

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that 110 High Street Assoc. LLC

Located At 110 HIGH ST

Job ID: 2012-07-4551-CH OF USE

CBL: 039-A-035-001

has permission to Change of Use and replacement of window

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-07-4551-CH OF USE

Located At: 110 HIGH ST

CBL: 039- A-035-001

Conditions of Approval:

Historic

1. Frame to be black, rather than bronze, to match existing trim on building.
2. Window to fill entire window opening, eliminating the current infill trim below the current 3-panel window.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

1. The occupancy is to remain business on the first floor and apartments on the upper floors per NFPA 101. The occupancies shall comply with City Code Chapter 10 upon inspection.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4551-CH OF USE	Date Applied: 7/26/2012	CBL: 039- A-035-001	
Location of Construction: 112 HIGH ST	Owner Name: 110 HIGH STREET ASSOC. LLC - Linda Jacobs	Owner Address: 1203 SHORE ROAD, CAPE ELIZABETH, ME 04107	Phone: 767-6559 (H) 650-8346 (C)
Business Name:	Contractor Name: Portland Glass	Contractor Address: 832 CONGRESS ST PORTLAND MAINE 04101	Phone: (207) 774-9851
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG CH OF USE	Zone: B-3
Past Use: Retail (Art Gallery) and 4 Dwelling units	Proposed Use: Change of Use to Offices and 4 Dwelling units - also to replace front window	Cost of Work: \$3,000.00	CEO District:
		Fire Dept: 8/29/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B/R Type: SB
Proposed Project Description: Change of Use and replacement of window		Pedestrian Activities District (P.A.D.) N/A Not within PAD	
Permit Taken By: Brad		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Min ___ MM</p> <p>Date: 8/2/12</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p>within</p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: 8/7/12</p> <p>Dr. Anderson</p>
	<p>CERTIFICATION</p>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



General Building Permit Application

B-3 38
Entire 2/27/12
Not on RAD - FD Historic BS

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-07-4551 - Ch of Use

Location/Address of Construction: <u>110 High St Portland</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>039 A 035</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Linda Jacobs</u> Address <u>1203 Shore Rd</u> City, State & Zip <u>C.E., ME. 04107</u>	Telephone: <u>767-6559 (home)</u> <u>650-8346 (cell)</u>
Lessee/DBA (If Applicable) <u>JUL 26 2012</u> <u>Dept. of Building Inspections</u> <u>City of Portland Maine</u>	Owner (if different from Applicant) Name <u>110 High St. Assoc LLC</u> Address <u>1203 Shore Rd</u> City, State & Zip <u>C.E., ME 04107</u>	Cost Of Work: \$ <u>3000</u> <u>2,850</u> 50.00 C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>2,850</u> <u>105.00</u>
Current legal use (i.e. single family) <u>commercial space</u> <u>ADU</u> If vacant, what was the previous use? <u>commercial space</u> <u>ADU</u> Proposed Specific use: <u>office space</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>① Change of use (retail to office)</u> <u>② Replace front window (see attached approval) (8 1/2 Ft. window)</u>		
Contractor's name: <u>Portland Glass</u> Address: <u>832 Congress ST</u> City, State & Zip <u>Portland, ME 04102</u> Telephone: <u>774-9851</u> Who should we contact when the permit is ready: <u>Linda Jacobs</u> Telephone: <u>767-6559/650-8346</u> Mailing address: <u>1203 Shore Rd, CE ME 04107</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Linda Jacobs Date: 7/25/12

This is not a permit; you may not commence ANY work until the permit is issue



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Receipts Details:

Tender Information: Check , Check Number: 4031
Tender Amount: 125.00

Receipt Header:

Cashier Id: bsaucier
Receipt Date: 7/27/2012
Receipt Number: 46399

Receipt Details:

Referance ID:	7412	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-07-4551-CH OF USE - Change of Use and replacement of window			
Additional Comments: 112 High			

Referance ID:	7413	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Job ID: 2012-07-4551-CH OF USE - Change of Use and replacement of window			

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice Chair
Scott Benson
Rebecca Ermlich
Michael Hammen
Ted Oldham
Susan Wroth

January 6, 2012

Joseph Manning
110 High St. LLC
1203 Shore Road
Cape Elizabeth, ME 04107

Re: Request to replace storefront window; 110 High Street

Dear Mr. Manning:

This office has reviewed and approved your request to replace the ground floor storefront window at 110 High Street as described and specified in your application dated 1/4/12. Approval is for installation of a single-lite Vistawall window with a 2" x 4 ½" frame and clear tempered glass.

Approval is subject to the following conditions:

- * That the frame have a black, rather than bronze anodized, finish to match the existing trim on the building and provide a more traditional "painted" appearance.
- * That the window fill the entire window opening, eliminating the current "infill" trim below the current 3-part window.

Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work. This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

Deborah Andrews
Historic Preservation Program Manager

Cc: Building Inspections



Date: 1/4/12

**HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROJECT ADDRESS:

110 HIGH STREET

CHART/BLOCK/LOT: _____ (for staff use only)

PROJECT DESCRIPTION: Describe below each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments.

I want to replace the window in the front with a new frame and 1 piece of glass in the frame. The frame that is being replaced is in poor shape. The new frame will be VISTAWall dark bronze anodized FG 3000 (2" x 4 1/2") and will hold 1" clear tempered glass measuring 10 1/2 x 80 3/4.

12/23/2011
Joe Manning
Re: 110 High Street
Portland, Maine 04102
(207) 799-5591

Ⓢ



Laura Coates
832 Congress St
Portland, ME 04102
(207) 774 -9851 phone
(207) 774 -9855 fax
Pgshop0350@portlandglass.com

This is a Proposal:

We propose to furnish the following materials in accordance with the outline below:

Vistawall dark bronze anodized FG 3000 frame, (2" x 4 1/2") and 1" clear tempered glass to be installed into existing opening

1 - 101 1/2 x 80 3/4

Quote includes removal and disposal of existing glass, materials, tax and labor.
Lead time is 4-5 weeks from date of signed proposal. If quote is approved we will need to come out and get exact sizes.

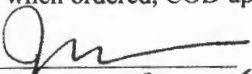
****Please note: Portland glass will not order or install glass without written approval from Historical Society**

For the above we are pleased to quote the following:

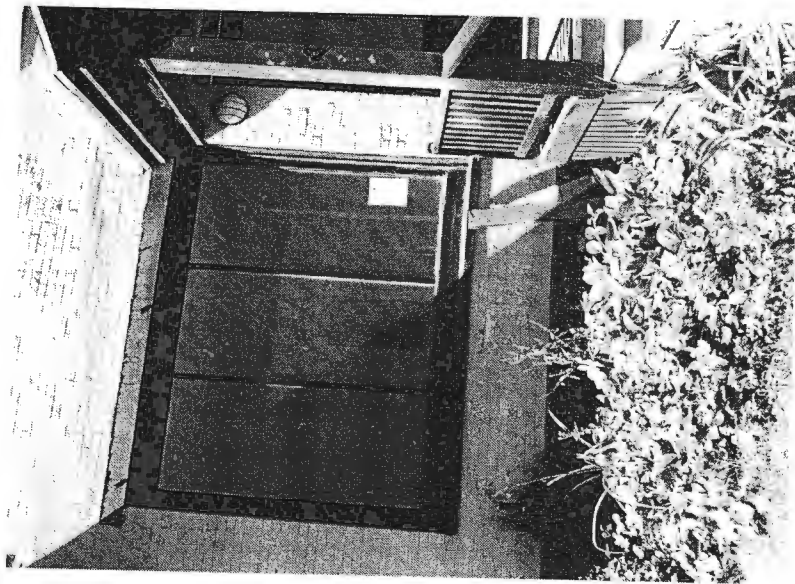
\$2,842.07

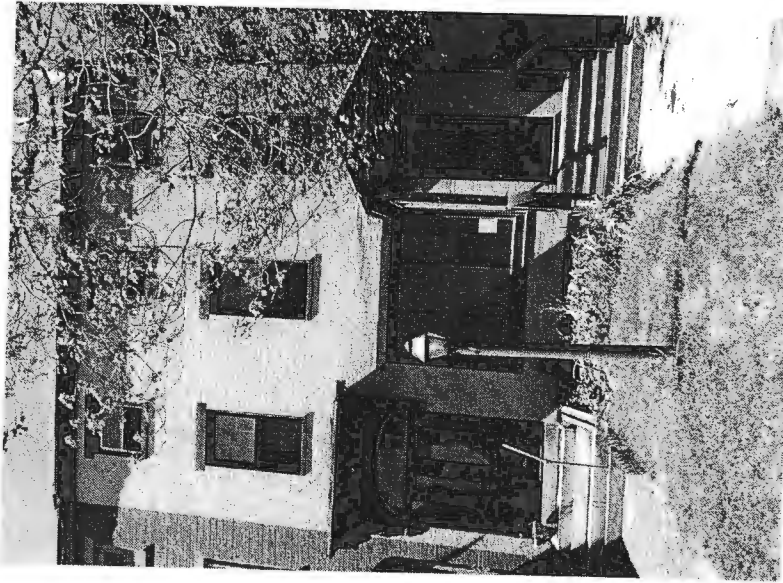
- *Price good for 30 days from above date.
- *Please sign and return one copy, at that time material will be ordered
- *50% Deposit required when ordered, COD upon completion of work

Accepted:
Printed:
Date:


JOSEPH MANNING
4/21/12

By Portland Glass Co.







PORTLAND MAINE

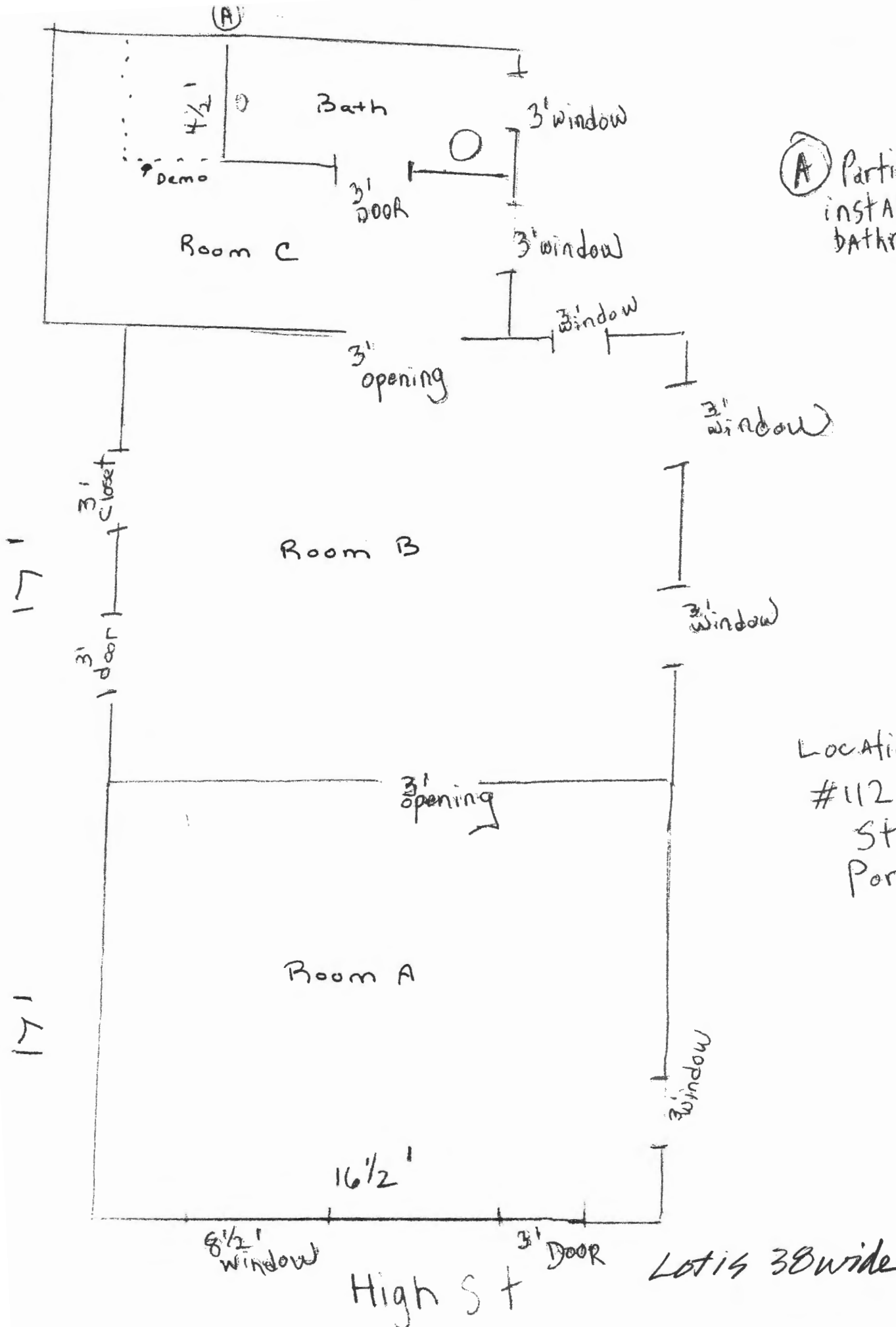
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PROJECTS IN HISTORIC DISTRICTS

Extra Information Needed

(As applicable/appropriate to your project)

- Exterior photographs (REQUIRED for ALL applications.) Include general streetscape view, view of entire building & close ups of affected area(s).
- Sketches or elevation drawings (at a MINIMUM ¼" scale). Please label relevant dimensions. 11" X 17" plans are recommended for legibility.
- Details or sections, where applicable
- Floor plans (where applicable)
- Site plans showing relative location of adjoining structures.
- Catalog cuts or product information (eg; proposed windows, doors, lighting fixtures, HVAC, etc.)
- Materials – list all visible exterior materials. Samples are helpful.
- OTHER (explain)

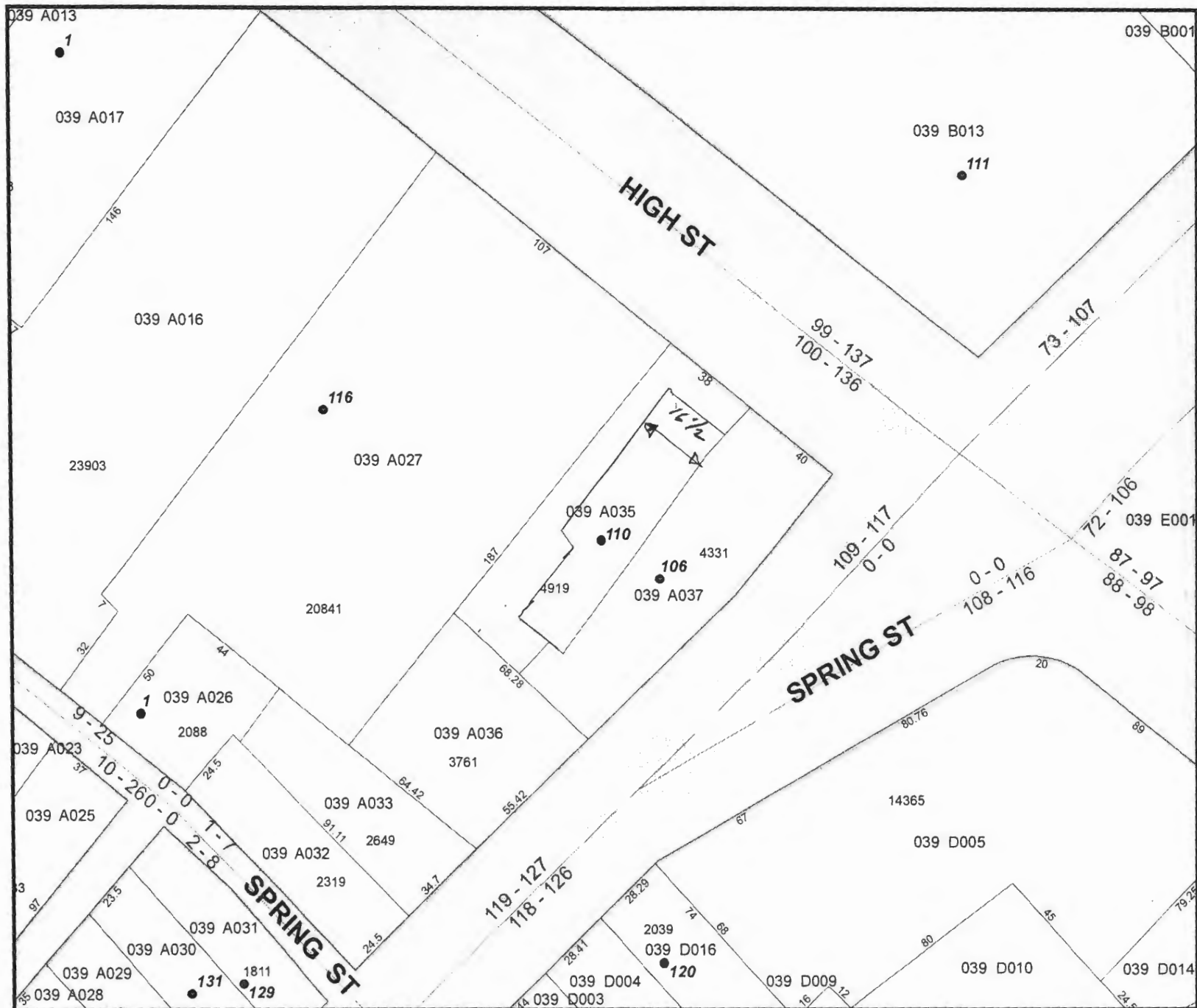


(A) Partition installed in bathroom

Location
 #112 High Street
 Portland

High St Lot is 38 wide

39-A-35



1 inch = 50 feet

0 25 50

Feet

Map Produced by the City of
Portland's ArcGIS Server
Web Application.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division

Location: 110 HIGH ST

CBL: 039- A-035-001

Issued to: 110 HIGH STREET ASSOCIATES. LLC
LINDA JACOBS

Date Issued: 9/5/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2012-07-4551-CH OF USE, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

FIRST FLOOR FRONT

APPROVED OCCUPANCY

USE GROUP B
OFFICES
TYPE 5B
MUBEC 2009

Limiting Conditions: This certificate certifies the use of the building only. It does not certify building code compliance.

Approved:

9-5-2012

(Date)

Inspector

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.