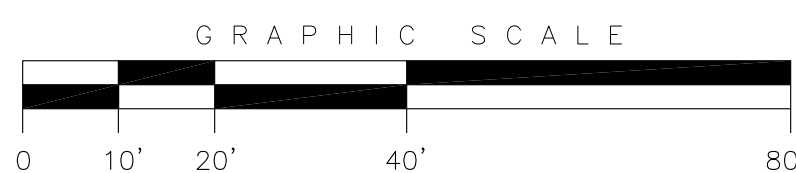
N 68°56'12" E A DISTANCE OF 71.57 FEET TO THE WESTERLY SIDE OF THE AFOREMENTIONED OAK STREET;

THENCE S 21°02'20" E ALONG SAID OAK STREET 106.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.89 ACRES, MORE OR LESS.

**CERTIFICATION:**

THIS IS TO CERTIFY TO MAINE STATE HOUSING AUTHORITY, FIRST AMERICAN TITLE INSURANCE COMPANY, AND THE SUCCESSORS AND ASSIGNS OF EACH, THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 2005, EFFECTIVE JANUARY 1, 2006, AND INCLUDES ITEMS 2, 3, 4, 6, 7(A) AND (B)(1), 9, 10, AND 11(A) AND (B) OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION AS A LAND SURVEYOR REGISTERED IN THE STATE OF MAINE, THE MAXIMUM RELATIVE POSITIONAL ACCURACY RESULTING FROM THE MEASUREMENTS MADE ON THE SURVEY DOES NOT EXCEED THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR MEASUREMENTS CONTROLLING LAND BOUNDARIES ON ALTA/ACSM LAND TITLE SURVEYS. THE UNDERSIGNED ADDITIONALLY CERTIFIES THAT (A) THIS SURVEY CORRECTLY SHOWS ALL MATTERS OF RECORD OF WHICH I HAVE BEEN ADVISED AFFECTING THE SUBJECT PROPERTY ACCORDING TO THE LEGAL DESCRIPTION OF SUCH MATTERS (WITH INSTRUMENT, BOOK AND PAGE NUMBER INDICATED); (B) EXCEPT AS SHOWN ON THIS SURVEY, NO PART OF THE SUBJECT PROPERTY IS LOCATED IN A 100-YEAR FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 230051 0013 B DATED JULY 17, 1986; (C) TO THE BEST OF MY KNOWLEDGE, THIS SURVEY SHOWS THE RELATION AND DISTANCE OF ALL BUILDINGS, SIDEWALKS AND OTHER IMPROVEMENTS TO EASEMENTS AND SETBACK LINES; (D) TO THE BEST OF MY KNOWLEDGE, EXCEPT AS SHOWN ON THIS SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING LAND FOR DRAINAGE, UTILITIES, INGRESS OR EGRESS; (E) IT IS PRESUMED THAT ALL UTILITIES SERVING THE SUBJECT PROPERTY SHOWN ON THE SURVEY, INCLUDING ELECTRIC, GAS, WATER, SANITARY SEWER AND STORM SEWER, CONNECT TO LINES LOCATED IN PUBLIC ROADWAYS, WITHOUT CROSSING THE PROPERTY OF OTHERS. (AS STATED IN NOTE 6, THE INFORMATION SHOWN ON THE PLAN IS TAKEN FROM THE LISTED SOURCES. ADDITIONAL INFORMATION REQUESTED BY THIS SURVEYOR HAS NOT BEEN RECEIVED.); AND (F) EXCEPT AS SHOWN ON THE PLAN, THERE ARE NO (I) OBSERVED ENCROACHMENTS ON EASEMENTS OR ON ADJACENT PROPERTY, STREETS, OR ALLEYS BY ANY IMPROVEMENTS ON THE SUBJECT PROPERTY, (II) OBSERVED ENCROACHMENTS ON EASEMENTS OR ON ADJACENT PROPERTY, STREETS, OR ALLEYS BY ANY IMPROVEMENTS ON THE SUBJECT PROPERTY, (III) PARTY WALLS, (IV) OBSERVED CONFLICTS OR PROTRUSIONS, OR (V) OBSERVED ENCROACHMENTS ONTO SETBACK OR BUILDING RESTRICTION LINES.

DATE \_\_\_\_\_ JOE M. WALKER, PLS #2338



**NOTES:**

- OWNER OF RECORD IS THE YOUNG WOMAN'S CHRISTIAN ASSOCIATION OF PORTLAND, MAINE, 2451/19 (PARCEL I); AND 3303/47, (PARCEL II), CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.)
  - BEARINGS ARE BASED ON PLAN REFERENCE 2.
  - STREET LINES ARE BASED ON PLAN REFERENCE 3, FOUND MONUMENTS, AND INFORMATION OBTAINED FROM THE CITY OF PORTLAND.
  - SUBJECT PROPERTY IS SHOWN AS LOT 15 ON MAP 39 ON THE CITY OF PORTLAND'S ASSESSOR'S MAPS.
  - THE PREMISES SURVEYED LIE IN ZONE B3, DOWNTOWN BUSINESS, AND FALLS IN THE DOWNTOWN HEIGHT OVERLAY DISTRICT. THE FOLLOWING DIMENSIONAL REQUIREMENTS APPLY:
    - MINIMUM LOT SIZE: NONE
    - MINIMUM STREET FRONTAGE: 15 FEET
  - STREET WALL BUILD-TO LINE:
    - ALL BUILDINGS OR STRUCTURES SHALL BE LOCATED WITHIN 5 FEET OF THE PROPERTY LINE ALONG STREET FRONTAGES, UNLESS THE PLANNING BOARD REQUIRES OR APPROVES AS ADDITIONAL DISTANCE TO COMPLY WITH THE REQUIREMENTS OF SECTION 14-526 (A) (16).
  - MINIMUM YARD DIMENSIONS: NONE REQUIRED
  - MINIMUM LOT WIDTH: NONE REQUIRED
  - MAXIMUM LENGTH OF UNDIFFERENTIATED BLANK WALL ALONG A PUBLIC STREET OR PUBLICLY ACCESSIBLE PEDESTRIAN WAY:
    - PAD OVERLAY ZONE: 15 FEET
    - ALL OTHER AREAS: 30 FEET
  - MINIMUM LOT COVERAGE 100%
  - MINIMUM BUILDING HEIGHT:
    - NO NEW CONSTRUCTION OF ANY BUILDING SHALL BE LESS THAN 35 FEET IN HEIGHT WITHIN 50 FEET OF ANT STREET FRONTAGE, EXCEPT FOR PARKING ATTENDANT BOOTHS OR BANK TELLER FACILITIES.
    - MAXIMUM HEIGHT OF STRUCTURES: SEE THE "DOWNTOWN HEIGHT OVERLAY MAP."
- NOTE: ADDITIONAL INFORMATION MAY BE OBTAINED FROM THE CITY OF PORTLAND'S CODE OF ORDINANCES, SEC. 14-220.
- UTILITIES SHOWN ARE FROM FIELD LOCATIONS, AND PLAN REFERENCES AS NOTED. THE CITY OF PORTLAND, VERIZON, AND CMP HAVE BEEN CONTACTED IN AN ATTEMPT TO OBTAIN ADDITIONAL INFORMATION CONCERNING THE LOCATION OF SEWER, TELEPHONE, AND ELECTRIC LINES. THEY HAVE NOT PROVIDED ANY AS OF THE DATE OF THIS PLAN.

**PLAN REFERENCES:**

- "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR YOUNG WOMAN'S CHRISTIAN ASSOCIATION" DATED FEBRUARY 16, 1959 BY H.I. & E.C. JORDAN.
- "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR PORTLAND SOCIETY OF ART" DATED MAY 30, 1984 BY H.I. & E.C. JORDAN.
- "RIGHT OF WAY PLAN OF SPRING-MIDDLE ARTERIAL FOR CITY OF PORTLAND," UN-DATED, BY OWEN HASKELL, INC., JOB NUMBER 7687.
- CITY OF PORTLAND'S ASSESSOR'S MAPS.
- CITY OF PORTLAND'S ZONING MAP.
- CITY OF PORTLAND'S HEIGHT OVERLAY DISTRICT MAP.
- NORTHERN UTILITIES SERVICE RECORD DATED SEPTEMBER 3, 1927 AND SHEET NO. 39 DATED FEBRUARY 5, 2004. (GAS)
- PORTLAND WATER DISTRICT MAP OF 87 SPRING STREET DATED NOVEMBER 28, 2006. (WATER)

**SCHEDULE B SECTION 2 EXCEPTIONS**

- LOAN POLICY  
FIRST AMERICAN TITLE INSURANCE COMPANY  
SCHEDULE B - PART I  
POLICY NO. 100171990 MEL  
EXCEPTIONS FROM COVERAGE
- RIGHTS OF TENANTS OR LESSEES. NON-SURVEY ITEM
  - MECHANICS' OR MATERIALMEN'S LIENS. NON-SURVEY ITEM
  - DISCREPANCIES, CONFLICTS OR ENCROACHMENTS, AS SHOWN ON PLAN
  - MORTGAGE. NON-SURVEY ITEM
  - TAX OR ASSESSMENT LIENS. NON-SURVEY ITEM
  - TITLE AND RIGHTS OF OTHERS TO PORTIONS OF PREMISES WITHIN BOUNDS OF ADJACENT STREETS, ROADS AND WAYS. NON-SURVEY ITEM
  - TERMS OF RECORDED INDENTURES. AS SHOWN ON PLAN
  - EASEMENT DEED. AS SHOWN ON PLAN
  - DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS. NON-SURVEY ITEM

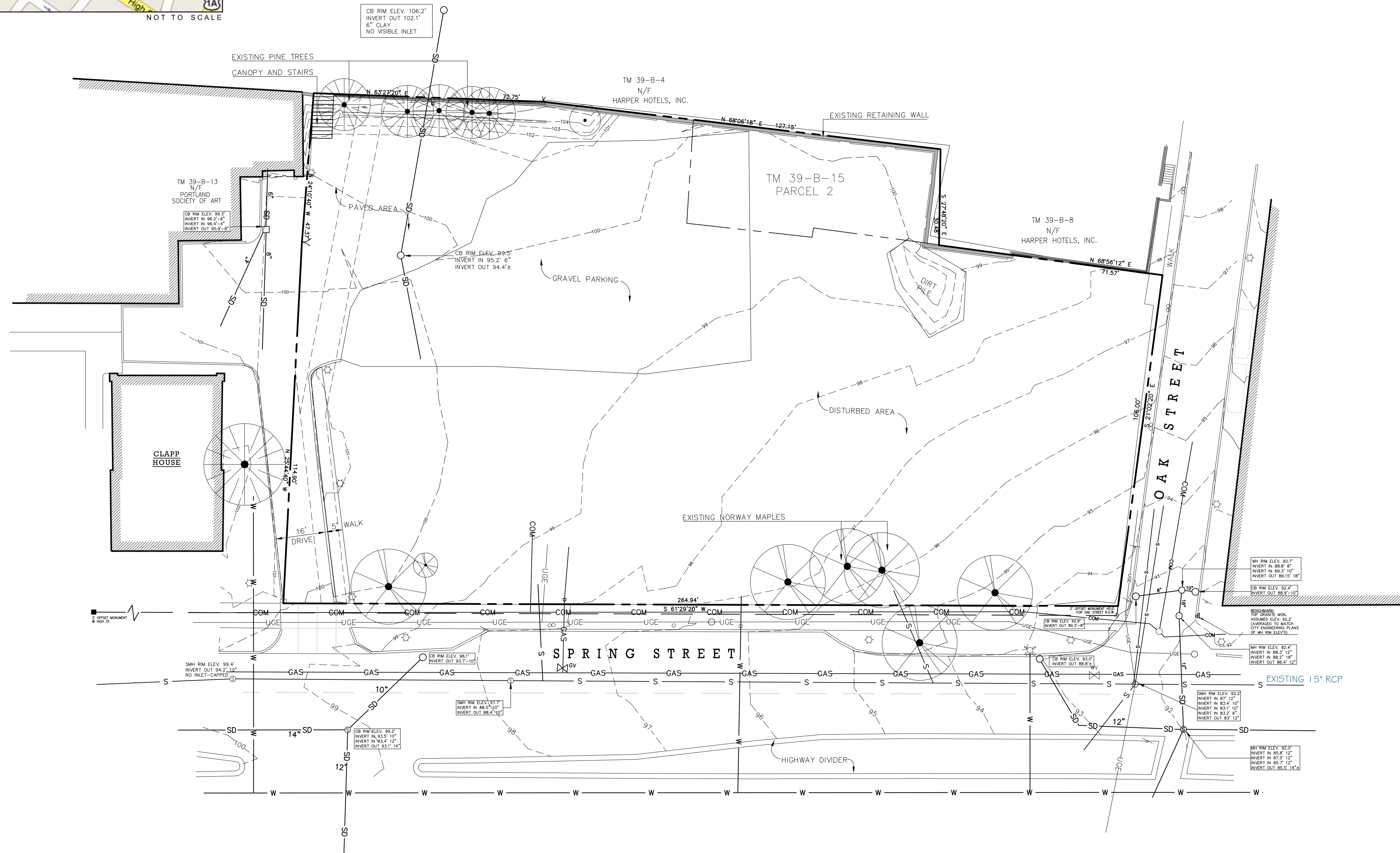
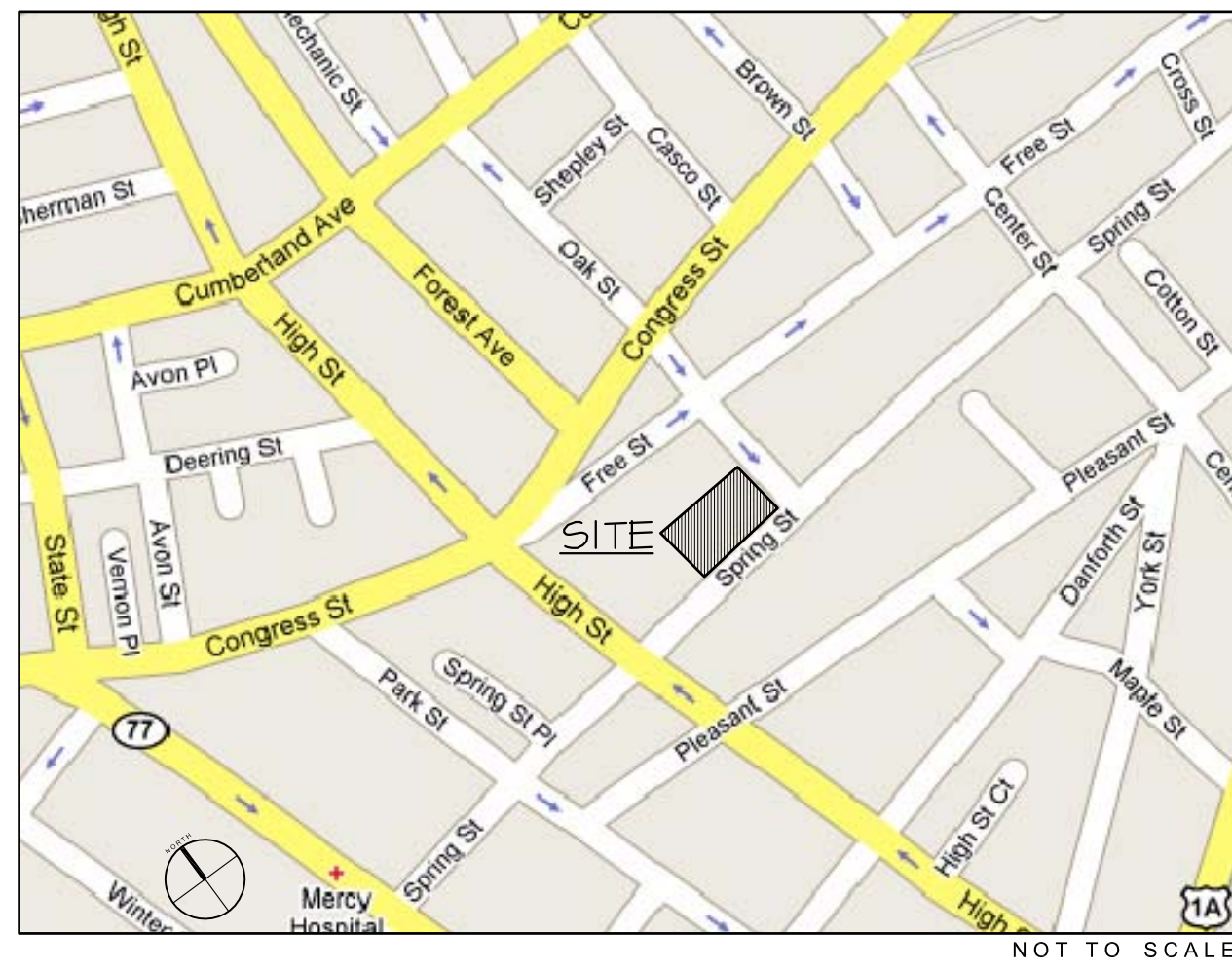
NOTE: THE FOLLOWING EXCEPTION FROM COVERAGE WAS REMOVED FROM THE LOAN POLICY: EXCEPTION (2).

**ALTA/ACSM LAND TITLE SURVEY**  
AT  
87 SPRING STREET, PORTLAND, MAINE  
MADE FOR  
**MAINE STATE HOUSING AUTHORITY**  
353 WATER STREET, AUGUSTA, MAINE

**OWEN HASKELL, INC.**  
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424  
PROFESSIONAL LAND SURVEYORS

Drawn By: JMW	Date: DEC. 1, 2006	Job No.: 2006-248P
Trace By: JLW	Scale: 1" = 20'	Drwg. No.: B-1
Check By: JMW		
Book No.: 1044		

LOCATION MAP



PLAN REFERENCES:

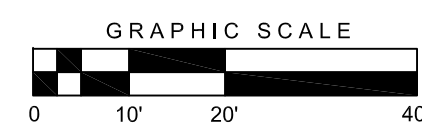
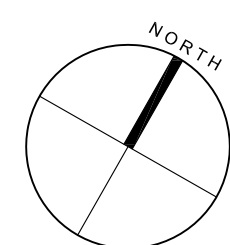
- BOUNDARY DATA AND INFORMATION TAKEN FROM PLAN TITLED "ALTA/ACSM LAND SURVEY FOR 87 SPRING STREET, PORTLAND, MAINE", MADE FOR MAINE STATE HOUSING AUTHORITY, PREPARED BY OWEN HASKELL, INC., DATED DECEMBER 1, 2006.
- TOPOGRAPHIC AND EXISTING CONDITION DATA AND INFORMATION TAKEN FROM PLAN TITLED "TOPOGRAPHIC SURVEY OF CORNER OF SPRING STREET AND OAK STREET, PORTLAND, MAINE", PREPARED BY GILMAN SURVEYING AND MAPPING, CHINA VILLAGE, MAINE, DATED MARCH 3, 2008.
- COVER SHEET LOCATION MAP IS FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT.
- IDENTIFIED UTILITIES REFERENCE PLAN TITLED "CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS, SPRING-MIDDLE ARTERIAL, CONTRACT NO.2, GENERAL PLAN STA. 1B+46 TO STA. 24+61", DATED APRIL, 1971, BY FAY, SPOFFORD AND THORNDIKE, INC., ENGINEERS, BOSTON, MASS.

GENERAL NOTES:

- BENCHMARK: GRANITE MONUMENT AT EASTERN CORNER OF SPRING STREET AND OAK STREET. ASSUMED ELEVATION 92.20 (AVERAGED TO MATCH CITY ENGINEERING MANHOLE RIM ELEVATIONS)
- IDENTIFIED UTILITIES ARE APPROXIMATE LOCATIONS BASED UPON CITY OF PORTLAND ENGINEERING DEPARTMENT (SEE NOTE #4 UNDER PLAN REFERENCES.) CONTRACTOR SHALL VERIFY TYPE, SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
- ELEVATIONS AND BENCHMARK USE VERTICAL DATUM OF 1929 PER CITY OF PORTLAND STANDARDS.
- REFERENCED GILMAN SURVEYING AND MAPPING SURVEY USES MAINE STATE PLANE COORDINATE SYSTEM (2-ZONE PROJECTION), WEST ZONE USING THE NAD 1983 (HARN) DATUM.
- SURVEY DATA USES THE U.S. SURVEY FOOT AS THE UNIT OF MEASURE.

LEGEND

EXISTING	
PROPERTY LINE	
MONUMENT FOUND	
NOW OR FORMERLY	
UTILITY POLE	
SIGN	
TELEPHONE MANHOLE	
SEWER MANHOLE	
DRAIN MANHOLE	
CURB	
WATER VALVE	
CONTOUR	
SEWER LINE	
STORM DRAIN LINE	
WATER LINE	
GAS LINE	
COMMUNICATIONS LINE	
UNDERGROUND ELEC.	



  
**MOHR & SEREDIN**  
 Landscape Architects, Inc.  
 18 Pleasant Street, Portland, Maine 04101  
 ph: 1.207.871.0003  
 fax: 1.207.871.1419

# PMA Spring Street Parking and Garden

87 SPRING STREET

PORTLAND, MAINE 04101


**Portland Museum of Art**  
 PORTLAND, MAINE

No.	Date	Revision
1	7 May 2008	Per City Staff Review
2	14 May 2008	Per City Staff Review

Title:	
Existing Conditions Plan	
Job No.: 688	Dwg. No.
Date: 28 March 2008	L1.0
Scale: 1"=20'	
Drawn: MK	
Checked: SM	

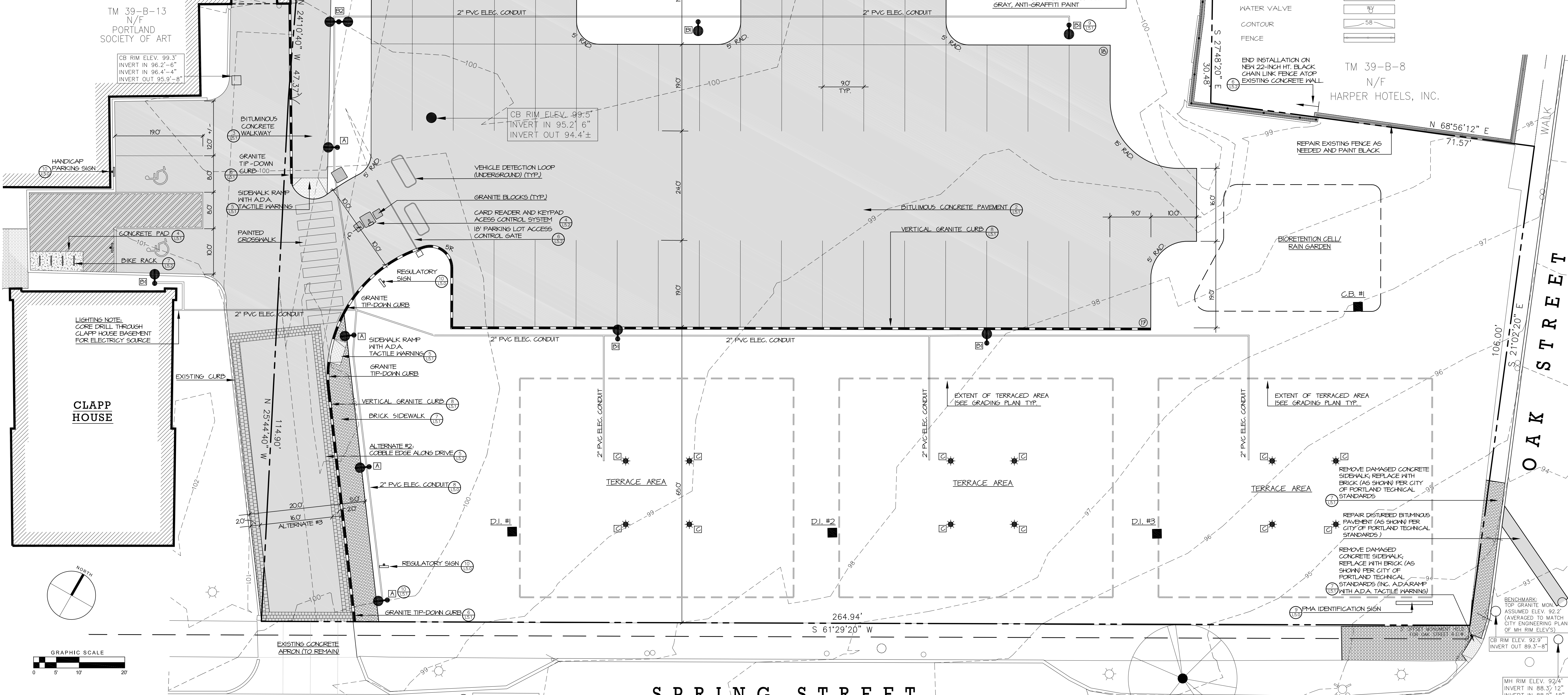
**LIGHTING SCHEDULE:**

SYMBOL	QTY	SIZE/HT.	LIGHT TYPE	NOTE
⊙	4	10'	100W METAL HALIDE	PULSE START MH
⊙	5	15'	100W METAL HALIDE	PULSE START MH
⊙	1	15'	100W METAL HALIDE	PULSE START MH
⊙	12	8'	50W MR-16	DOWN LIGHT WITH TREE STRAP

TM 39-B-4  
N/F  
HARPER HOTELS, INC.

