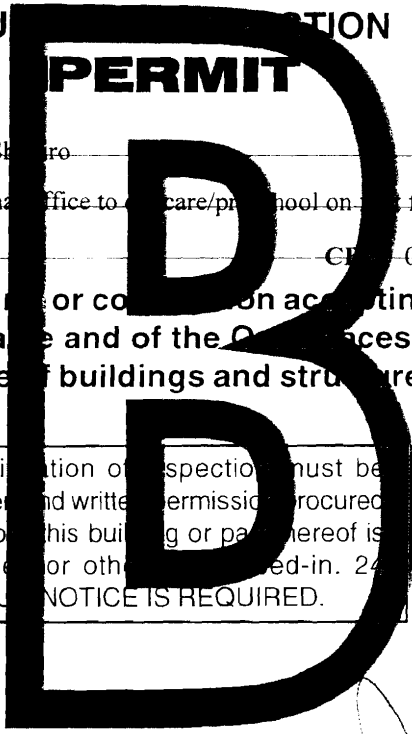


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU **PERMIT** ICTION

Please Read Application And Notes, If Any, Attached

Permit Number: 090001



This is to certify that TREE SCHOOL LLC / Scott Shiro
has permission to Change of use from professional office to day care/ preschool on 1st floor, interior alterations to meet fire code, r
AT 131 SPRING ST CE 039 A030001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 1/23/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0001	Issue Date:	CBL: 039 A030001
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Location of Construction: 131 SPRING ST	Owner Name: TREE SCHOOL LLC	Owner Address: 325 GREELY RD	Phone: 207-730-1230
Business Name:	Contractor Name: Scott Shapiro	Contractor Address: PO Box 25, 325 Greely Road Cumberl	Phone 2077301230
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-3

Past Use: Commercial - medical office (Birthing Center)	Proposed Use: Commercial - First Floor Daycare/Second floor vacant/ Third Floor professional office (massage therapist).	Permit Fee: \$30.00	Cost of Work: \$15.00 \$0.00	CEO District: 2
Proposed Project Description: Change of use from professional office to daycare/preschool on first floor, interior alterations to meet fire code, repair fire escape ladder		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: <i>E/B</i> Type: <i>SB</i> <i>IBC-2003</i>	

Signature: *[Signature]* Signature: *[Signature]*
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: lmd	Date Applied For: <i>12/30/2008</i> 01/02/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>11/8/09</i>	Date: _____	Date: <i>Any exterior work requires a separate review & approval thru Historic Preservation.</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
 Portland, Maine 04101

INVOICE FOR PERMIT FEES

Application No: 9-0001	Applicant: TREE SCHOOL LLC
Project Name: Change of use from professional off	Location: 131 SPRING ST
CBL: 039 A030001	Development Type:
Invoice Date: 01/09/2009	

Previous Balance	-	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$30.00		\$30.00		\$115.00		\$30.00		\$85.00	On Receipt

First Billing

Previous Balance	\$30.00
Payment Received 1/2/2009 - Thank you	\$30.00

<u>Fee Description</u>	<u>Qty</u>	<u>Fee/Deposit Charge</u>	
Certificate of Occupancy	1	\$75.00	
Change of Use First \$1000	1	\$30.00	
Change of Use Add'l \$1000	1	\$10.00	
		<u>\$115.00</u>	
	Total Current Fees:	+	\$115.00
	Total Current Payments:	-	\$30.00
	Amount Due Now:		\$85.00

 Detach and remit with payment

Bill to: TREE SCHOOL LLC
 325 GREELY RD
 NORTH YARMOUTH, ME 04097

CBL 039 A030001
Application No: 9-0001
Invoice Date: 01/09/2009
Invoice No: 33507
Total Amt Due: \$85.00
Payment Amount:

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0001	Date Applied For: 12/30/2008	CBL: 039 A030001
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Location of Construction: 131 SPRING ST	Owner Name: TREE SCHOOL LLC	Owner Address: 325 GREELY RD	Phone: 207-730-1230
Business Name:	Contractor Name: Scott Shapiro	Contractor Address: PO Box 25, 325 Greely Road Cumberl	Phone: (207) 730-1230
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - First Floor Daycare/Second floor vacant/ Third Floor professional office (massage therapist).	Proposed Project Description: Change of use from professional office to daycare/preschool on first floor, interior alterations to meet fire code, repair fire escape ladder
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/08/2009

Note: **Ok to Issue:**

- 1) With the issuance of this permit and the certificate of occupancy, the use of the building will be: first floor pre-school, second floor professional office (currently vacant), & third floor professional office (massage therapist).
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) Separate permits shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/23/2009

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 01/21/2009

Note: **Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) All means of egress to remain accessible at all times
- 3) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 4) Occupancy is restricted to 12 or less. No increase is allowed without application for permit and the installation of a Fire Alarm system with a Master Box to be installed per city ordinance. THE OCCUPANT LOAD SHALL BE POSTED IN A CONSPICUOUS LOCATION.
- 5) Application requires State Fire Marshal approval.

Comments:

1/2/2009-amachado: Left voicemail for Scott Shapiro. Mike Hay's letter to State Fire Marshall's office says the owner will be repairing the existing fire escape at the upper two floors. Is this still part of the permit application?

Location of Construction: 131 SPRING ST	Owner Name: TREE SCHOOL LLC	Owner Address: 325 GREELY RD	Phone: 207-730-1230
Business Name:	Contractor Name: Scott Shapiro	Contractor Address: PO Box 25, 325 Greely Road Cumberl	Phone (207) 730-1230
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

1/7/2009-amachado: Left vcm for Scott Shapiro. He left me a vcm yesterday. I told him that he needs to come in and give us an exact description of what is being done to the building because it is unclear between the two different permits and Mike Hays letter. He also needs to pick out what plans now apply & which don't.

1/8/2009-amachado: Scott Shapiro came in and revised the applicaton so it is clear. Still needs to pay for certificate of occupancy. Add 10 for cost of work and owes for C of O owes total of 85 per Ann

1/23/2009-jmb: Left voicemsg for Mike H. To verify the occupants are over the age of 2-1/2 to classify as education use. He called back to say the DHS license is for over the age of 2-1/2, ok to issue.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>131 SPRING STREET</u>		
Total Square Footage of Proposed Structure <u>3434 S.F.</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>TREE SCHOOL LLC</u>	Telephone: <u>(207) 730-3619</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>TREE SCHOOL, LLC</u> <u>131 SPRING ST</u> <u>PORTLAND</u> <u>730-3619</u>	Cost Of Work: \$ <u>1,500.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>MEDICAL OFFICE</u>	If vacant, what was the previous use? _____	
Proposed Specific use: <u>DAYCARE / TREE SCHOOL - 1ST FLOOR</u>	Is property part of a subdivision? <u>NO</u> If yes, please name _____	
Project description: <u>Change of use, interior renovations to meet fire code</u> <u>Repair ladder for fire escape</u>		
Contractor's name, address & telephone: <u>SCOTT SHAPIRO</u> <u>325 GREAT ST</u> <u>NEW YORKMOUTH ME</u> <u>SCOTT</u>	<u>(207) 730-3619</u>	
Who should we contact when the permit is ready: _____	Mailing address: _____	
Phone: <u>730-3619</u>		<u>6002 8 JAN</u>

revised original came in 12/30/08

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>1/8/09</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>131 SPRING STREET</u>		
Total Square Footage of Proposed Structure/Area <u>3,432 SF</u>	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>TREE SCHOOL LLC</u> Address <u>325 GROELY RD</u> City, State & