

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 75 Spring Street Place 04101		Owner: Brian Rollins		Phone: 775-0304		Permit No: <b>991278</b>
Owner Address: Sas		Lessee/Buyer's Name: N/A		Phone: N/A		
Contractor Name: **Popi and Romano Builders Inc.		Address: P.O. Box 1079 Portland, ME 04104		Phone: 797-3381		Permit Issued: <b>NOV 18 1999</b>
Past Use: <del>Multi-Family</del> Single From per permit # 99 1086		Proposed Use: Same		COST OF WORK: \$ 3,000 PERMIT FEE: \$ 42.00 FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: B-2 Type: 5B Signature: [Signature] Signature: [Signature]		
Proposed Project Description: Changing the 1st floor apt. to garage (approx 14'x24') and studio apartment.		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/> Signature: _____ Date: _____		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		
Permit Taken By: <del>Multi-Family</del>		Date Applied For: Same		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**\*\*Send To:** Popi and Romano Builders Inc.  
P.O. Box 1089  
Portland, ME 04104

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: 11-8-99 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

PERMIT ISSUED WITH REQUIREMENTS CEO DISTRICT 2

12/13/99 Work Completed on Foot wall only while "Crossing detour  
on Rotted Goumner wall etc

1/7/00 Went to site, met with contractor for Framing, all OK. JR

Good  
a/15/00  
JR

Inspection Record

Type

Foundation: \_\_\_\_\_

Framing: \_\_\_\_\_

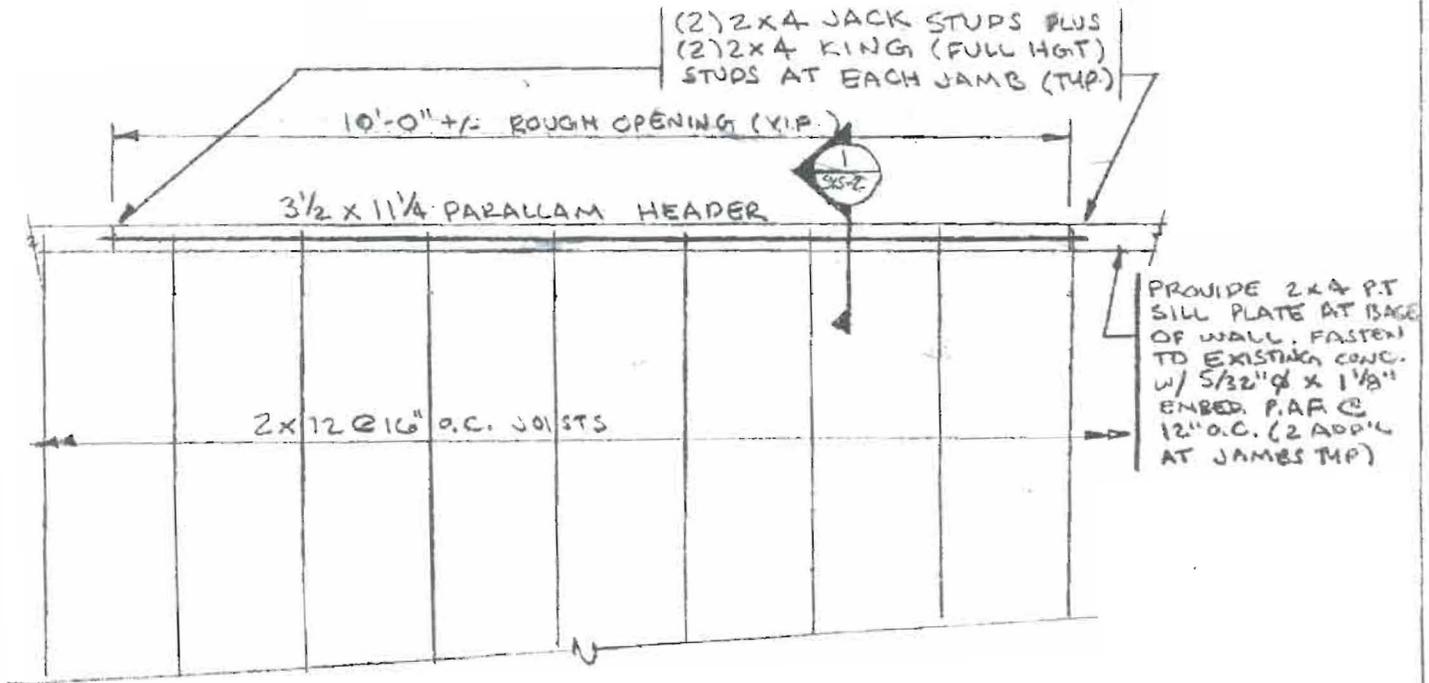
Plumbing: \_\_\_\_\_

Final: \_\_\_\_\_

Other: \_\_\_\_\_

Date

C.B.L. 039-A-039



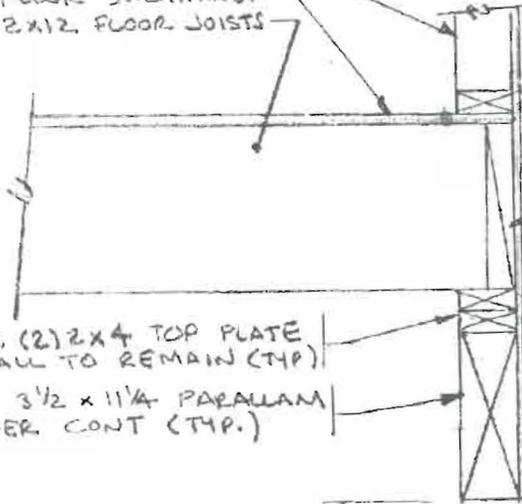
PARTIAL SECOND FLOOR FRAMING PLAN

1/2" = 1'-0"

NOTES:

- 1) SEE GENERAL NOTES ON DWG. S1.
- 2) PROVIDE TEMP. SHORING OF FLOOR JOISTS AND WALL ABOVE PRIOR TO REMOVING EXISTING FRAMING TO INSTALL NEW BEAM.

EXIST. 2x4 BRG. WALL ABV.  
EXIST. FLOOR SHEATHING  
EXIST. 2x12 FLOOR JOISTS



EXIST. WALL SHEATHING  
PROVIDE ADDITIONAL  
2x12 SOLID BLOCKING  
BETWEEN ALL JOISTS (TYP.)

EXIST. (2) 2x4 TOP PLATE  
OF WALL TO REMAIN (TYP.)  
NEW 3 1/2 x 1 1/4 PARALLAM  
HEADER CONT (TYP.)

R.O.  
2' (V.I.P.)

SECTION 1

1" = 1'-0"

1  
SECS. 2

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	12/1/99

ROLLINS RESIDENCE  
PORTLAND, MAINE  
PARTIAL 2<sup>ND</sup> FLR FRAMING PLAN  
SECTIONS AND DETAIL

L & L STRUCTURAL  
ENGINEERING SERVICES, INC.  
SIX O STREET  
SOUTH PORTLAND, MAINE 04108  
PHONE: (207) 767-4830  
FAX: (207) 799-5432  
EMAIL: LLENG@AOL.COM

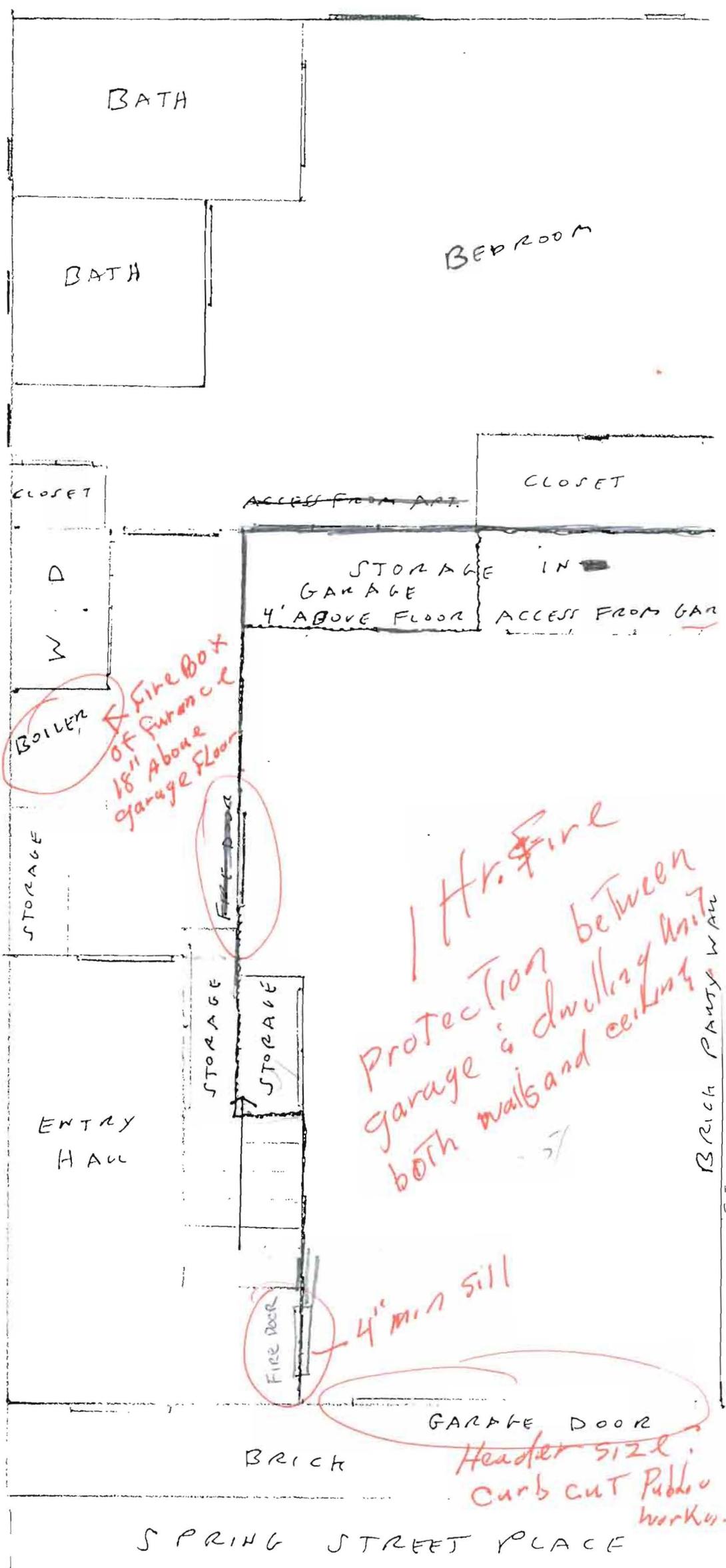
1/4" = 1'

PROPOSED LOWER LEVEL

25 SPRING STREET PLACE

Final Plan

After



1 Hr. Fire Protection between garage & dwelling unit both walls and ceiling

4" min sill  
Header size  
Carb cut Pubco workers

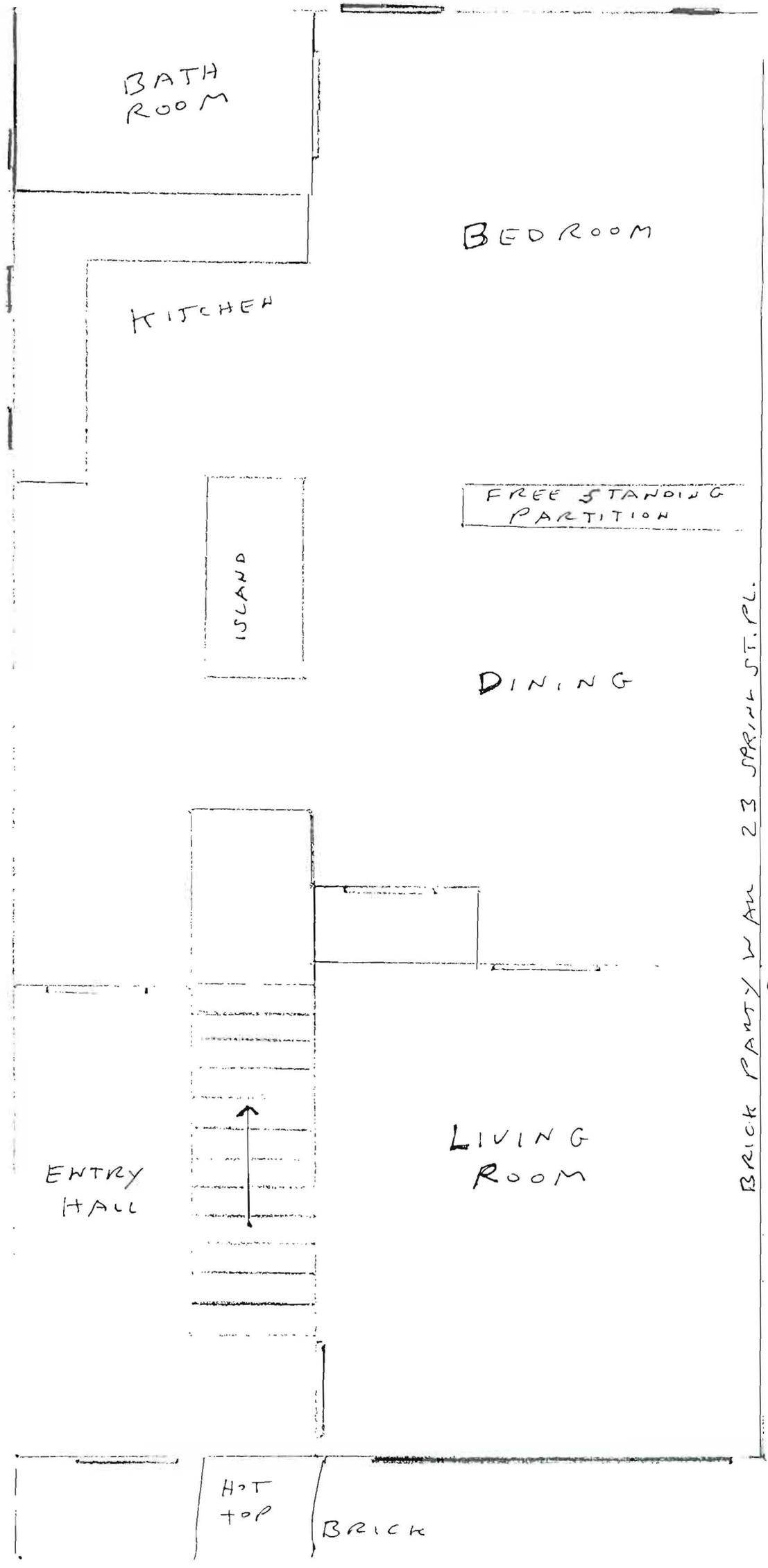
BRICK PARTY WALL

1/4" = 1'

LOWER LEVEL

25 SPRING STREET PLACE

*Before*



BRICK PARTY WALL 23 SPRING ST. PL.

SPRING STREET PLACE

BUILDING PERMIT REPORT

DATE: 10 NOV. 99 ADDRESS: 25 Spring St CBL: 039-A-039

REASON FOR PERMIT: Alterations 1st Floor apt. To 14'x24' garage and studio apt.

BUILDING OWNER: Brian Rollins

PERMIT APPLICANT: CONTRACTOR Popi & Romano Builders Inc.

USE GROUP: R2 CONSTRUCTION TYPE: 3B CONSTRUCTION COST: \$ 3000 PERMIT FEES: 42.00

The City's Adopted Building Code (The BOCA National Building code/1996 with City Amendments)

The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*8, \*27, \*29, \*30, \*32, \*36, \*37, \*38, \*39-41, #31

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 6'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

17

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>25 Spring St Place Portland 04101</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <u>039</u> Block# <u>A</u> Lot# <u>039</u>		Owner: <u>Brian Rollins</u>	Telephone#: <u>775-0304</u>
Owner's Address: <u>SAA</u>		Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$3,000</u> - Fee <u>\$42.00</u>
Proposed Project Description: (Please be as specific as possible) <u>changing first floor apartment to garage (approx 14' x 24') and studio apartment. See attached drawings.</u>			
Contractor's Name, Address & Telephone: <u>Popi and Romano Builders Inc.</u> <u>797-3381</u> <u>P.O. Box 1079</u> <u>Portland ME 04104</u>			Rec'd By: 
Current Use: <u>multi family</u>		Proposed Use: <u>same</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

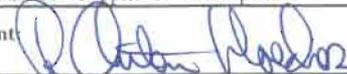
**Unless exempted by State Law, construction documents must be designed by a registered design professional.**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>11/8/99</u>
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Building Permit Fee: \$30.00 for the 1st \$1000.00 cost plus \$6.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1996)
2. Design Live Loads:  
 Floor .....40 PSF  
 Roof .....42 PSF + Drift

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Southern Yellow Pine (SYP), kiln dried 19% maximum moisture content.
3. All lumber shall be pressure treated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide 1x3 lumber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide 19/32" thick APA rated sheathing on roof framing.
8. Provide 15/32" thick APA rated sheathing on exterior wall framing.
9. Provide 23/32" thick APA rated sheathing on floor framing.

Date	12/2/99	# of pages	2
From	JOE LEASWIG		
Co	L & L		
Phone #			
Fax #			
Post-it® Fax Note	7671	To	PICK/ANTON
		Co./Dept.	PART 4 REMOVAL
		Phone #	
		Fax #	

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	Dec. 1, 1999

ROLLINS RESIDENCE  
 PORTLAND, MAINE  
 GENERAL NOTES

L & L STRUCTURAL  
 ENGINEERING SERVICES, INC.  
 SIX Q STREET  
 SOUTH PORTLAND, MAINE 04108

PHONE: (207) 767-4830  
 FAX: (207) 799-5432  
 EMAIL: LLENG@AOL.COM

**S1**

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25 – 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- \* 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
- \* 28. All requirements must be met before a final Certificate of Occupancy is issued.
- \* 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- \* 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *There shall be NO increase in the number of units*
- \* 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).
- \* 36. *Before work is started submit details on header for garage door*
- \* 37. *Before work is started you shall get a permit from public works on curb cut to cross public way (sidewalk)*
- \* 38. *You shall submit plan showing how the 1 Hour fire separation shall be constructed - NO work is authorize until all these requirements have been met.*
- \* 39. *The door sill shall be a minimum of 4" above garage floor (Section 407.1)*
- \* 40. *The floor surface shall be of concrete or other non combustible material (Section 407.9)*

P. Samuel Hoffses, Building Inspector  
 Cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

PSH 10/25/99

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

- \* 41. *The Combustion chamber of fuel burning appliance shall be a minimum of 18 inches above the floor. (M-406.2)*