**LEGEND**

EXISTING	PROPOSED
PROPERTY LINE	EDGE OF PAVEMENT
MONUMENT FOUND	PAVEMENT
NOW OR FORERLY	LIGHT POLE
UTILITY POLE	GRANITE BENCH
SIGN	TERRACE EDGE
TELEPHONE MANHOLE	CATCH BASIN
SEWER MANHOLE	CONCRETE PAD
DRAIN MANHOLE	FENCE
CURB	
WATER VALVE	
CONTOUR	
FENCE	



- LAYOUT AND MATERIALS NOTES:**
- REFER TO SHEET L1.0 ABOVE FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.
  - ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - DO NOT SCALE THE DRAWINGS FOR REQUIRED DIMENSIONS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
  - ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDED.
  - PLANT TREE PROTECTION PRIOR TO COMMENCING ANY RELATED CONSTRUCTION ACTIVITIES.
  - LIMITS OF TREE CLEARING TO BE FLAGGED AND REVIEWED BY OWNER AND OWNER'S REPRESENTATIVE PRIOR TO ANY CUTTING ACTIVITIES. ANY TREES THAT ARE CUT OR DAMAGED OUTSIDE OF CLEARING LIMITS SHALL BE REPLACED BY CONTRACTOR AT CONTRACTOR'S COST. (REFER TO SPECIFICATIONS)
  - CENTERLINES OF DRIVEWAY AND WALKWAY, PROPOSED PARKING LOTS AND PROPOSED UTILITY LINES SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.



**MOHR & SPREDIN**  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
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87 SPRING STREET PORTLAND, MAINE 04101

**Portland Museum of Art**  
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No.	Date	Revision
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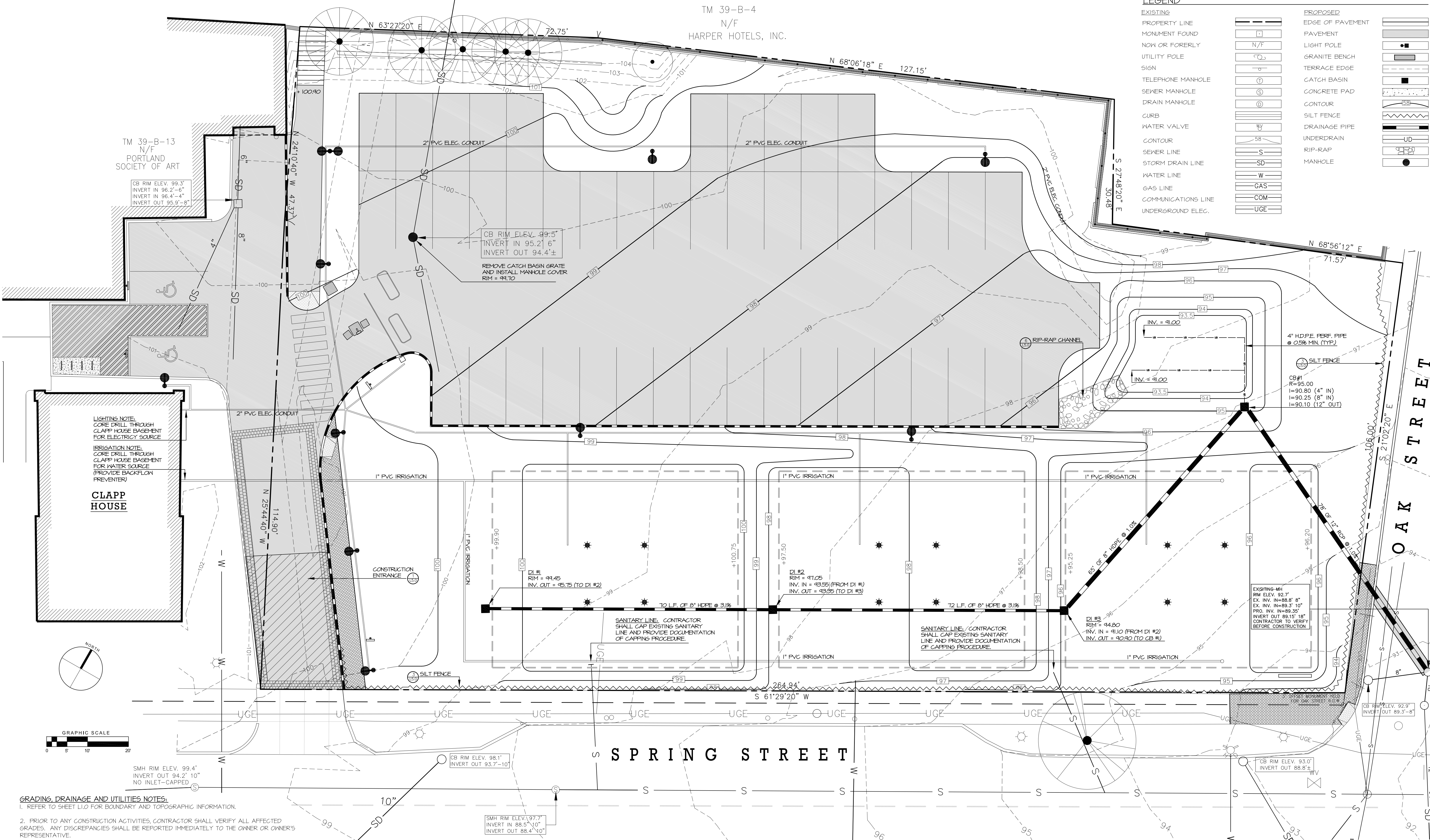
Title: **Layout, Materials and Lighting Plan**

Job No.: 688      Dwg. No.: **L2.0**

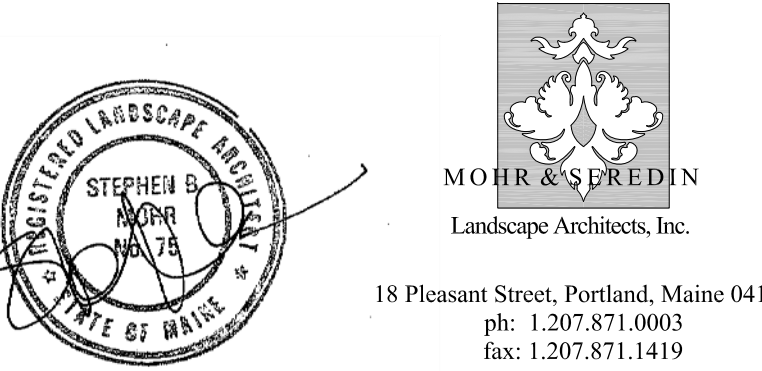
Date: 28 March 2008  
Scale: 1"=10'  
Drawn: MK  
Checked: SM

TM 39-B-4  
N/F  
HARPER HOTELS, INC.

EXISTING		PROPOSED	
PROPERTY LINE		EDGE OF PAVEMENT	
MONUMENT FOUND		PAVEMENT	
NOW OR FORMERLY		LIGHT POLE	
UTILITY POLE		GRANITE BENCH	
SIGN		TERRACE EDGE	
TELEPHONE MANHOLE		CATCH BASIN	
SEWER MANHOLE		CONCRETE PAD	
DRAIN MANHOLE		CONTOUR	
CURB		SILT FENCE	
WATER VALVE		DRAINAGE PIPE	
CONTOUR		UNDERDRAIN	
SEWER LINE		RIP-RAP	
STORM DRAIN LINE		MANHOLE	
WATER LINE			
GAS LINE			
COMMUNICATIONS LINE			
UNDERGROUND ELEC.			



- GRADING, DRAINAGE AND UTILITIES NOTES:**
- REFER TO SHEET L10 FOR BOUNDARY AND TOPOGRAPHIC INFORMATION.
  - PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
  - GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
  - DRAINAGE ARE AT TERMINUS OF CURBING SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
  - OWNER AND LANDSCAPE ARCHITECT WILL BE CLOSELY MONITORING FINISH GRADINGS IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
  - ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE MOST RECENT EDITION OF CITY OF PORTLAND'S TECHNICAL GUIDELINES AND STANDARDS.



**PMA Spring Street Parking and Garden**  
 87 SPRING STREET  
 PORTLAND, MAINE 04101

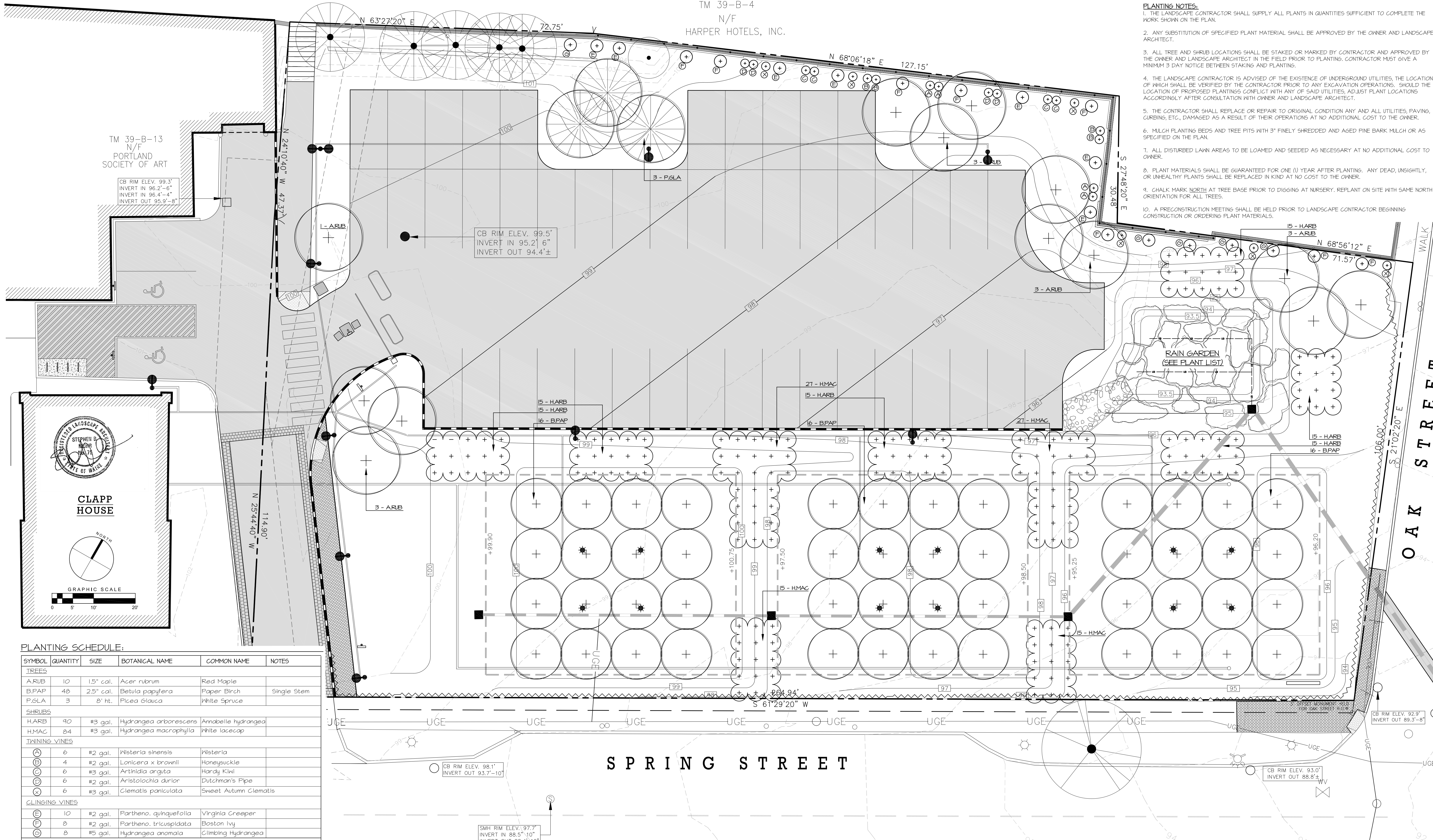
**Portland Museum of Art**  
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Job No.: 688	Dwg. No.
Date: 28 March 2008	
Scale: 1"=10'	<b>L3.0</b>
Drawn: MK	
Checked: SM	

- PLANTING NOTES:**
1. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN.
  2. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
  3. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED OR MARKED BY CONTRACTOR AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING. CONTRACTOR MUST GIVE A MINIMUM 3 DAY NOTICE BETWEEN STAKING AND PLANTING.
  4. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES, THE LOCATION OF WHICH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OPERATIONS. SHOULD THE LOCATION OF PROPOSED PLANTINGS CONFLICT WITH ANY OF SAID UTILITIES, ADJUST PLANT LOCATIONS ACCORDINGLY AFTER CONSULTATION WITH OWNER AND LANDSCAPE ARCHITECT.
  5. THE CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ANY AND ALL UTILITIES, PAVING, CURBING, ETC., DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
  6. MULCH PLANTING BEDS AND TREE PITS WITH 3" FINELY SHREDDED AND AGED PINE BARK MULCH OR AS SPECIFIED ON THE PLAN.
  7. ALL DISTURBED LAWN AREAS TO BE LOAMED AND SEEDING AS NECESSARY AT NO ADDITIONAL COST TO OWNER.
  8. PLANT MATERIALS SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER PLANTING. ANY DEAD, UNSIGHTLY, OR UNHEALTHY PLANTS SHALL BE REPLACED IN KIND AT NO COST TO THE OWNER.
  9. CHALK MARK NORTH AT TREE BASE PRIOR TO DIGGING AT NURSERY. REPLANT ON SITE WITH SAME NORTH ORIENTATION FOR ALL TREES.
  10. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO LANDSCAPE CONTRACTOR BEGINNING CONSTRUCTION OR ORDERING PLANT MATERIALS.



**PLANTING SCHEDULE:**

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
<b>TREES</b>					
ARUB	10	1.5" cal.	<i>Acer rubrum</i>	Red Maple	
B.PAP	48	2.5" cal.	<i>Betula papyfera</i>	Paper Birch	Single Stem
P.GLA	3	8' ht.	<i>Picea Glauca</i>	White Spruce	
<b>SHRUBS</b>					
HARB	90	#3 gal.	<i>Hydrangea arborescens</i>	Annabelle hydrangea	
HMAC	84	#3 gal.	<i>Hydrangea macrophylla</i>	White lacecap	
<b>TWILING VINES</b>					
WIST	6	#2 gal.	<i>Wisteria sinensis</i>	Wisteria	
HON	4	#2 gal.	<i>Lonicera x brownii</i>	Honeysuckle	
ART	6	#3 gal.	<i>Artinidia arguta</i>	Hardy Kiwi	
DUT	6	#2 gal.	<i>Aristolochia durior</i>	Dutchman's Pipe	
SWE	6	#3 gal.	<i>Clematis paniculata</i>	Sweet Autumn Clematis	
<b>CLINGING VINES</b>					
VIR	10	#2 gal.	<i>Partheno. quinquefolia</i>	Virginia Creeper	
BOS	8	#2 gal.	<i>Partheno. tricuspidata</i>	Boston Ivy	
CLH	8	#5 gal.	<i>Hydrangea anomala</i>	Climbing Hydrangea	
<b>WATER GARDEN PLANTINGS</b>					
BUT	8	#1 gal.	<i>Asclepias tuberosa</i>	Butterfly Weed	
FBL	6	#1 gal.	<i>Baptisia australis</i>	False Blue Indigo	
BFI	10	#1 gal.	<i>Iris versicolor</i>	Blue Flag Iris	
PEN	8	#1 gal.	<i>Penstemon digitalis</i>	Smooth Penstemon	
NOD	25	#1 gal.	<i>Allium cernuum</i>	Nodding Onion	
BLI	12	#1 gal.	<i>Liatris spicata</i>	Blazing Star	
FST	8	#1 gal.	<i>Boltonia asteroides</i>	False Starwort	
SBE	8	#1 gal.	<i>Redbeckia submontana</i>	Sweet Black Eyed Susan	
NEA	12	#1 gal.	<i>Aster novae angliae</i>	New England Aster	
<b>SHRUBS:</b>					
OQH	5	#3 gal.	<i>Hydrangea quercifolia</i>	Oak Leaf Hydrangea	
IGL	7	#1 gal.	<i>Ilex glabra</i>	Inkberry	
VDT	7	#1 gal.	<i>Viburnum dentatum</i>	Arrowwood	



**PMA Spring Street Parking and Garden**  
87 SPRING STREET PORTLAND, MAINE 04101

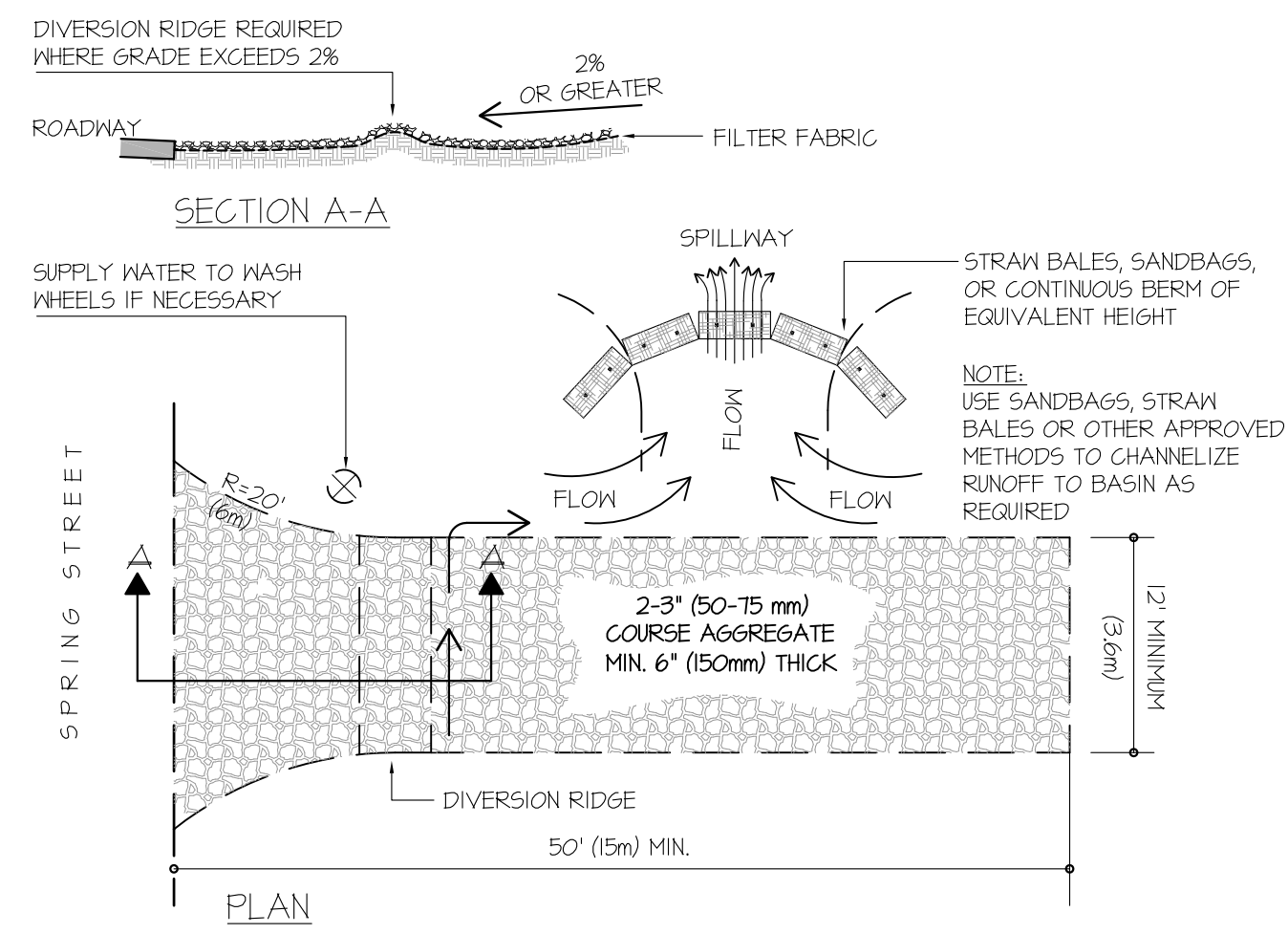
**Portland Museum of Art**  
PORTLAND, MAINE

No.	Date	Revision
1	7 May 2008	Per City Staff Review
2	15 May 2008	Per City Staff Review

Title:  
**Landscape and Planting Plan**

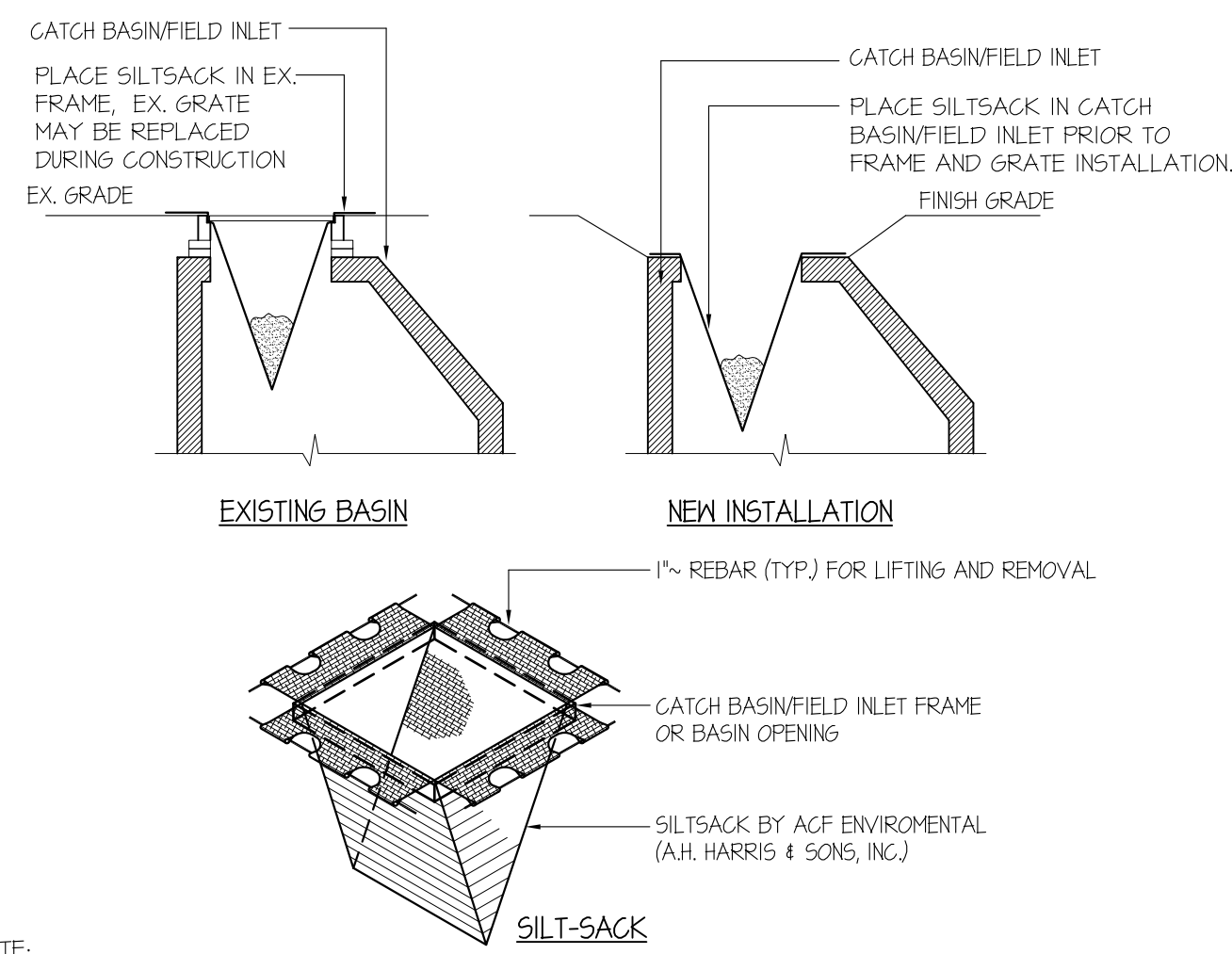
Job No.: 688      Dwg. No.  
Date: 28 March 2008  
Scale: 1"=10'  
Drawn: MK  
Checked: SM

**L4.0**



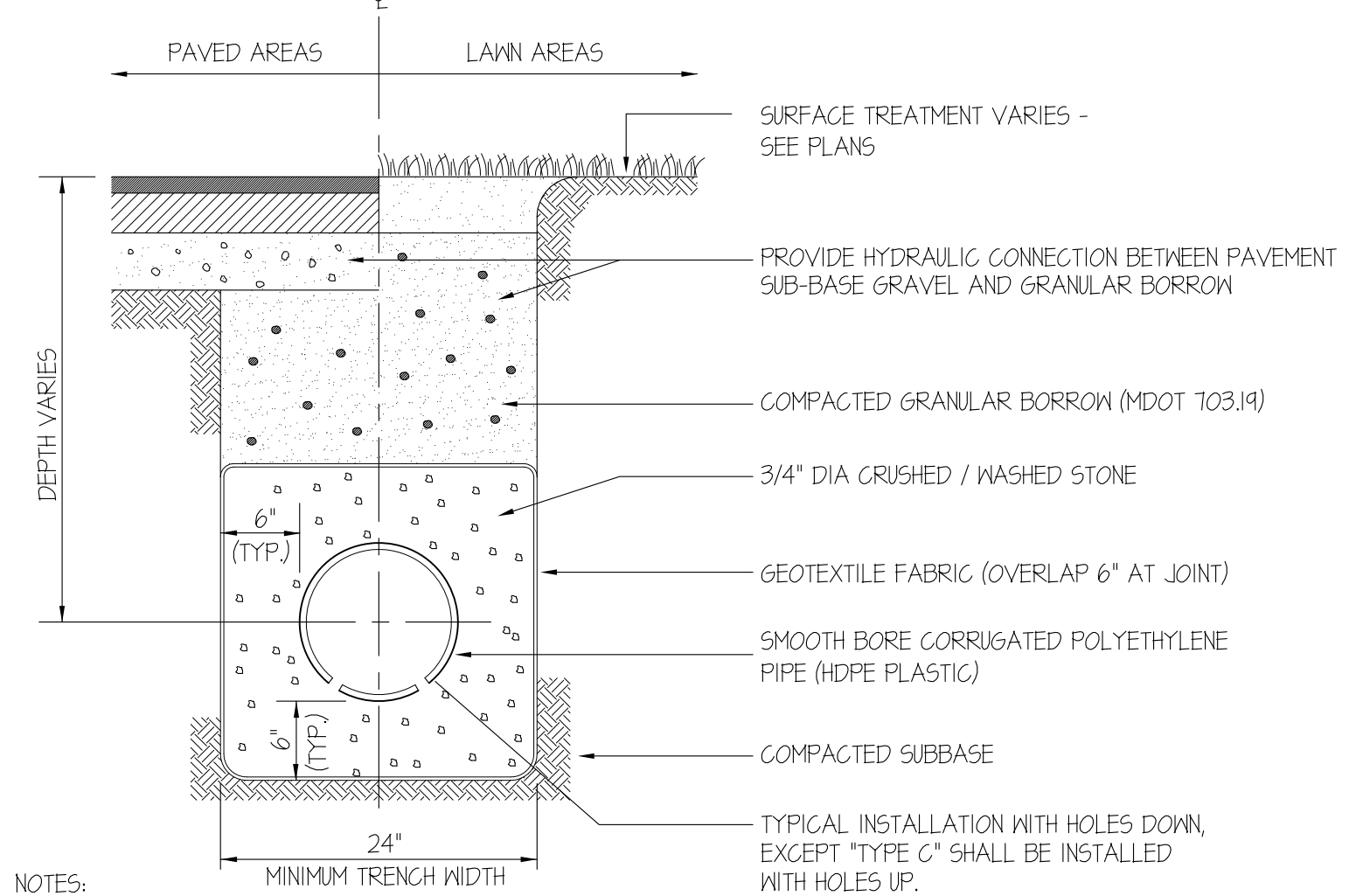
- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**1 CONSTRUCTION ENTRANCE**  
L5.0 NOT TO SCALE



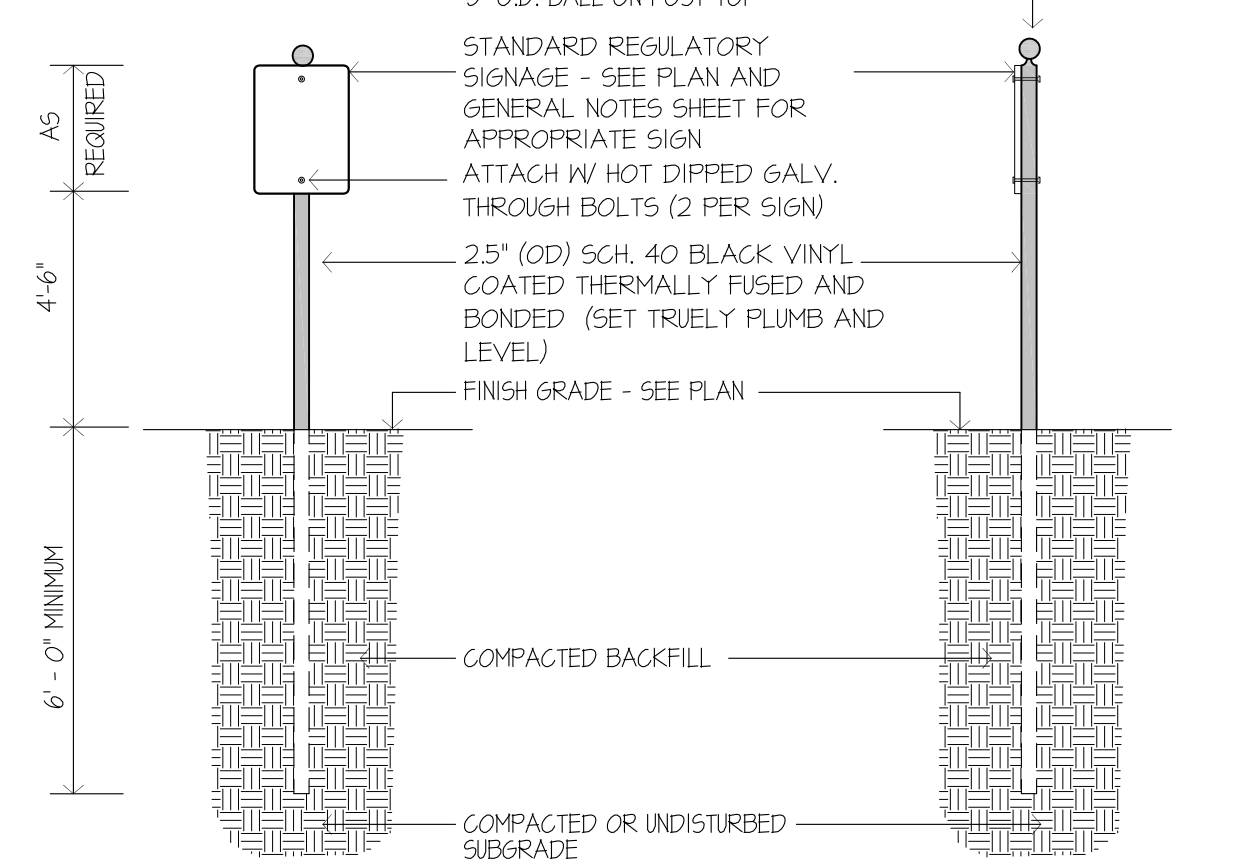
- NOTE:**
- 1) INSTALLATION PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
  - 2) EMPTY AND REMOVE SEDIMENT FROM SILT-SACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE AND REPLACE AS NEEDED.
  - 3) CONTRACTOR SHALL INSPECT CATCH BASIN PROTECTION AFTER EACH MAJOR STORM EVENT AND CLEAN SILT AS NEEDED.

**4 SILT-SACK AT DRAINAGE STRUCTURE INLET**  
L5.0 NOT TO SCALE

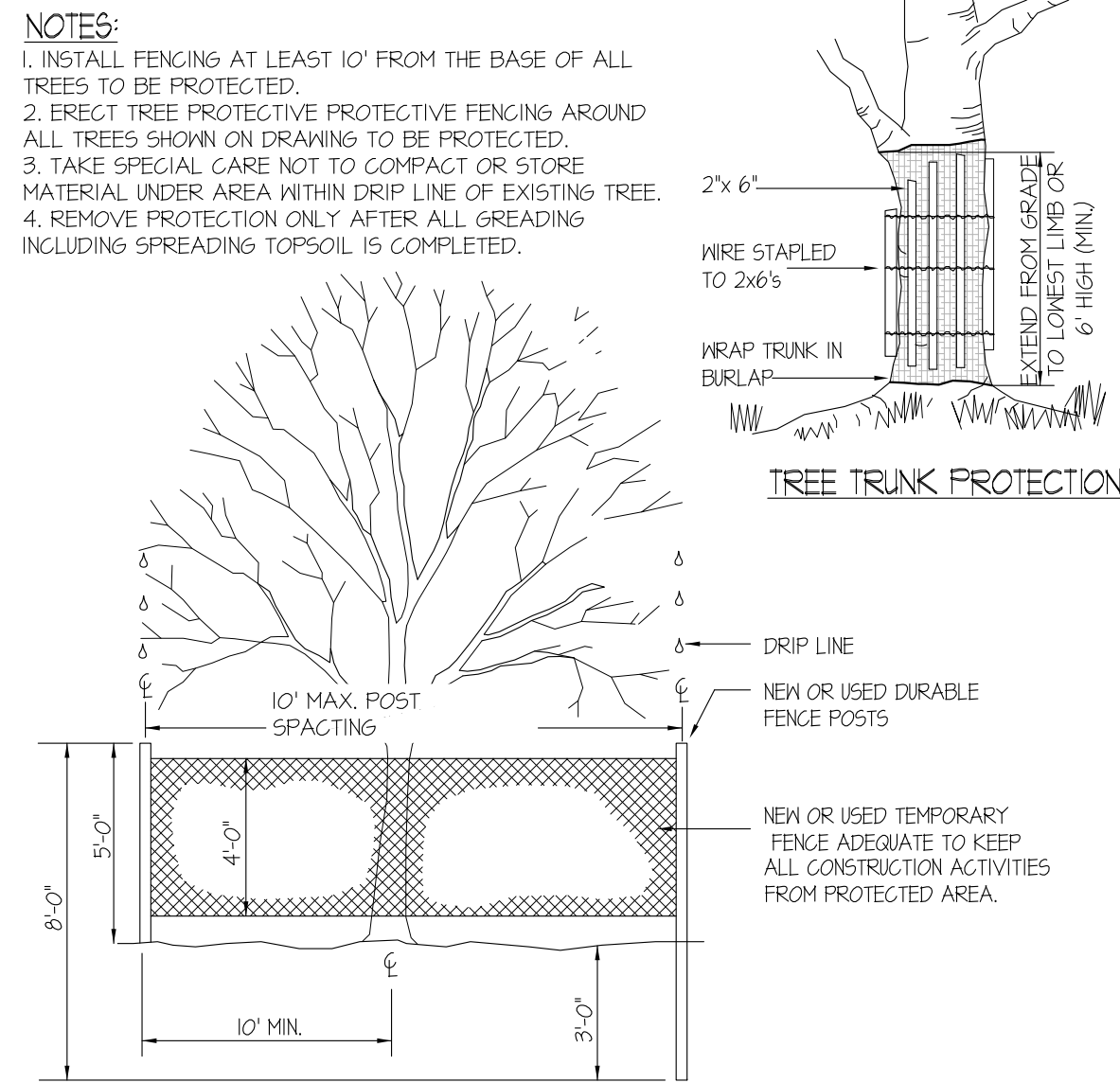


- NOTES:**
1. BACKFILL MATERIAL WITHIN TRENCH BEYOND UNDERDRAIN LATERAL LIMITS SHALL, AS A MINIMUM, CONFORM TO THE REQUIREMENTS OF GRANULAR BORROW.
  2. UNDERDRAIN SHALL CONFORM TO THE REQUIREMENTS OF MDOT 605.04, TYPE "B", EXCEPT AS NOTED.
  3. OUTLETS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM AS SHOWN ON THE PLANS, OR GRADED BY GRAVITY TO A SUITABLE DISCHARGE POINT. FREE DRAINING OUTLET TO BE METAL AS REQUIRED BY MDOT 605.05.

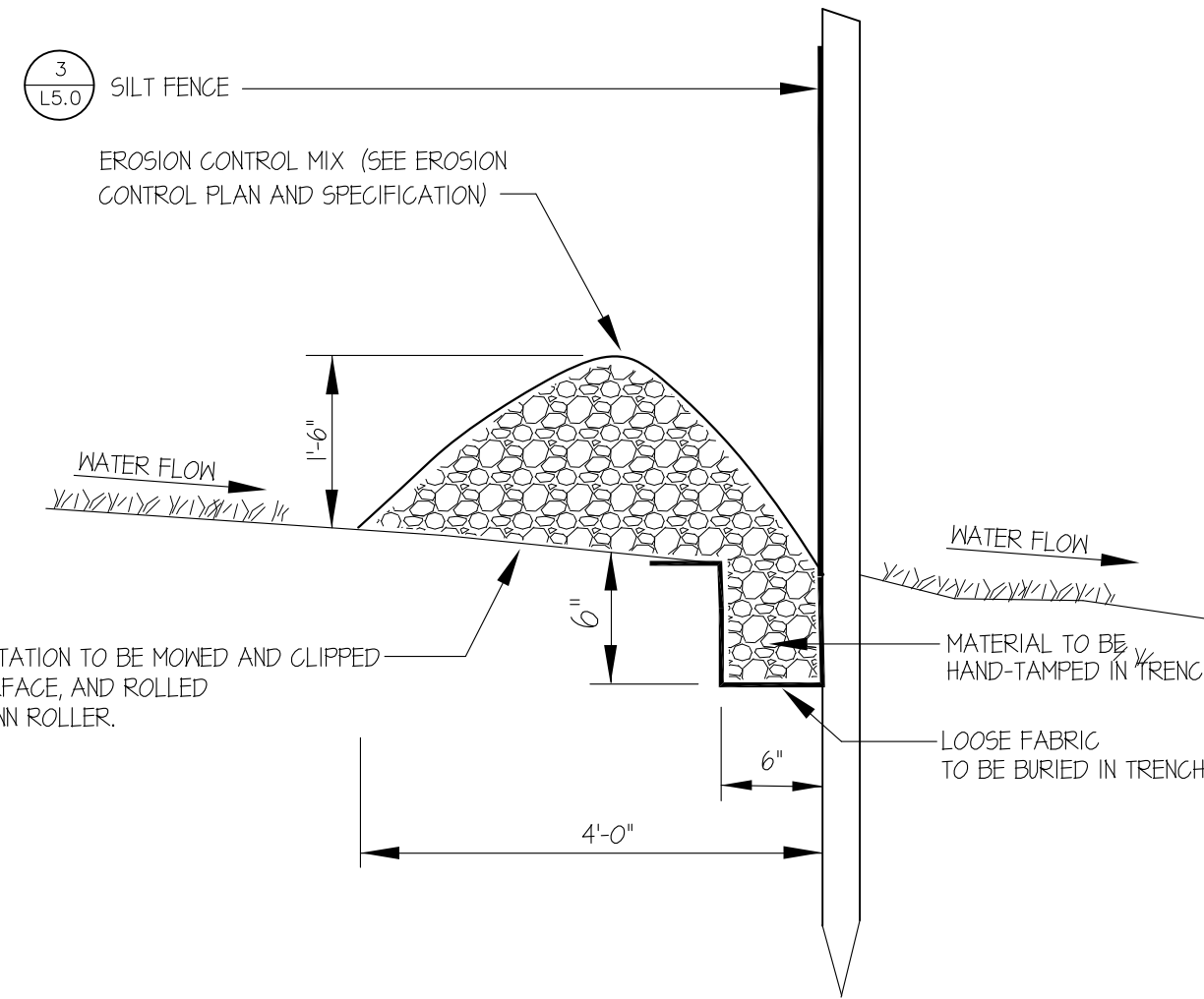
**7 UNDERDRAIN TRENCH DETAIL**  
L5.0 NOT TO SCALE



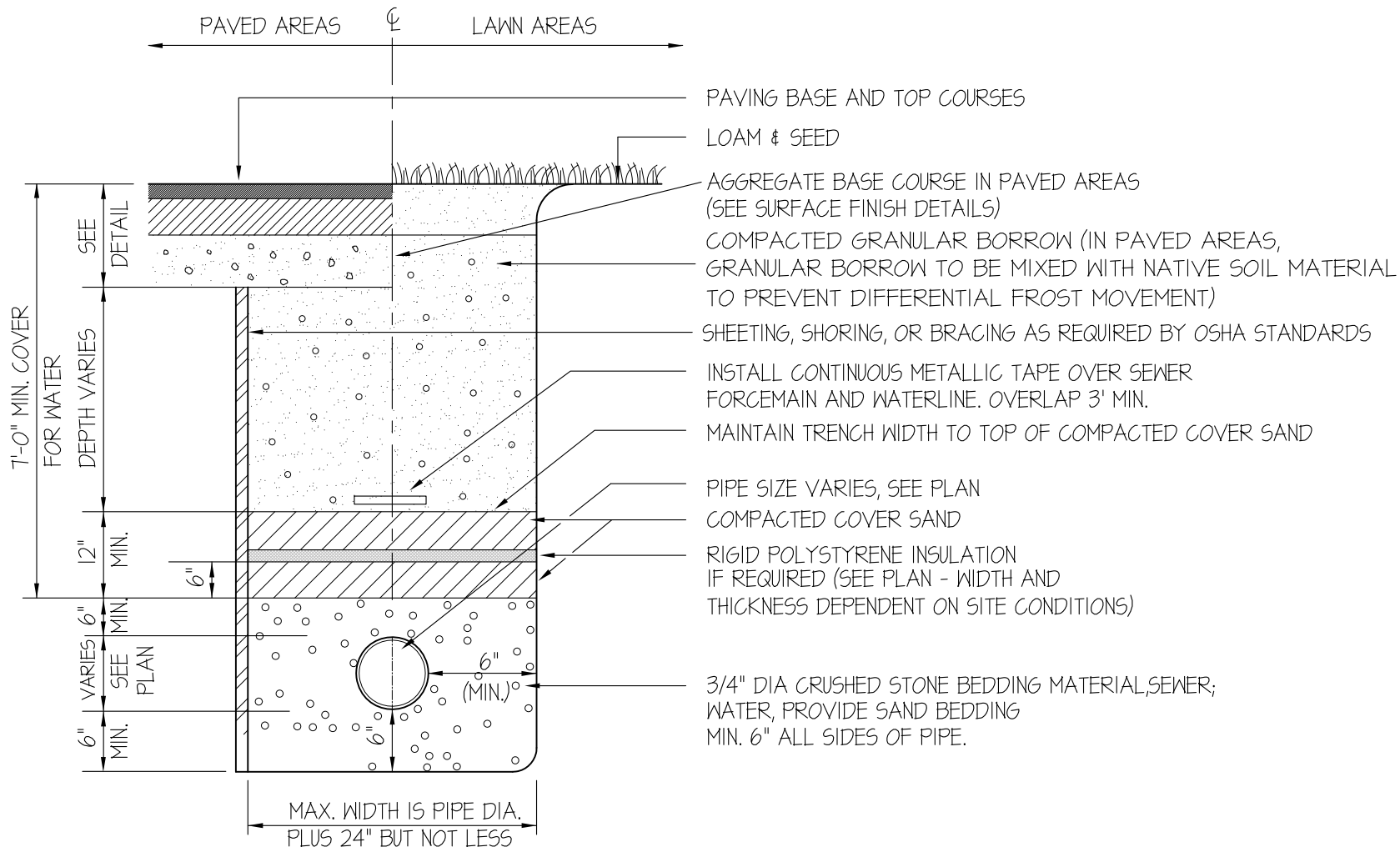
**10 SIGN INSTALLATION DETAIL**  
L5.0 NOT TO SCALE



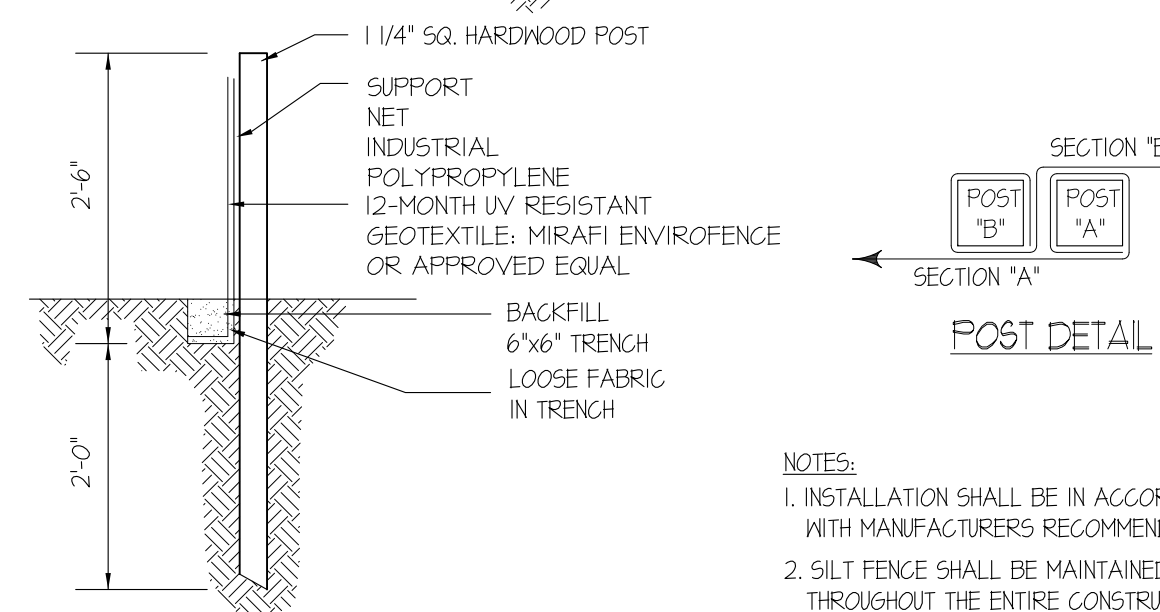
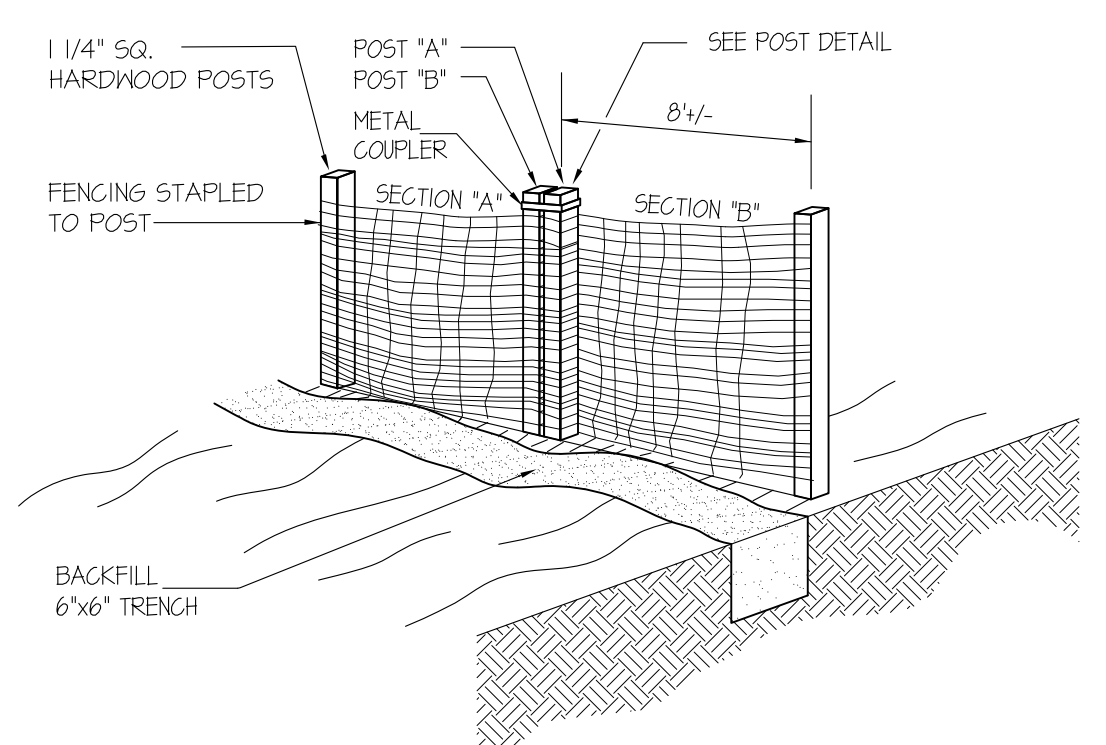
**2 LIMIT OF WORK BARRIER FENCE/ EXISTING TREE PROTECTIVE FENCE**  
L5.0 NOT TO SCALE



**5 EROSION CONTROL MIX SEDIMENT BARRIER**  
L5.0 NOT TO SCALE

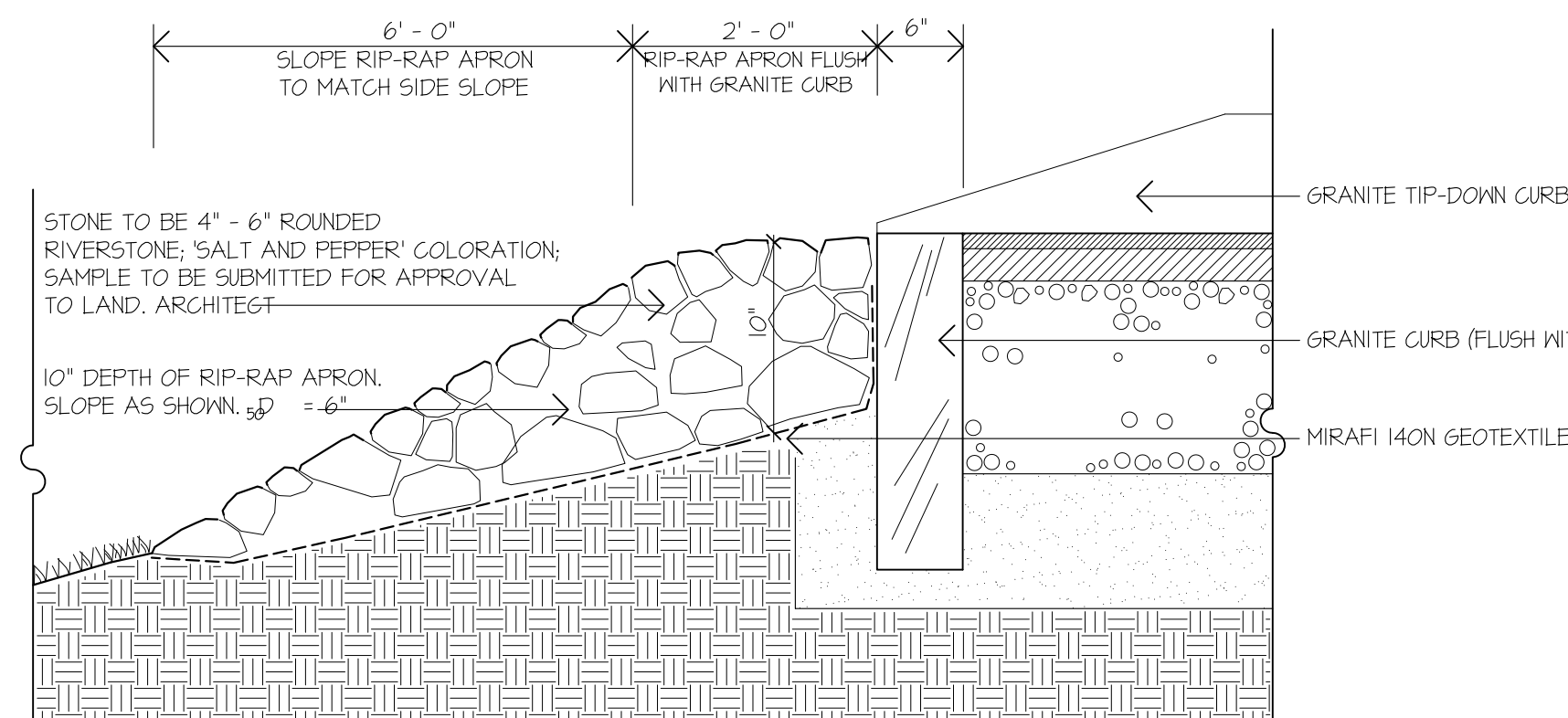


**8 TYPICAL PIPE BEDDING DETAIL**  
L5.0 NOT TO SCALE

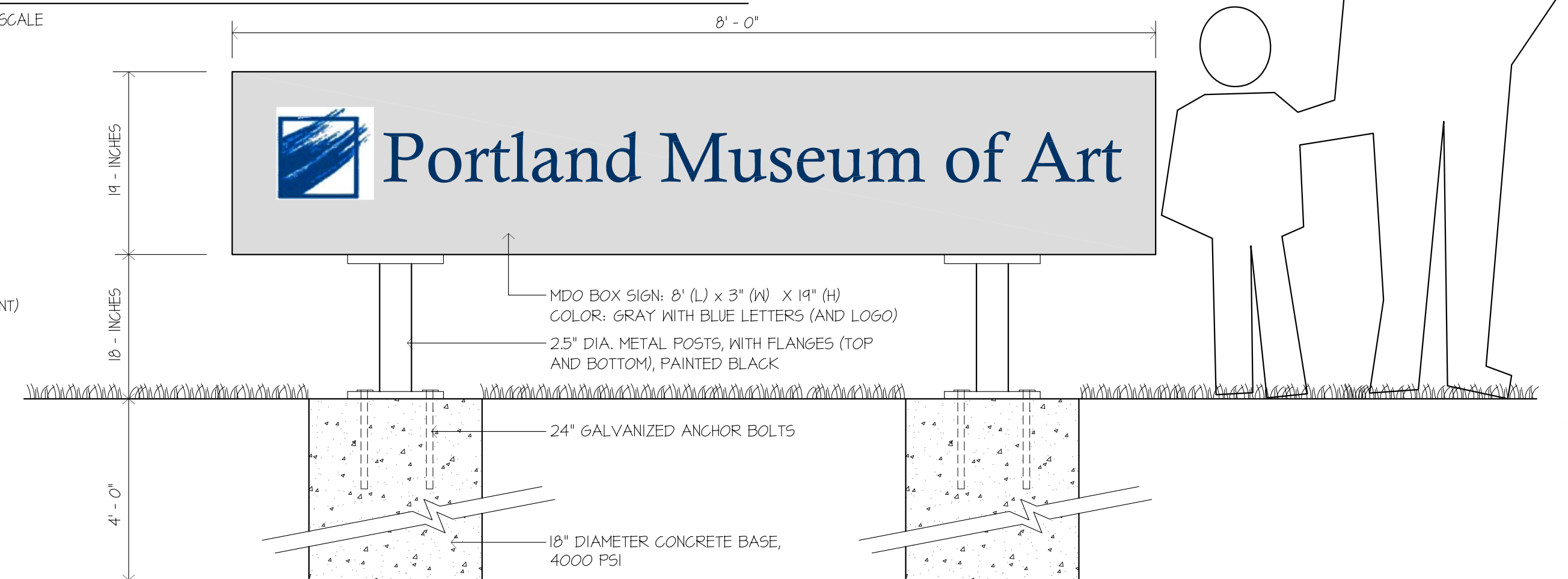


- NOTES:**
1. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
  2. SILT FENCE SHALL BE MAINTAINED CONTINUALLY THROUGHOUT THE ENTIRE CONSTRUCTION CYCLE.

**3 PREFABRICATED SILT FENCE**  
L5.0 NOT TO SCALE



**6 RIP-RAP CHANNEL**  
L5.0 NOT TO SCALE



**9 PMA IDENTIFICATION SIGN**  
L5.0 NOT TO SCALE



# PMA Spring Street Parking and Garden

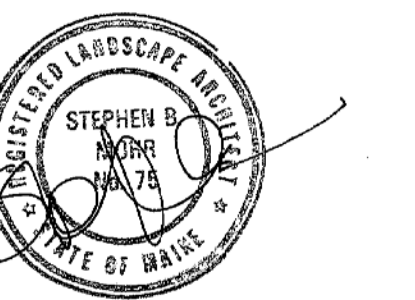
87 SPRING STREET

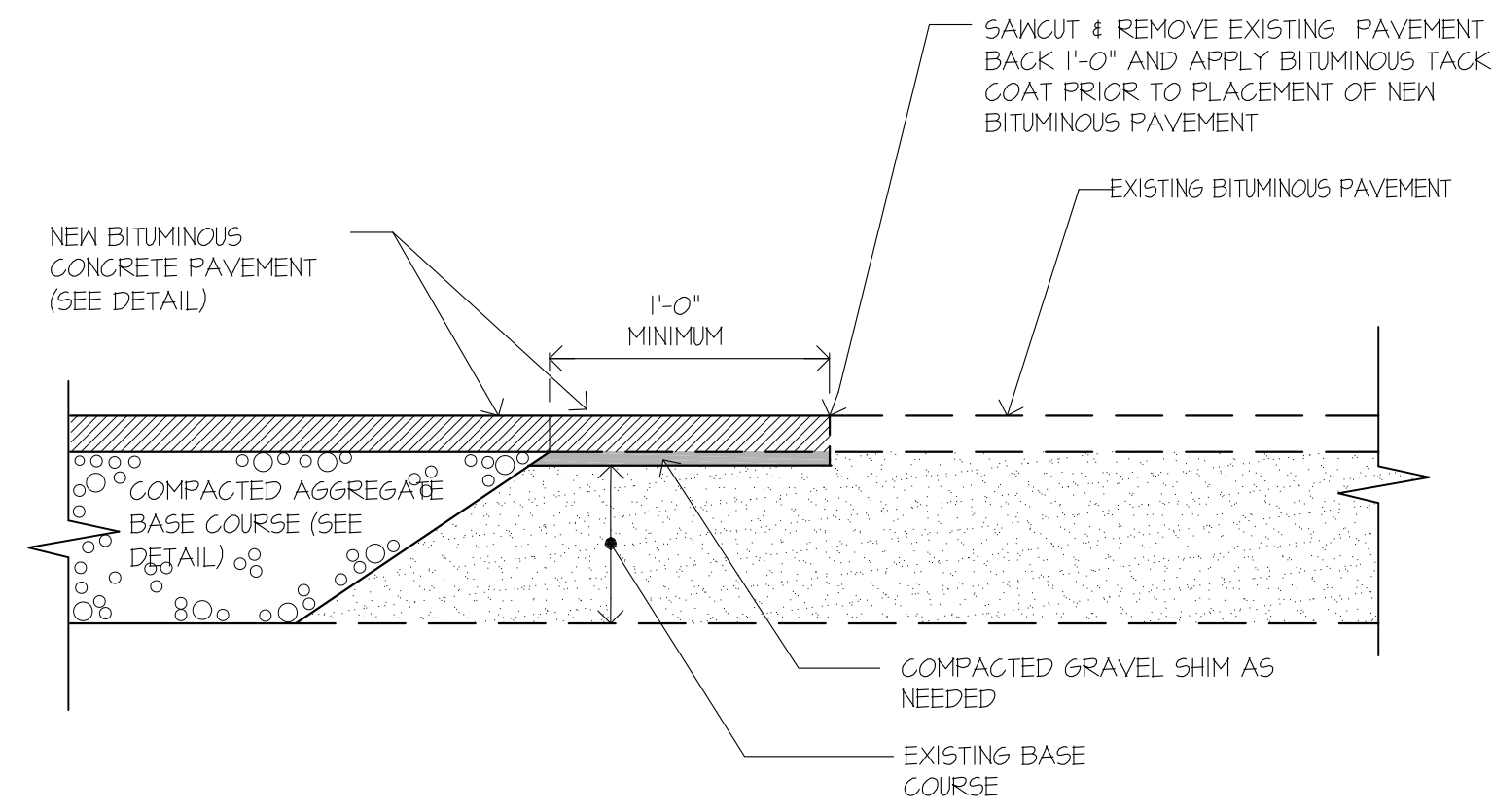
PORTLAND, MAINE 04101



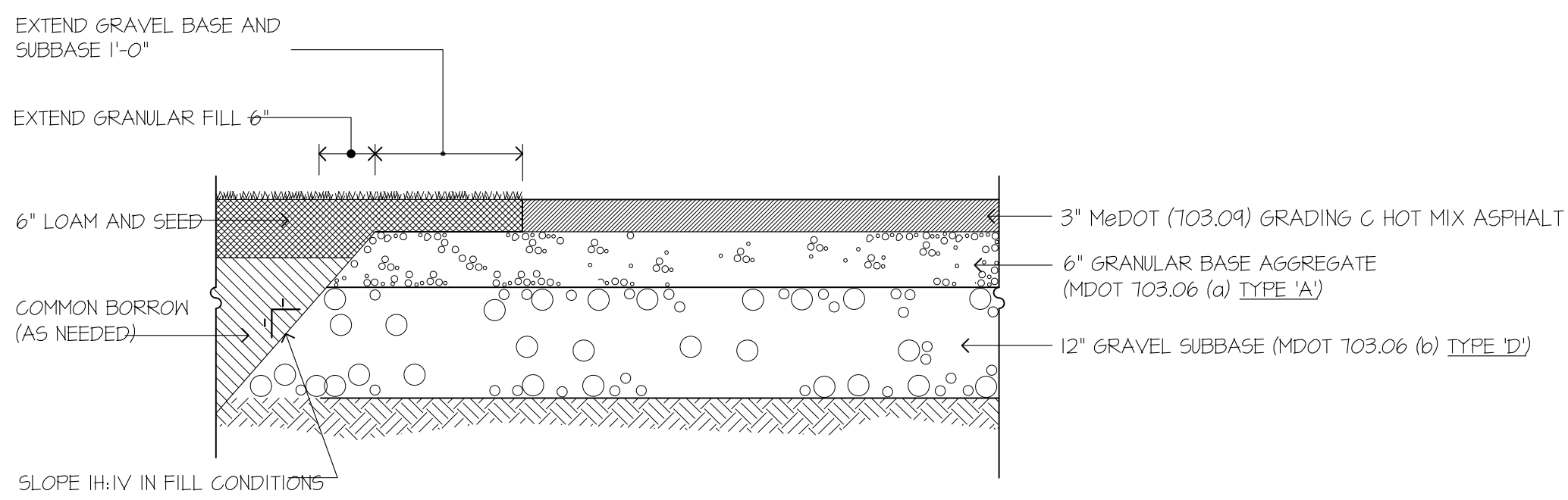
No.	Date	Revision
1	7 May 2008	Per City Staff Review
2	15 May 2008	Per City Staff Review

Title:	
Site Details	
Job No.: 688	Dwg. No.
Date: 28 March 2008	
Scale: AS SHOWN	L5.0
Drawn: MK	
Checked: SM	

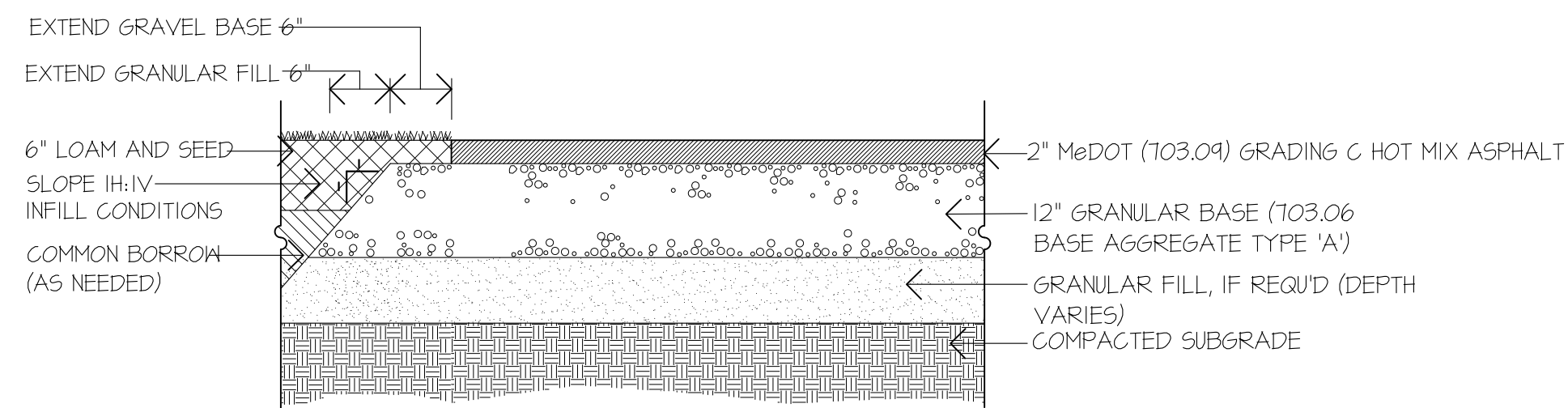




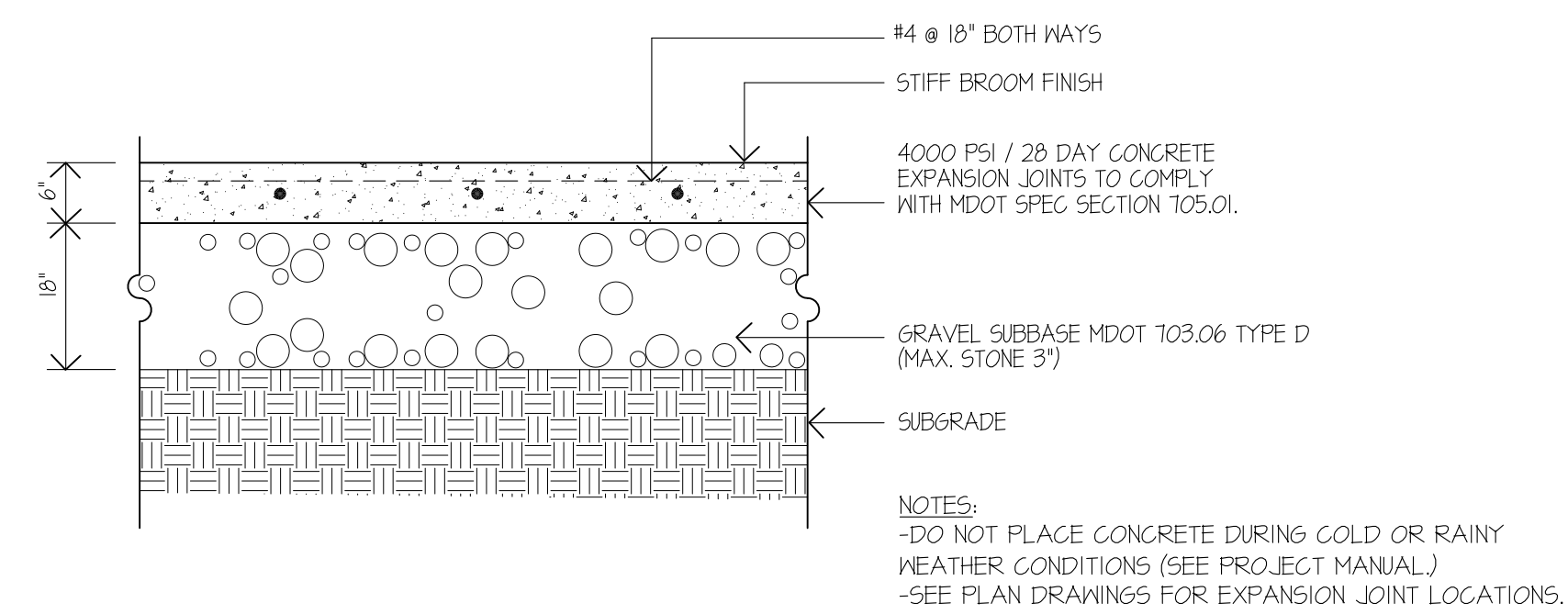
1 PAVEMENT SAW CUT DETAIL  
L5.1 NOT TO SCALE



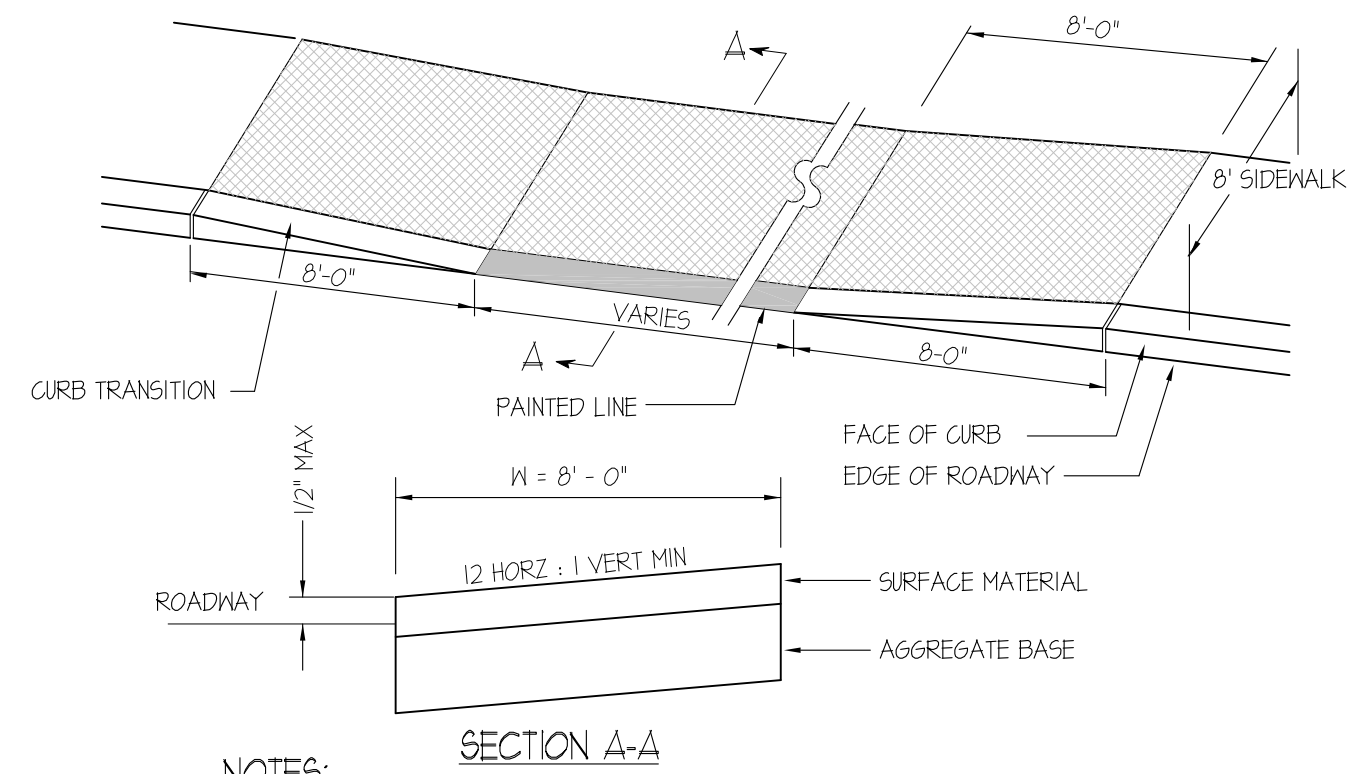
2 PAVEMENT SECTION: DRIVEWAY AND PARKING  
L5.1 NOT TO SCALE



3 PAVEMENT SECTION: WALKWAYS  
L5.1 NOT TO SCALE

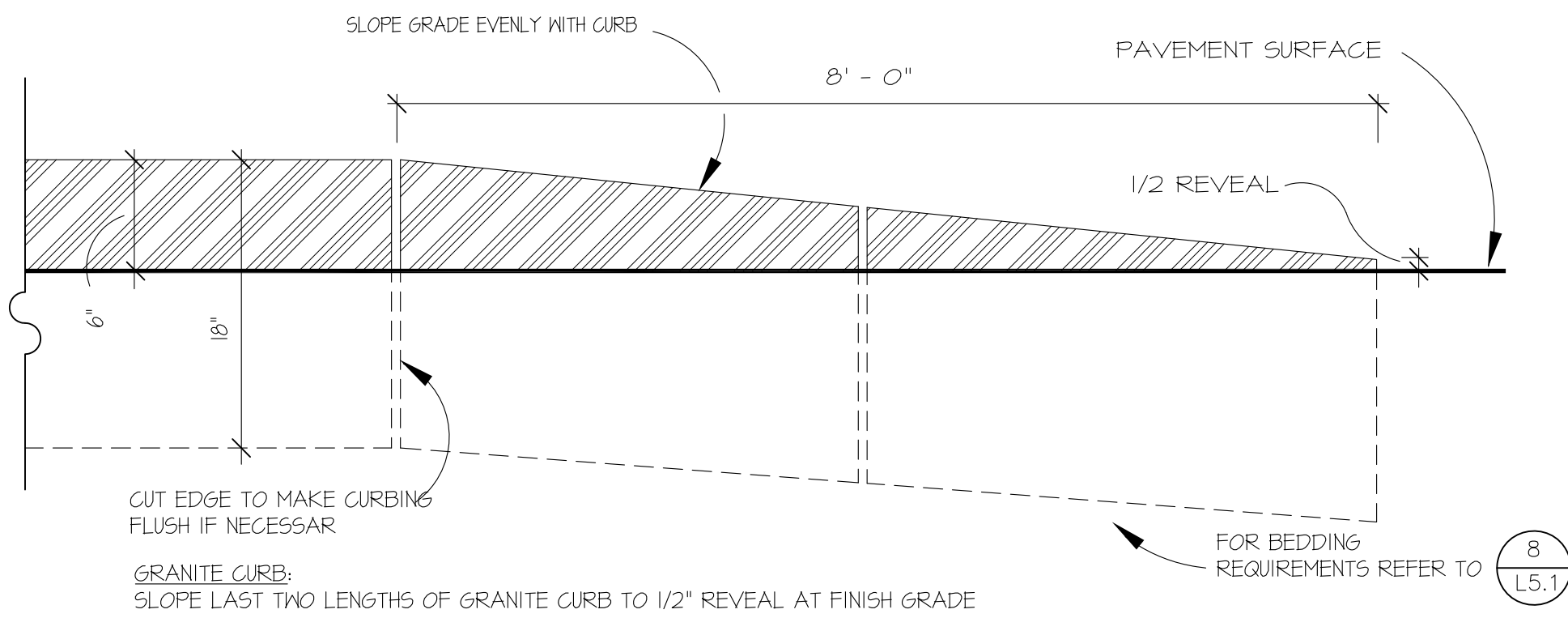


4 CONCRETE PAD  
L5.1 NOT TO SCALE

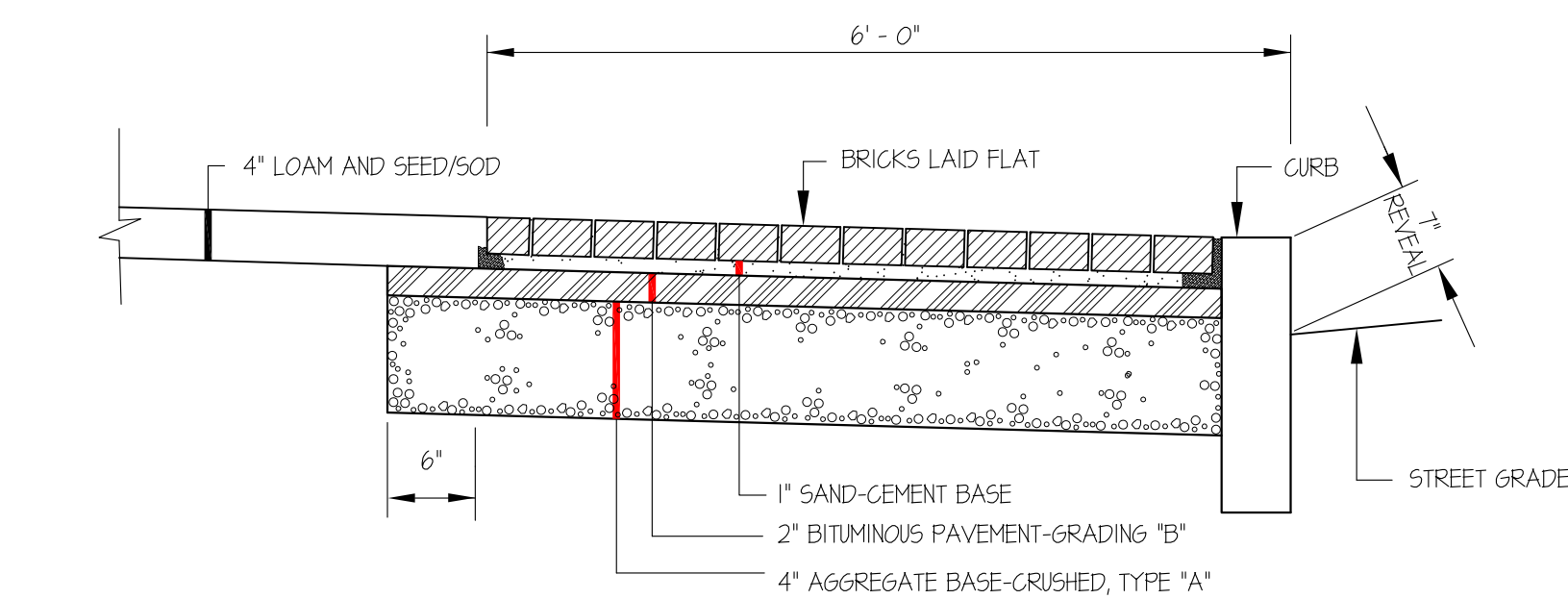


NOTES:  
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.  
2. RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE MATERIAL AND GRAVEL BASE

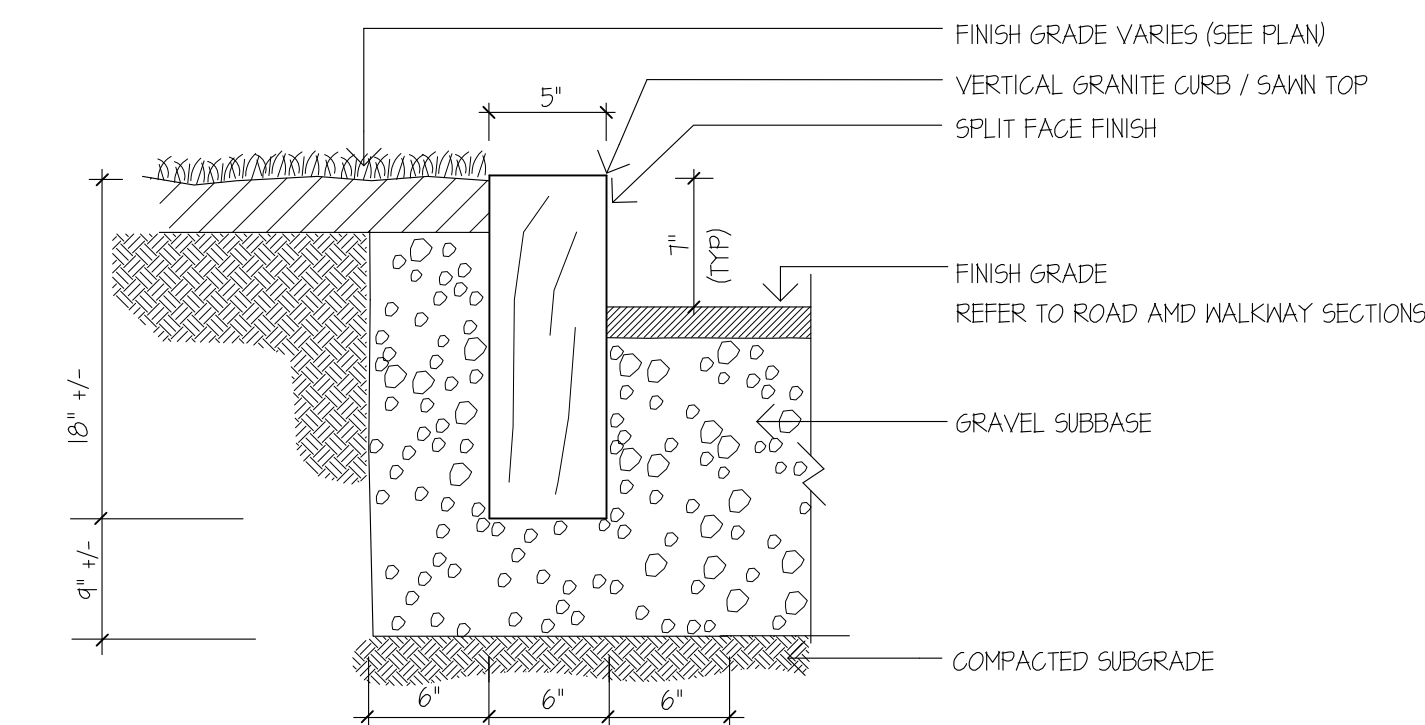
5 ACCESSIBLE RAMP  
L5.1 NOT TO SCALE



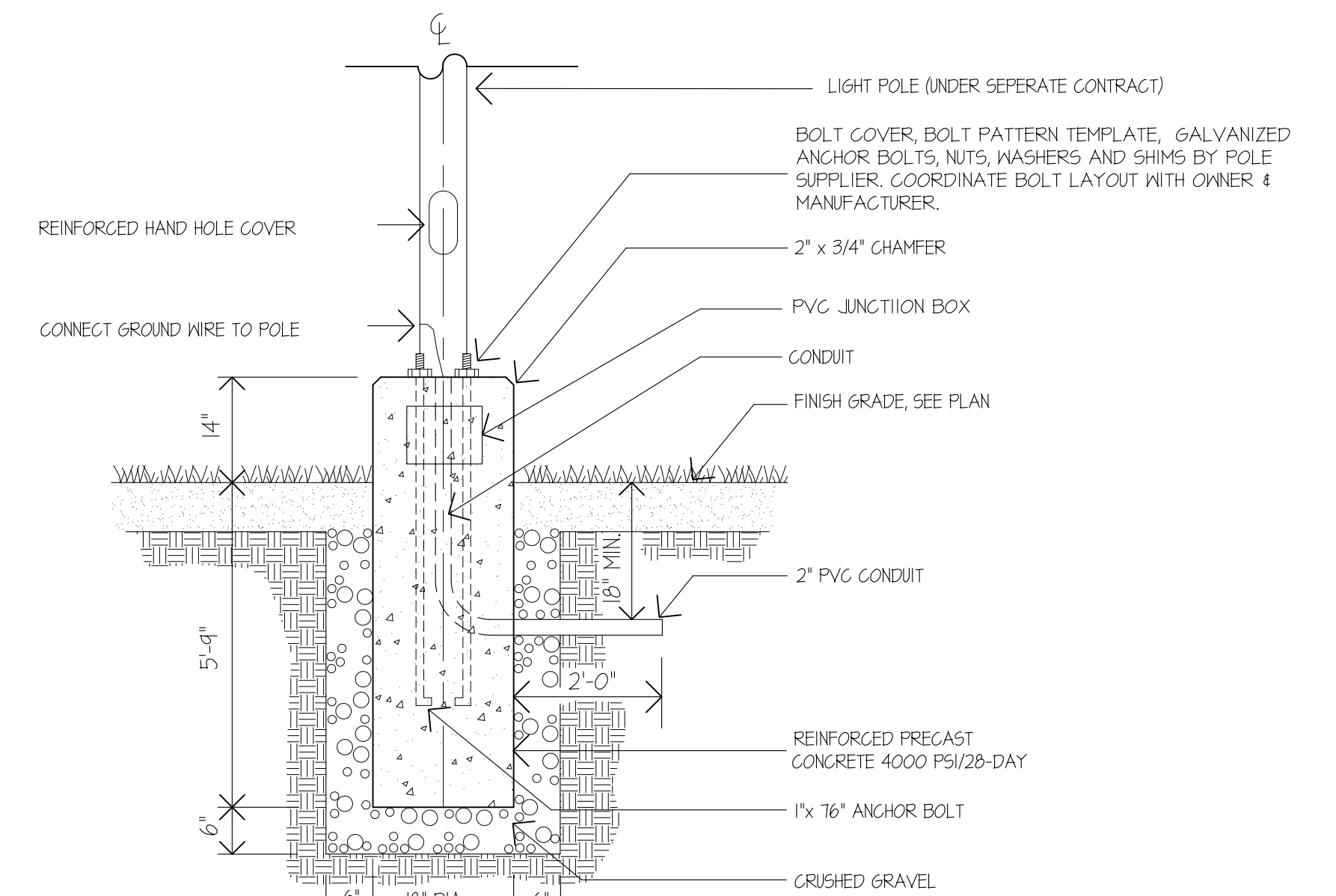
6 VERTICAL TIP-DOWN CURB  
L5.1 NOT TO SCALE



7 CITY OF PORTLAND BRICK SIDEWALK/CURB DETAIL  
L5.1 NOT TO SCALE



8 VERTICAL GRANITE CURB  
L5.1 NOT TO SCALE



NOTES:  
1. SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO ORDERING  
2. COORDINATE WITH ELECTRICAL SPECIFICATIONS/ LIGHT BOLT PATTERN  
3. COLD-GALVANIZE ALL CUTS  
4. LIGHT POLE BASE TO BE MANUFACTURED BY GAGNE PRECAST

9 CONCRETE LIGHT POLE BASE  
L5.1 NOT TO SCALE

10  
L5.1

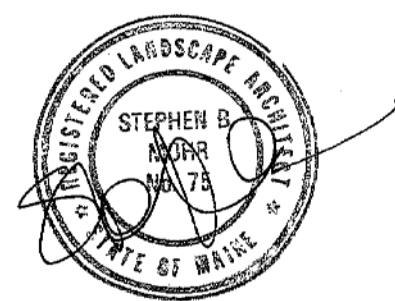
DETAIL NOT USED  
NOT TO SCALE

10  
L5.1

DETAIL NOT USED  
NOT TO SCALE

11  
L5.1

DETAIL NOT USED  
NOT TO SCALE



MOHR & SEREDIN  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

# PMA Spring Street Parking and Garden

87 SPRING STREET

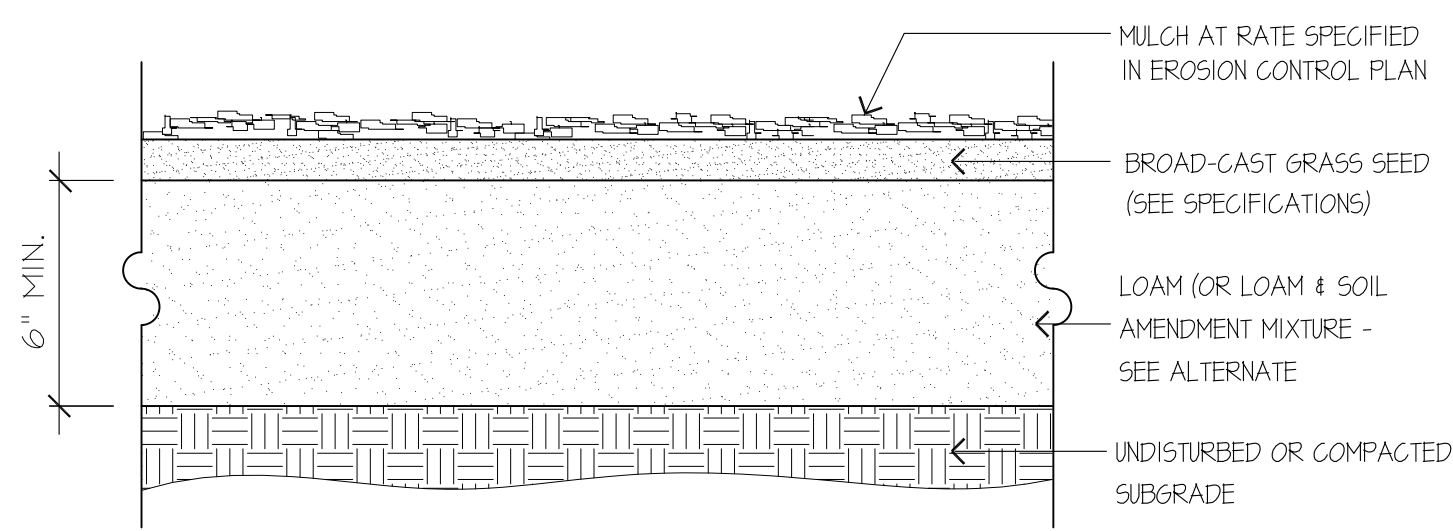
PORTLAND, MAINE 04101

Portland Museum of Art  
PORTLAND, MAINE

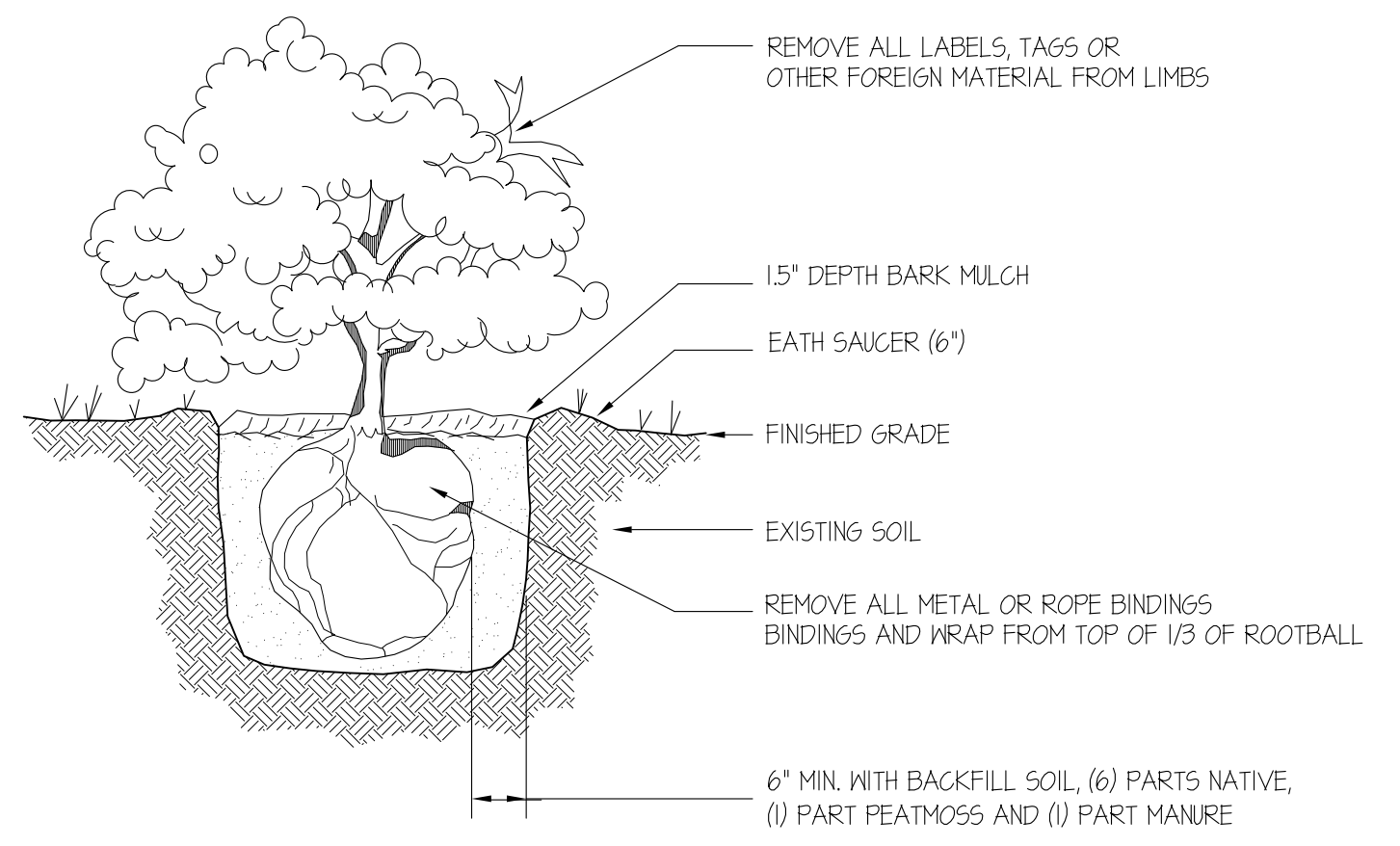
No.	Date	Revision
1	7 May 2008	Per City Staff Review
2	15 May 2008	Per City Staff Review

Title: Site Details	
Job No.: 688	Dwg. No.
Date: 28 March 2008	L5.1
Scale: AS SHOWN	
Drawn: MK	
Checked: SM	

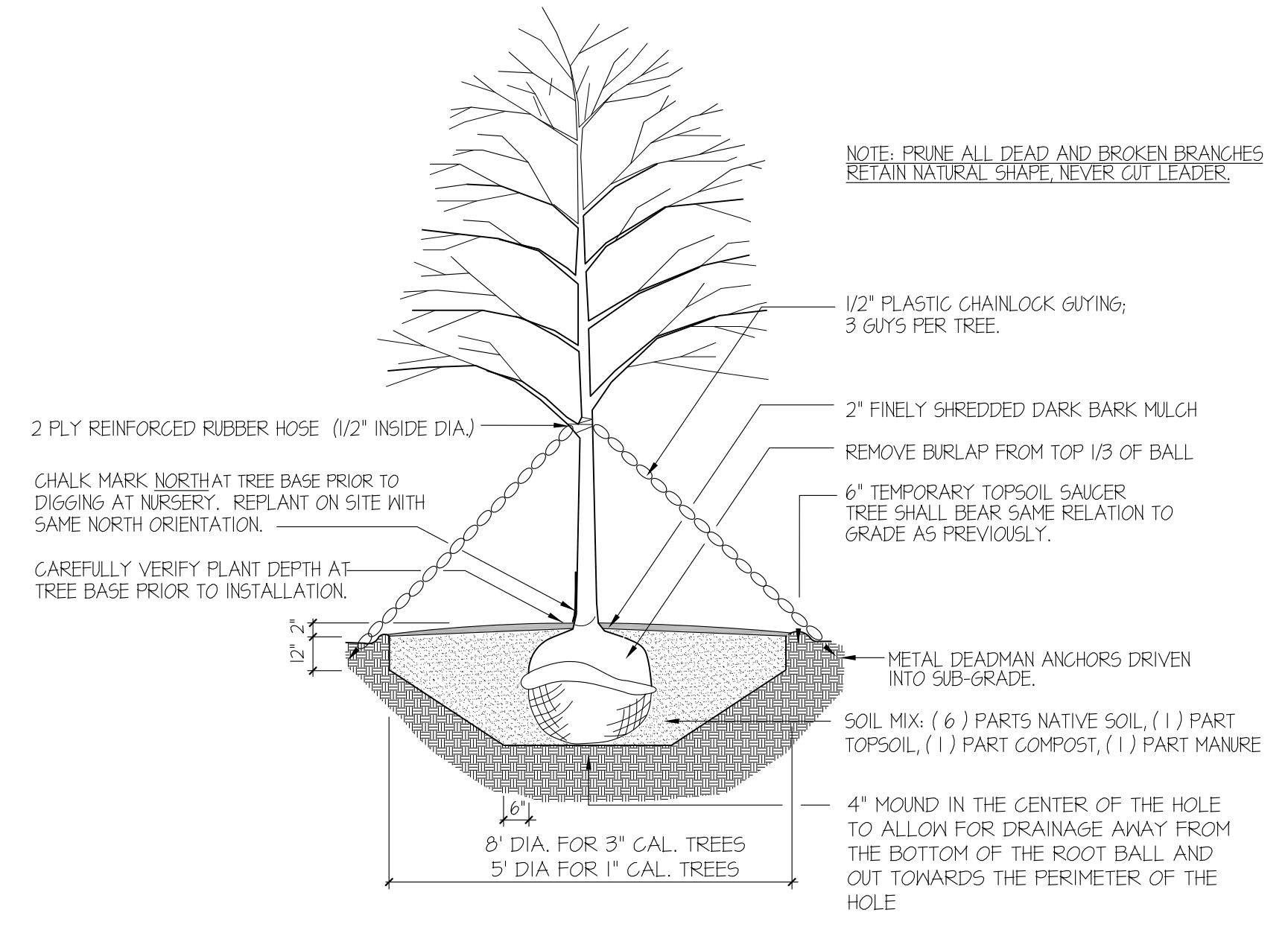




1 LOAM AND SEED  
L5.2 NOT TO SCALE



2 SHRUB PLANTING INSTALLATION  
L5.2 NOT TO SCALE



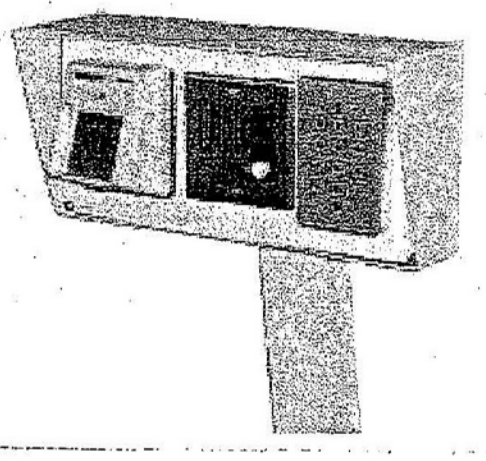
2 DECIDUOUS TREE PLANTING  
L5.2 NOT TO SCALE

**CGMCARD-1K Using 26SA Stand Alone Card Reader**

Access control systems and custom engineered solutions available!

Description:

- **CGMCARD-1K** Using 26SA stand alone card reader
- 3500 Card Capacity, Timed Antipassback, no Control Panels or Secondary Electronics.
- Non-Volatile Memory.
- Intercom flush mounted sub station, Vandal Proof and weather resistant.
- SK-KP-SA Series weatherproof Key Pad  
Reliable access up to 200 users, Four- to Eight-Digit PIN codes can be selected, with 10 million possible codes at the keypad in seconds.
- **CGMPPROX-1** using Radio Key 600 Stand Alone Card Reader
- RK600 is fully-programmable, stand alone access control system, that provides proximity entry up to 600 users.
- Optional Auxiliary Reader for High-Security/Extreme Weather Conditions.
- **CGKEY-1** SK-KP-SA Series weatherproof Key Pad  
Reliable access up to 200 users.

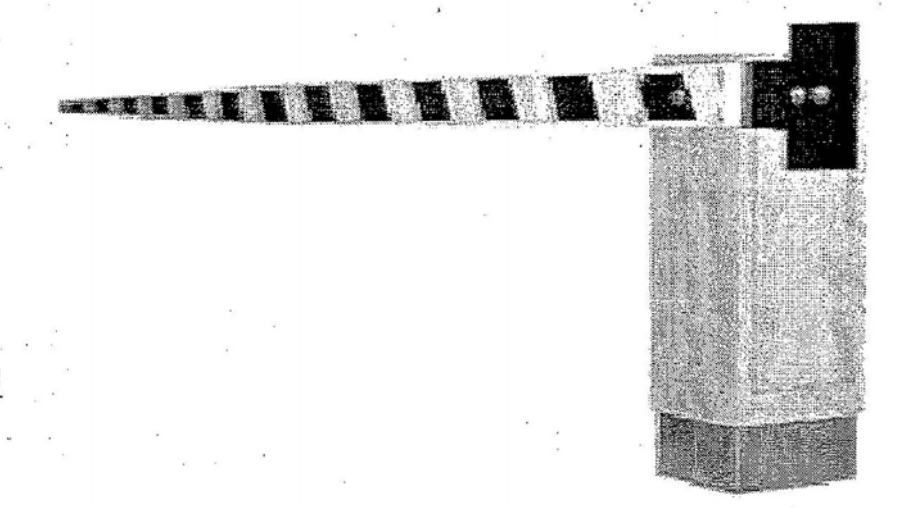


4 CARD READER / TOUCH PAD  
L5.2 NOT TO SCALE

**CSG2000 Parking Lot / Access Control Gate**

The CG2100-1 Gate Controller is housed inside the gate cabinet for protection. This controller unit may also be used to replace other manufacturers' gate controls. Contact Cincinnati Gate Systems with questions about this equipment and for information about options and accessories.

- CSG2000 operates 14' through 20' gate arms
- Weatherproof and corrosion-resistant all steel cabinet
- Polished stainless steel mounting base
- NoTouche proximity sensor prevents gate from striking pedestrians and vehicles
- 1/2 HP instant reversing motor
- Remotely programmable microprocessor controller (via RS-232/485 port)
- Multiple operation modes
- Gate operation counter built into software
- Resettable thermal overload motor protection
- Thermostatically controlled cabinet heater

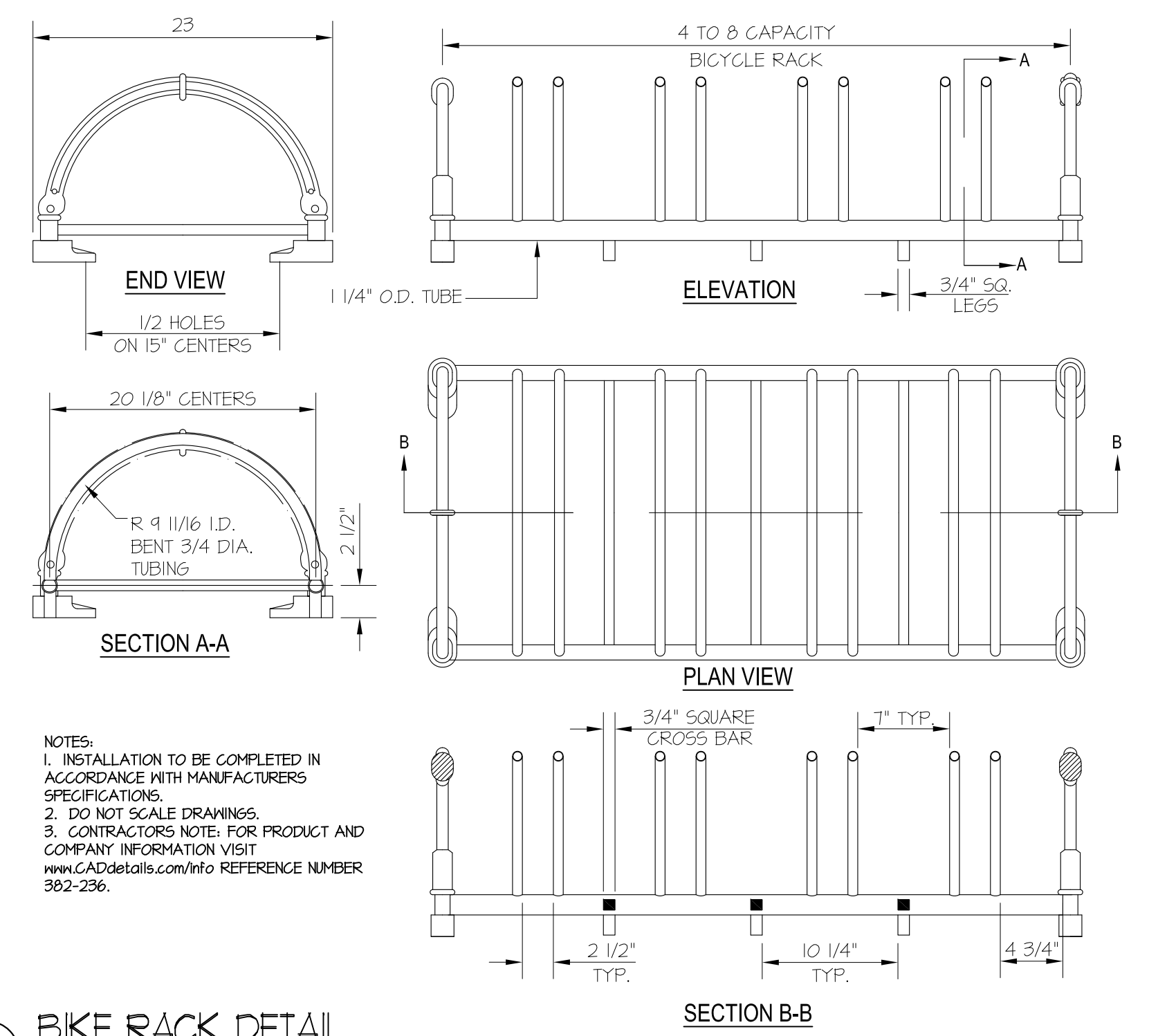


Cincinnati Gate Systems, Inc. is committed to providing you with innovative, non-proprietary products to give you the flexibility to build new or to expand existing parking and access control systems seamlessly and cost-effectively, without being locked into a single equipment supplier.

Cincinnati Gate Systems, Inc.  
24 Landy Lane, Suite 5A  
Cincinnati, OH 45215  
513.769.5200 Telephone  
513.563.0758 Facsimile  
Info@cincinnatiagate.com Email  
cincinnatiagate.com Website

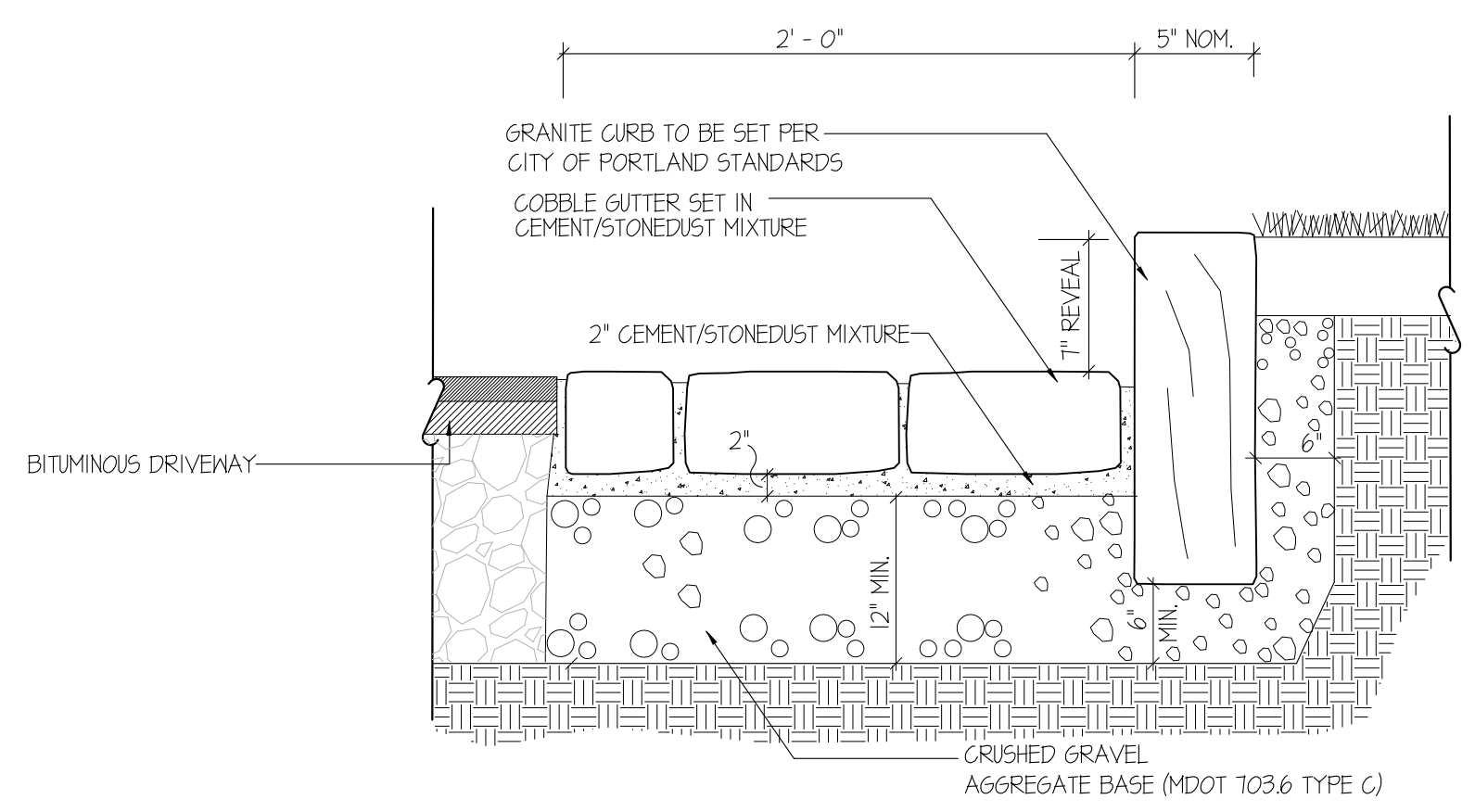


6 PARKING LOT / ACCESS CONTROL GATE  
L5.2 NOT TO SCALE

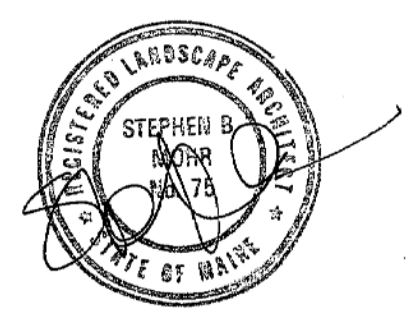


NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.  
2. DO NOT SCALE DRAWINGS.  
3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.cgsdetails.com/info](http://www.cgsdetails.com/info) REFERENCE NUMBER 362-236.

7 BIKE RACK DETAIL  
L5.2 NOT TO SCALE



5 ALTERNATE #2: COBBLE EDGE ALONG DRIVEWAY  
L5.2 NOT TO SCALE



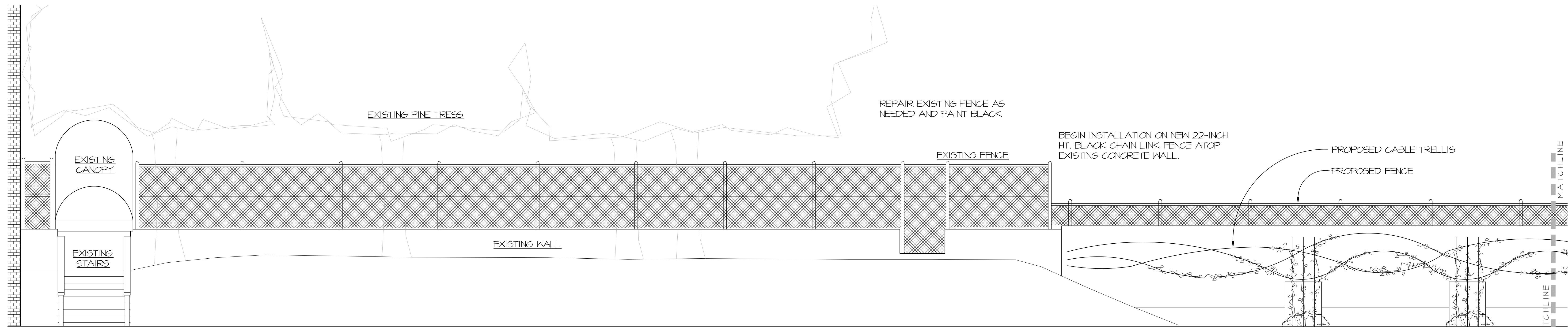
**MOHR & SEREDIN**  
Landscape Architects, Inc.  
18 Pleasant Street, Portland, Maine 04101  
ph: 1.207.871.0003  
fax: 1.207.871.1419

**PMA Spring Street Parking and Garden**  
87 SPRING STREET PORTLAND, MAINE 04101

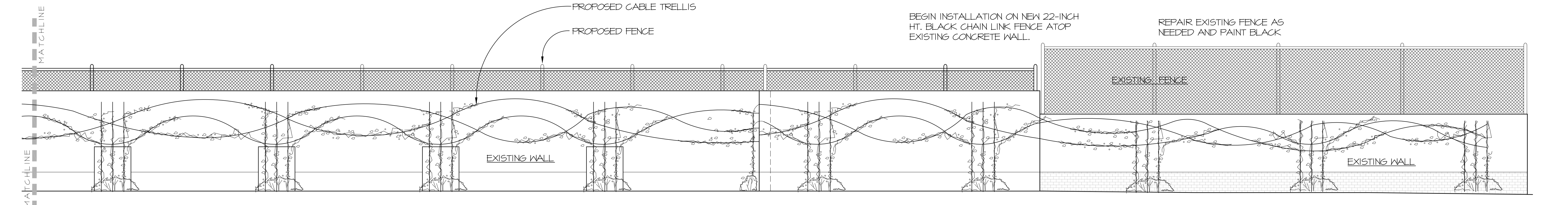
**Portland Museum of Art**  
PORTLAND, MAINE

No.	Date	Revision
1	7 May 2008	Per City Staff Review
2	15 May 2008	Per City Staff Review

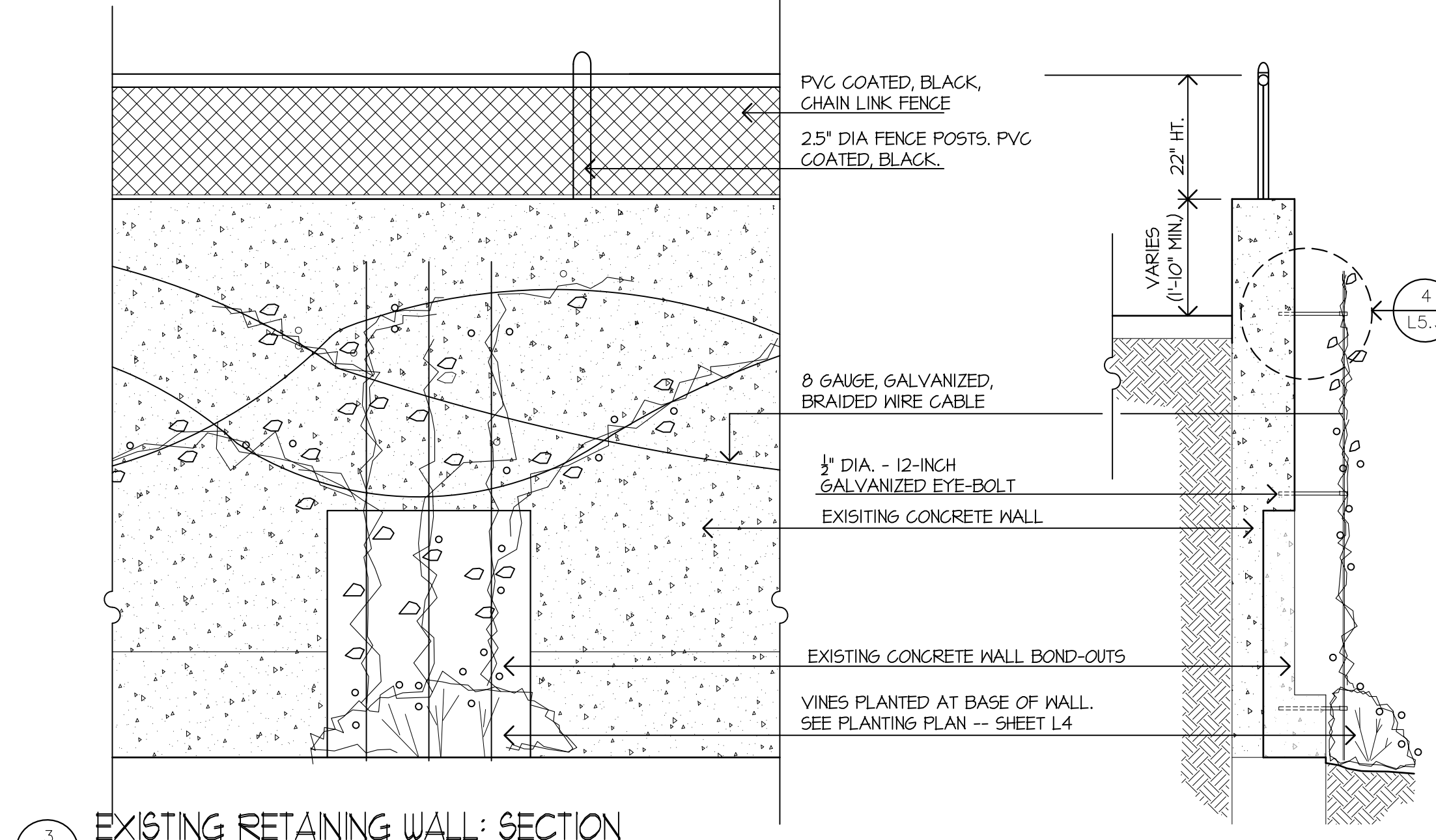
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Date: 28 March 2008	<b>L5.2</b>
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Drawn: MK	
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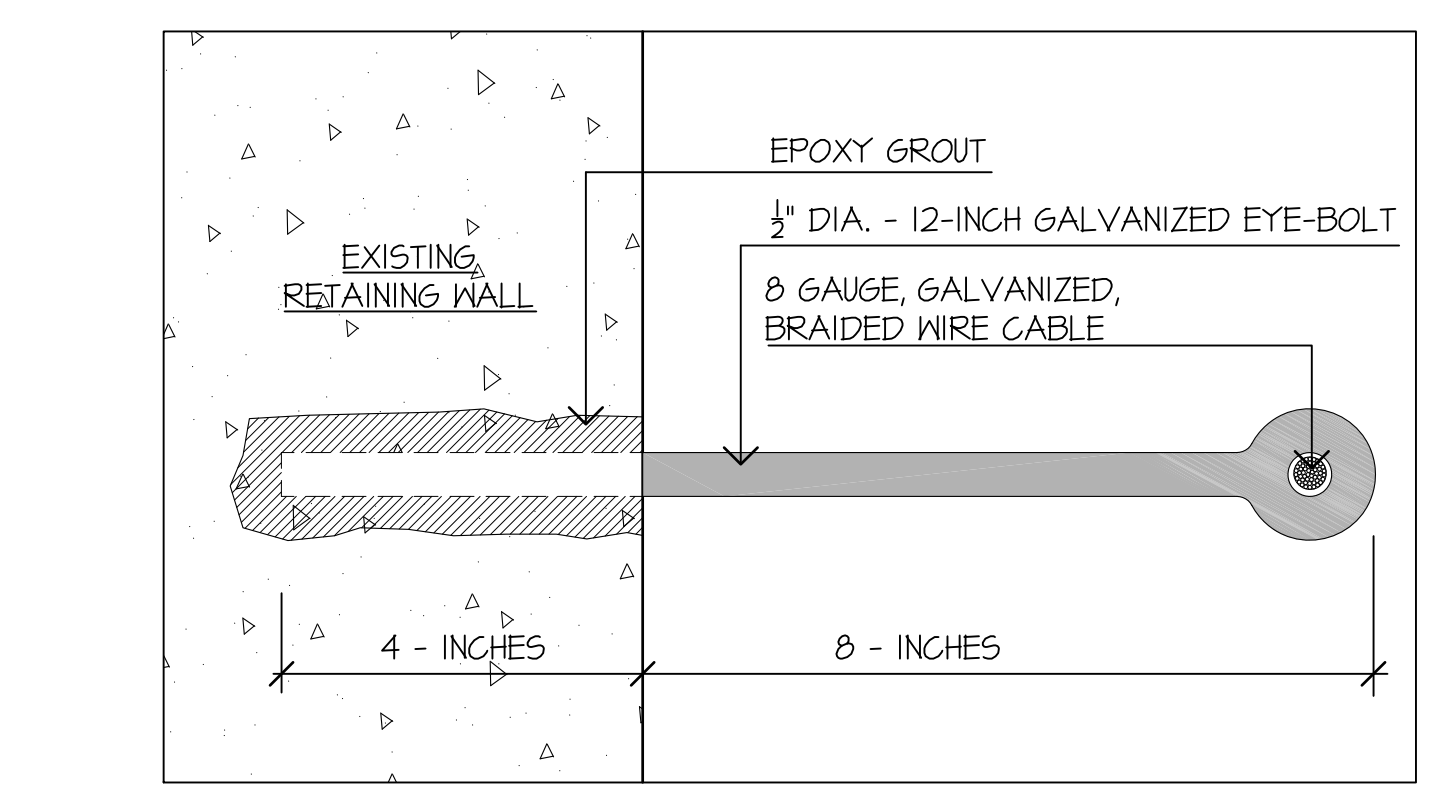
1 FENCE AT CONCRETE RETAINING WALL AND STEEL TRELLIS (ALTERNATE #1): WEST SECTION  
 L5.3 SCALE: 1" = 4'



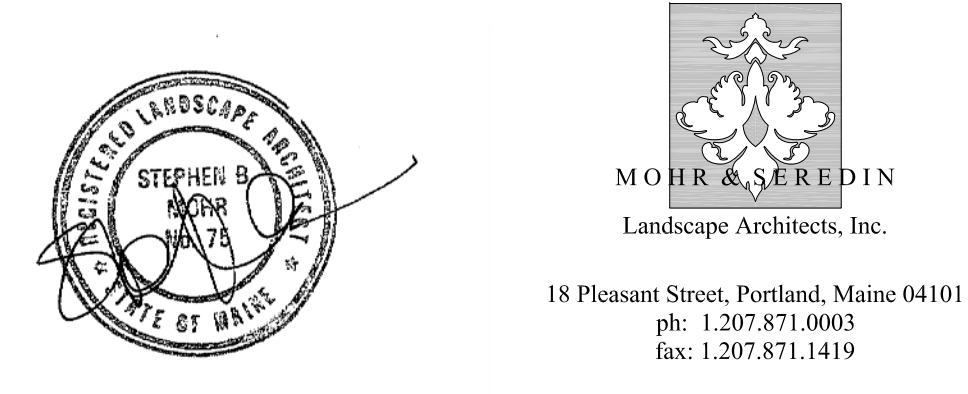
2 FENCE AT CONCRETE RETAINING WALL AND STEEL TRELLIS (ALTERNATE #1): EAST SECTION  
 L5.3 SCALE: 1" = 4'



3 EXISTING RETAINING WALL: SECTION  
 L5.3 SCALE: 1" = 2'



4 EXISTING RETAINING WALL: CABLE/EYE BOLT/WALL DETAIL  
 L5.3 SCALE: 1" = 2'

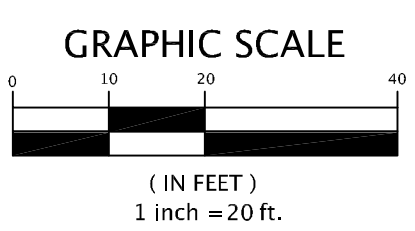
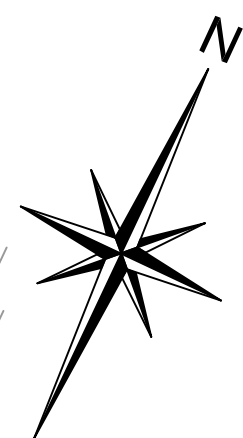
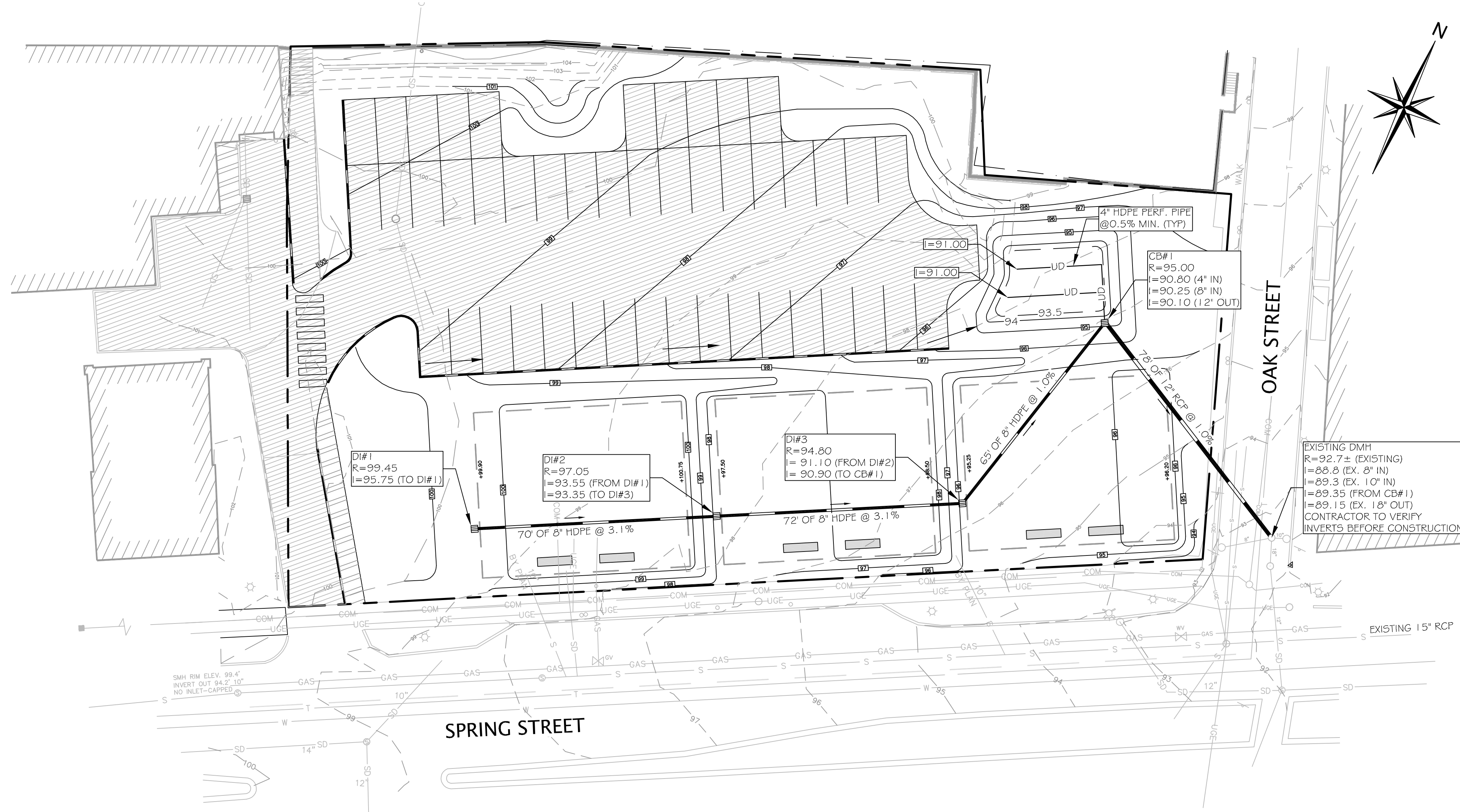


**PMA Spring Street Parking and Garden**  
 87 SPRING STREET PORTLAND, MAINE 04101

**Portland Museum of Art**  
 PORTLAND, MAINE

No.	Date	Revision
1	7 May 2008	Per City Staff Review
2	15 May 2008	Per City Staff Review

Title: <b>Existing Retaining Wall: Elevations and Details</b>	
Job No.: 688	Dwg. No.
Date: 28 March 2008	<b>L5.3</b>
Scale: As Shown	
Drawn: MK	
Checked: SM	



CITY PERMIT SUBMITTAL - NOT FOR CONSTRUCTION

DRAINAGE IMPROVEMENTS PLAN

**SPRING STREET PARKING & GARDENS  
PORTLAND MUSEUM OF ART**  
PORTLAND  
MAINE

SCALE: 1"=20'

C.I.: 1'

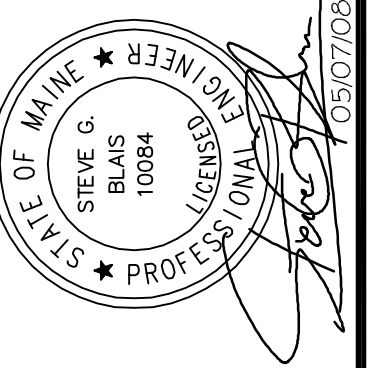
DATE: 03/25/08

DRAWING  
**C-1**

LCE 08109

LAND CONSULTING ENGINEERS, PA

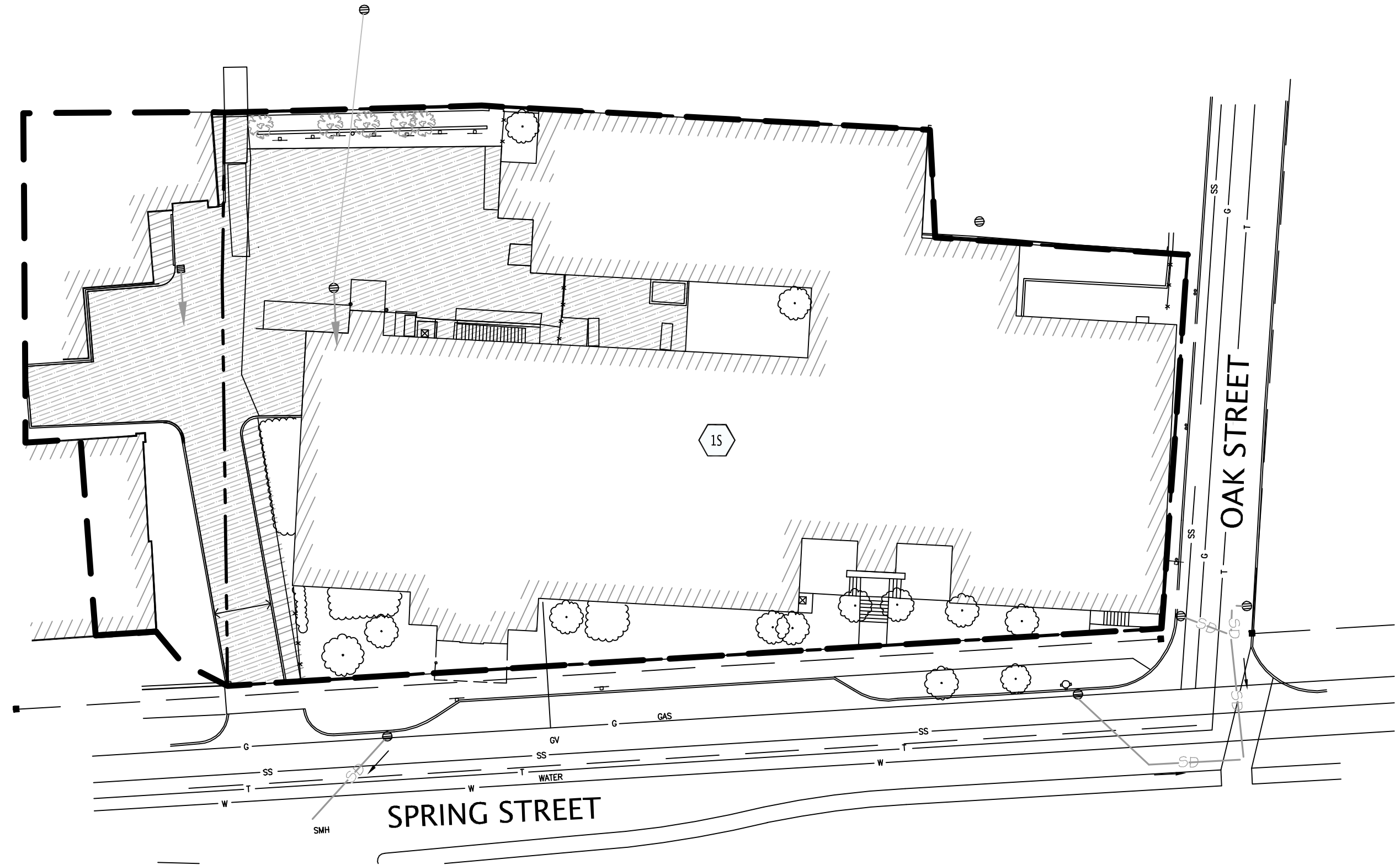
967 BROADWAY  
SOUTH PORTLAND, MAINE 04106  
(207) 767-7300



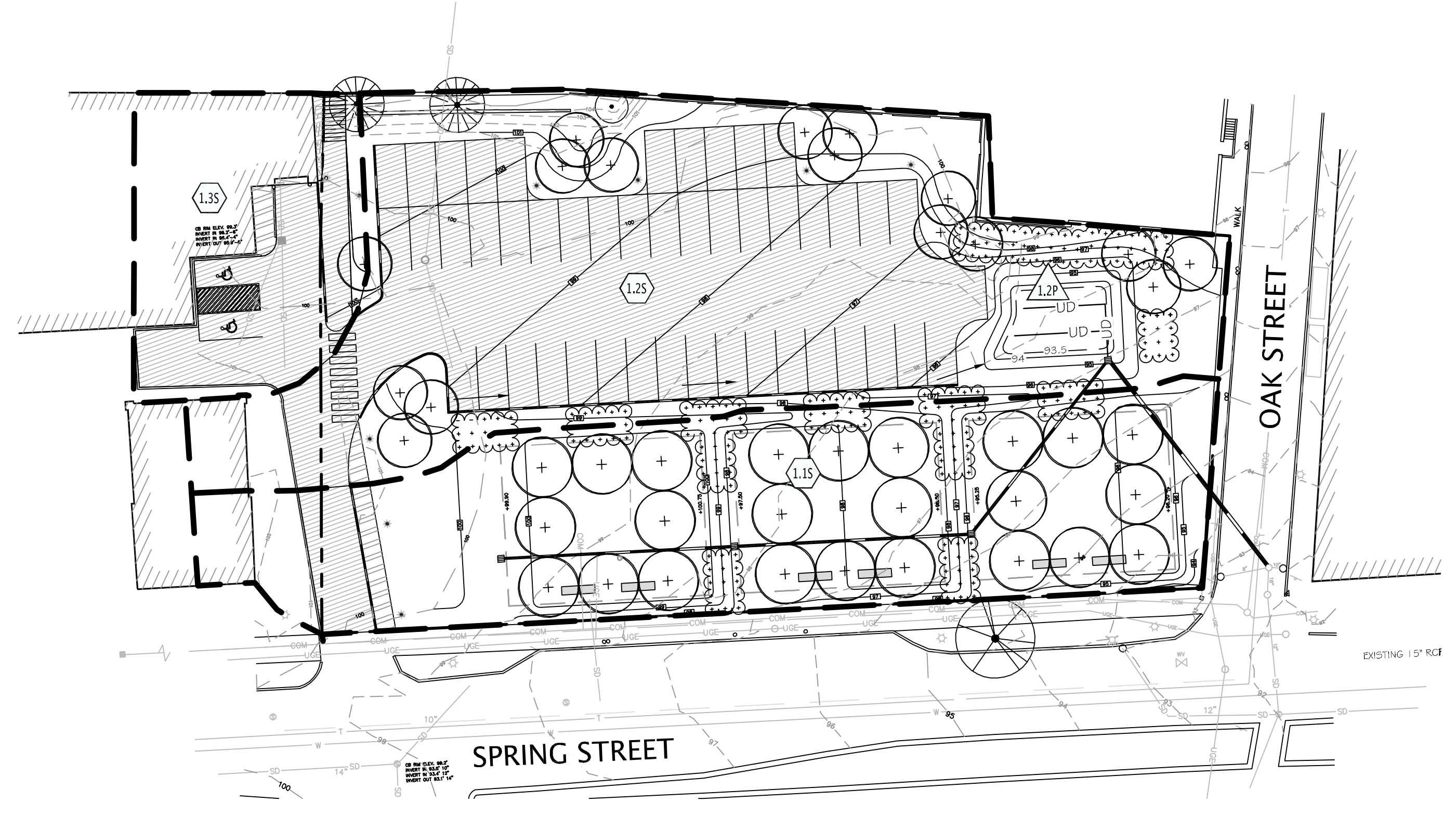
No.	DATE	PER CITY OF PORTLAND COMMENTS	DESCRIPTION
1.	05/07/08		

REVISIONS

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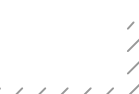





**EXISTING CONDITIONS**  
SCALE: 1"=30'



**PROPOSED CONDITIONS**  
SCALE: 1"=30'

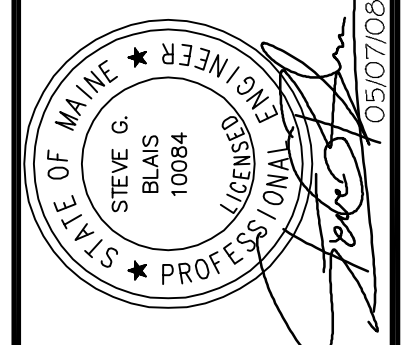
**LEGEND**

-  EXISTING BUILDING
-  EXISTING PAVEMENT
-  PROPOSED PAVEMENT
-  EXISTING SIDEWALK

CITY PERMIT SUBMITTAL - NOT FOR CONSTRUCTION

EXISTING AND PROPOSED CONDITIONS MAPS  
**SPRING STREET PARKING & GARDENS**  
**PORTLAND MUSEUM OF ART**  
 PORTLAND  
 MAINE  
 SCALE: AS SHOWN C.I.: 1'

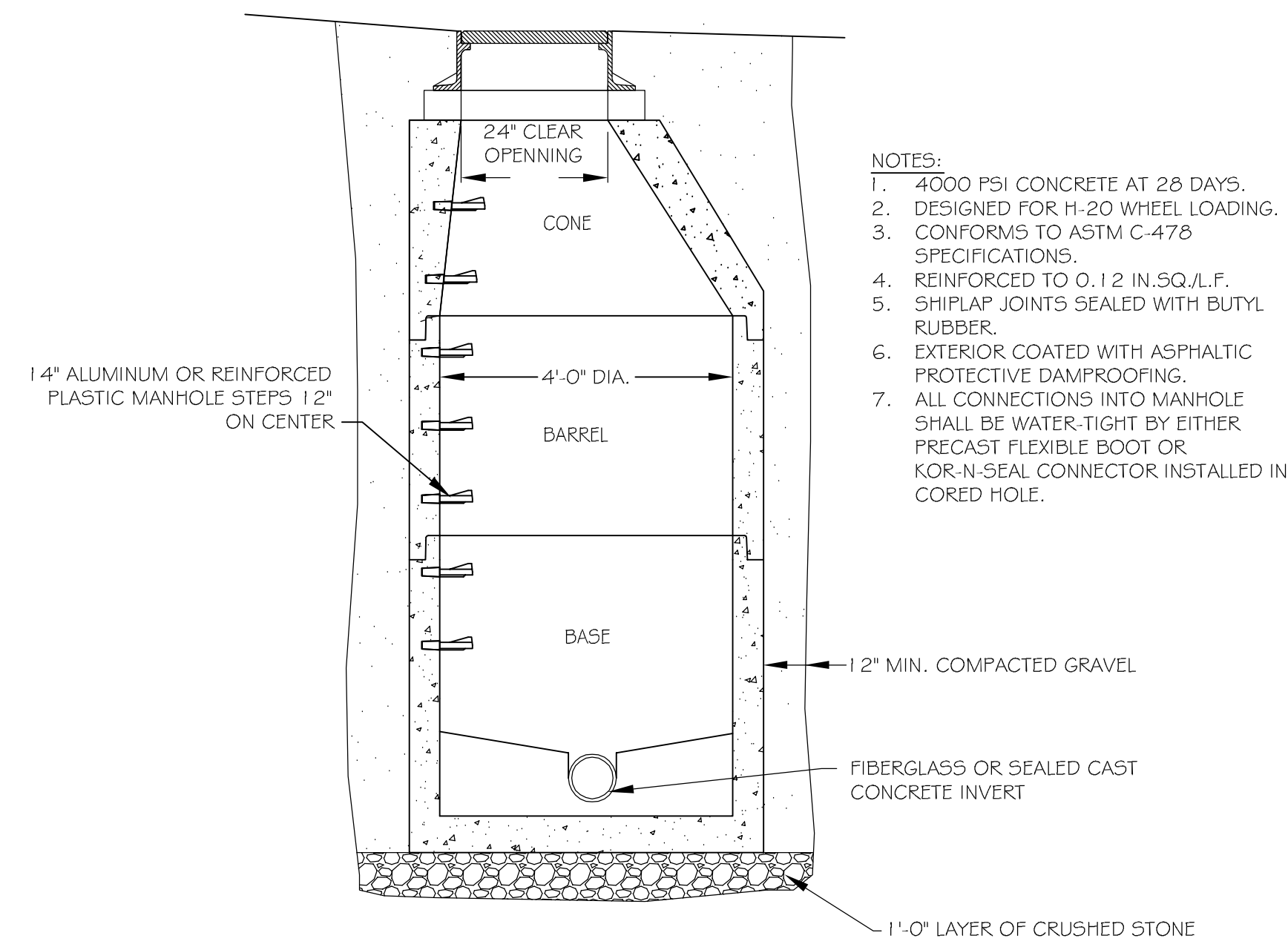
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**C-2**  
 LCE 08109



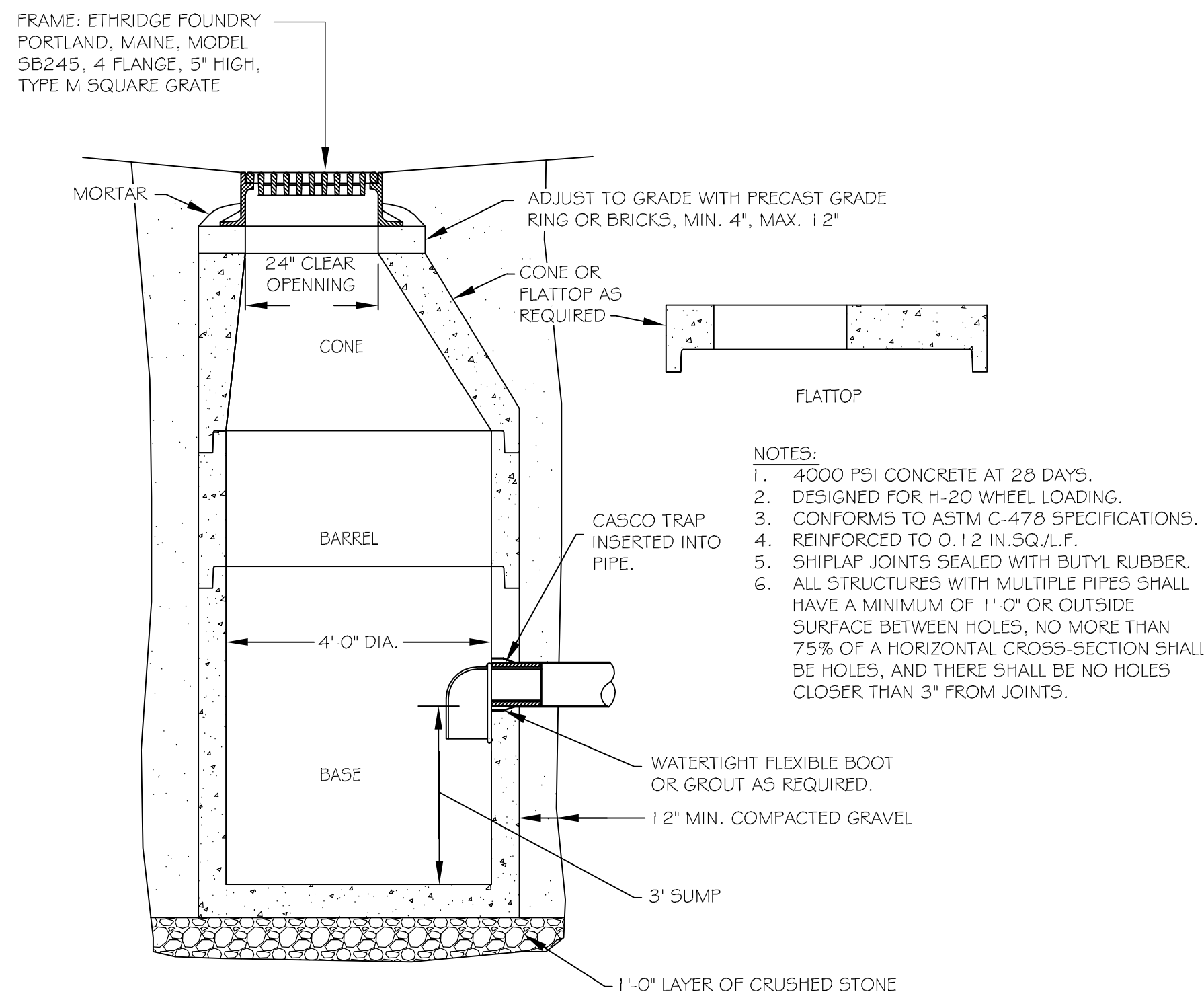
**LAND CONSULTING ENGINEERS, PA**  
 967 BROADWAY  
 SOUTH PORTLAND, MAINE 04106  
 (207) 767-7300

No.	DATE	PER CITY OF PORTLAND COMMENTS	DESCRIPTION
1.	05/07/08		REVISIONS

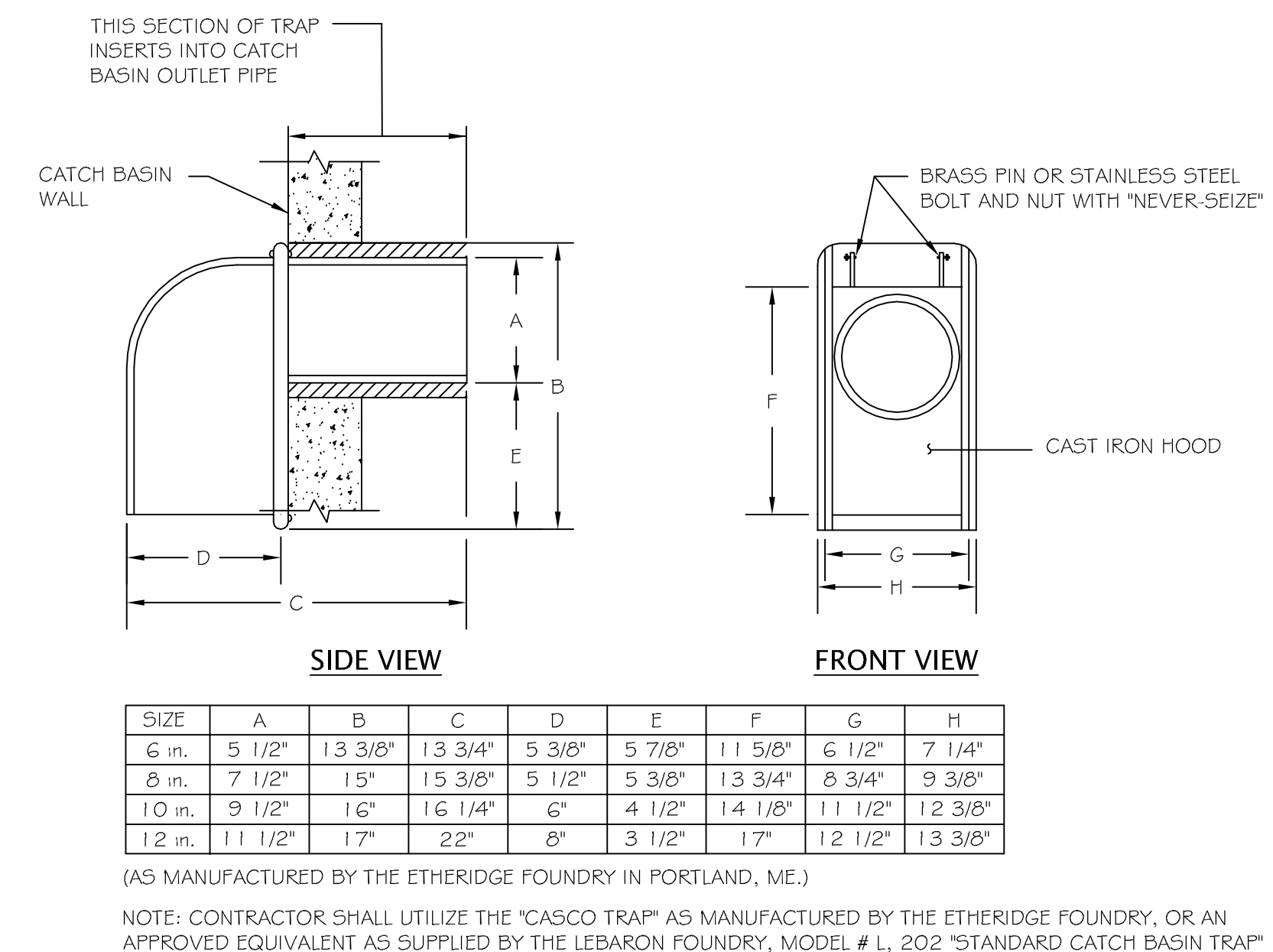
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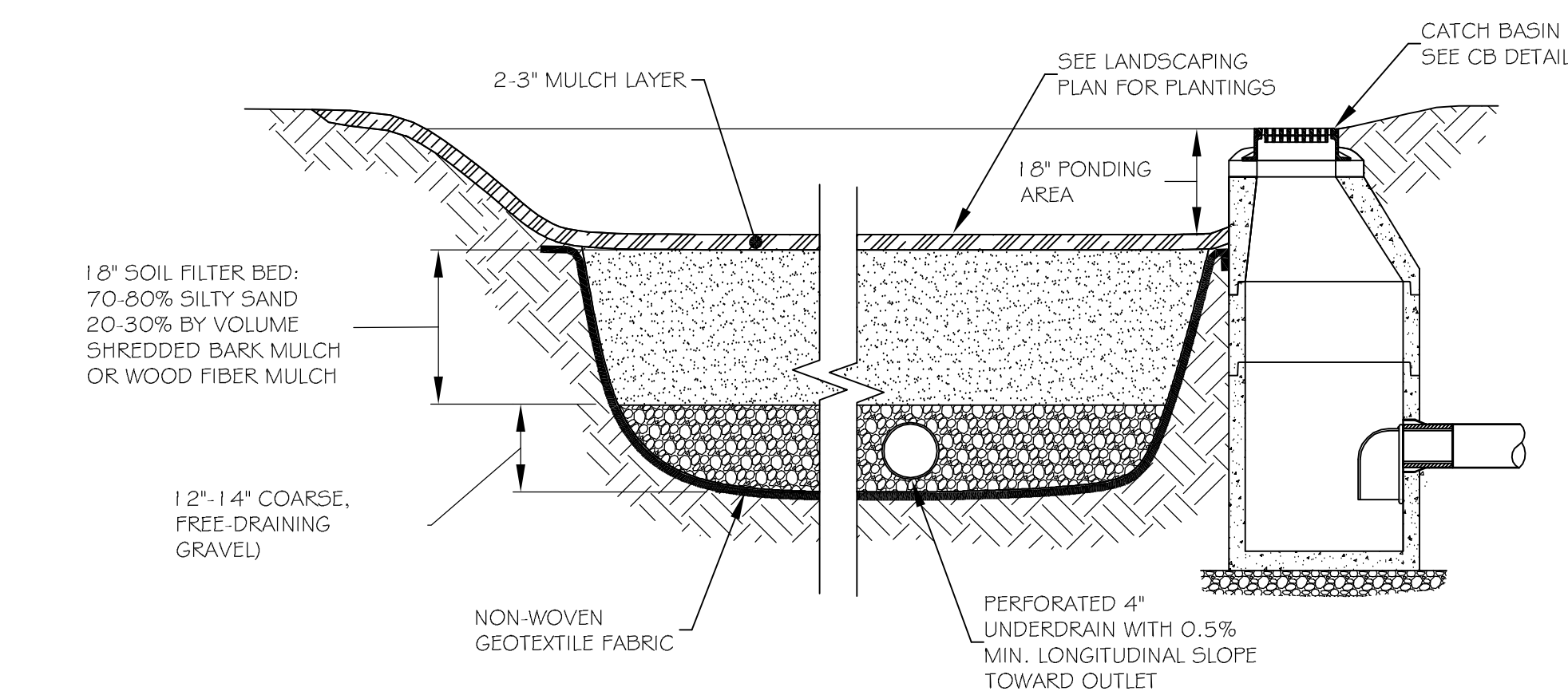
1 PRECAST MANHOLE  
NOT TO SCALE



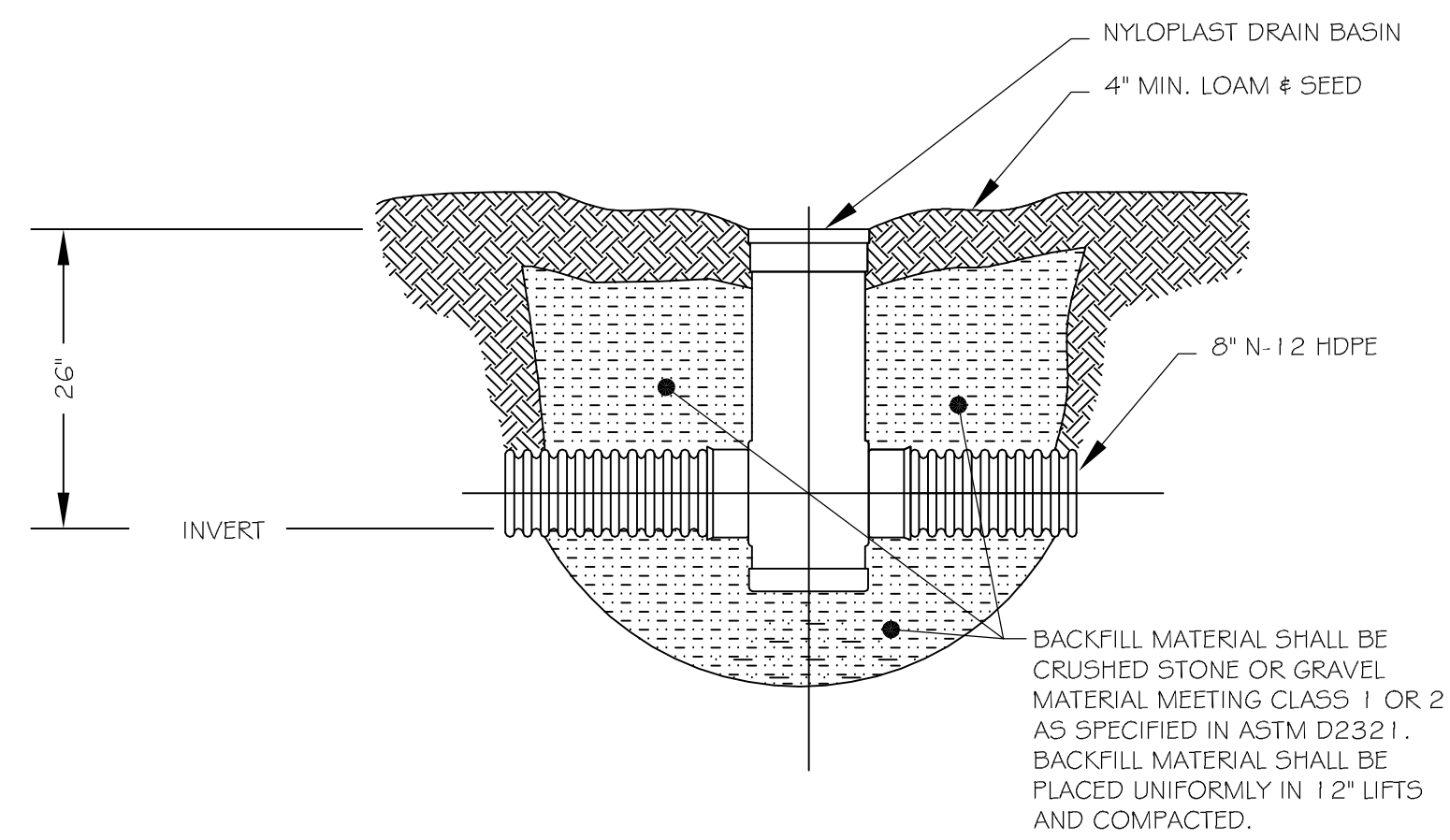
2 CATCH BASIN  
NOT TO SCALE



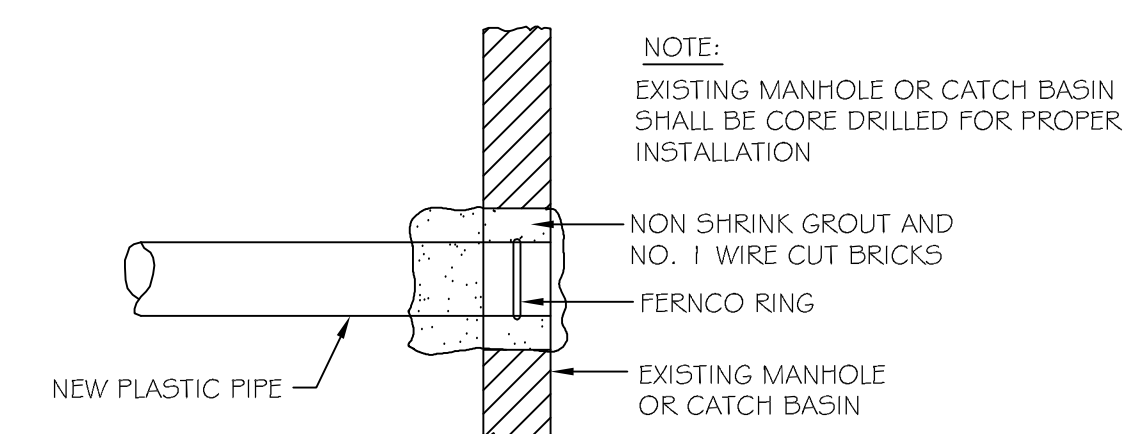
3 CASCO TRAP DETAIL  
NOT TO SCALE



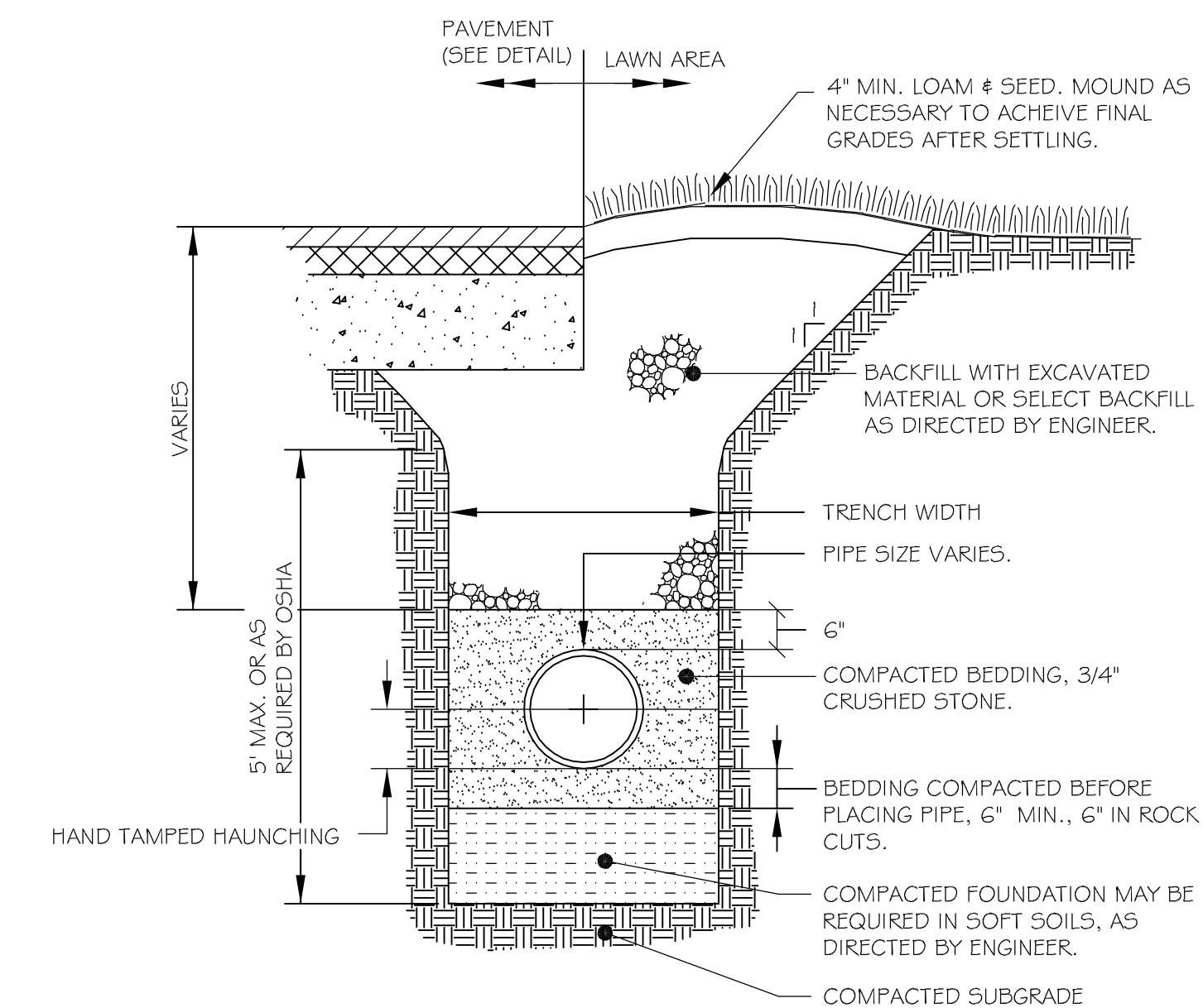
4 BIORETENTION CELL  
NOT TO SCALE



5 DRAIN INLET (DI)  
NOT TO SCALE



6 NEW PLASTIC PIPE INTO EXISTING STRUCTURE  
NOT TO SCALE



PIPE DIA.	PIPE O.D.	TRENCH WIDTH
8"	9.50"	30"
12"	14.45"	31"

NOTE: 1. WHERE TRENCHES PENETRATE DETENTION BASIN EMBANKMENTS OR OTHER SUCH SPECIAL SECTIONS, BACKFILL SHALL CONFORM TO THEIR REQUIREMENTS.

2. INSTALL WATER STOPS EVERY 100' IN LEDGE TRENCHES AND AREAS OF MORE THAN 3% SLOPE.

7 PIPE TRENCH DETAIL  
NOT TO SCALE

CITY PERMIT SUBMITTAL - NOT FOR CONSTRUCTION

DRAINAGE IMPROVEMENTS DETAILS

SPRING STREET PARKING & GARDENS  
PORTLAND MUSEUM OF ART  
PORTLAND MAINE

LAND CONSULTING ENGINEERS, PA  
967 BROADWAY  
SOUTH PORTLAND, MAINE 04106  
(207) 767-7300

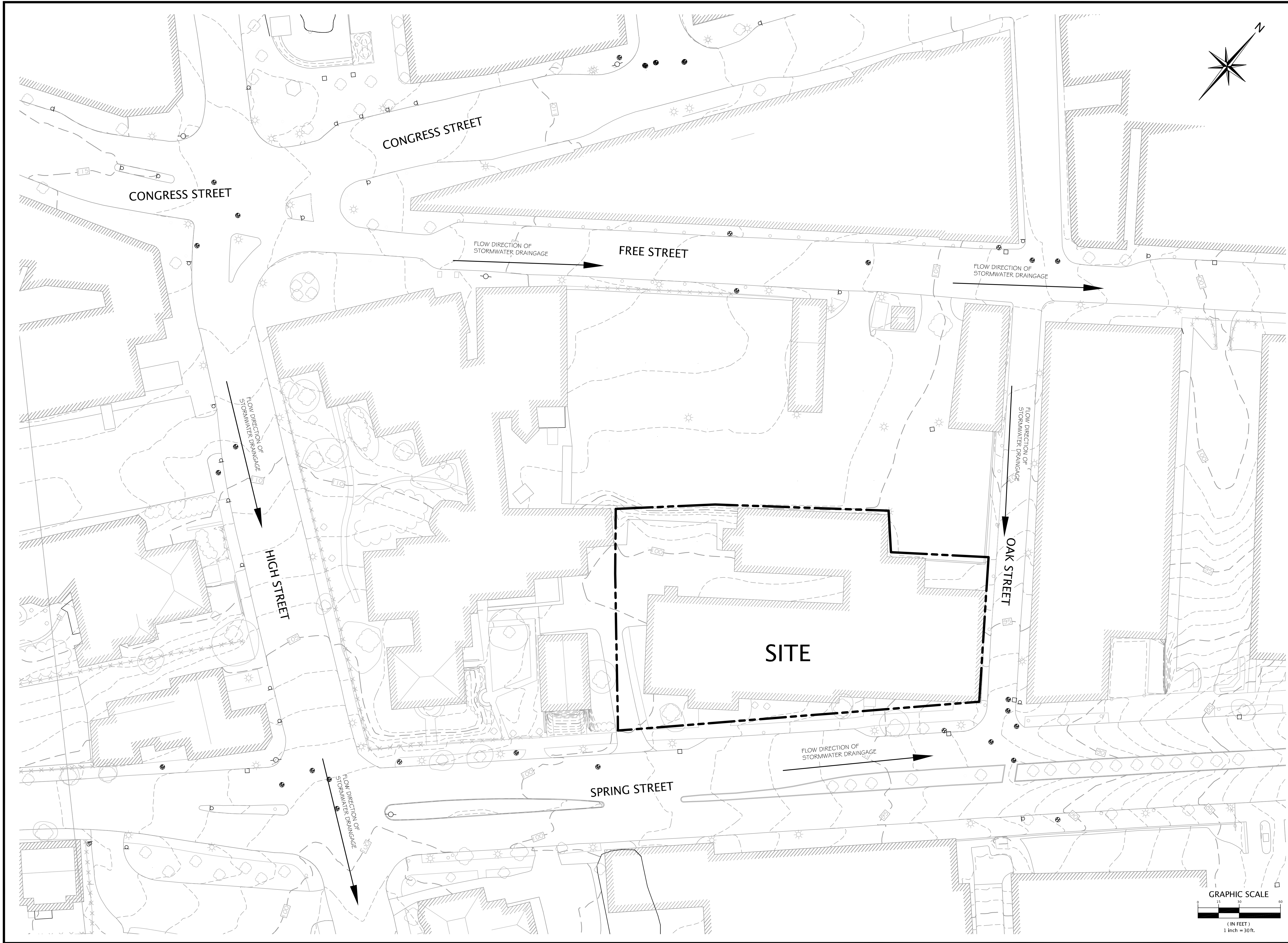
DATE: 03/25/08  
SCALE: AS SHOWN  
C.I.: N/A

DRAWING  
C-3  
LCE 08109

REVISIONS

No.	DATE	DESCRIPTION
1	05/07/08	PER CITY OF PORTLAND COMMENTS

STATE OF MAINE  
EST. 6  
BLA 6  
10084  
PROFESSIONAL ENGINEER  
C. J. BROWN



A:\2008 Projects\Spring Street\Drawings\Spring Street\Overall Neighborhood Drainage Plan.dwg 03/25/08 10:11 AM

CITY PERMIT SUBMITTAL - NOT FOR CONSTRUCTION

OVERALL NEIGHBORHOOD DRAINAGE PLAN

**SPRING STREET PARKING & GARDENS  
PORTLAND MUSEUM OF ART**

PORTLAND  
MAINE

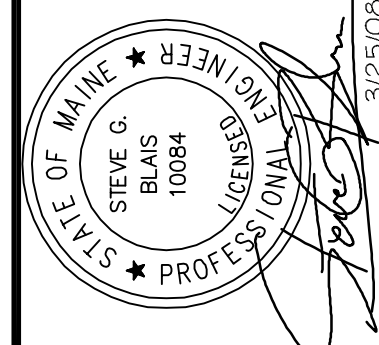
SCALE: 1"=30'

DATE: 03/25/08

C.I.: 2'

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967 BROADWAY  
SOUTH PORTLAND, MAINE 04106  
(207) 767-7300



No.	DATE	DESCRIPTION	REVISIONS

DRAWING  
**C-4**  
LCE 08109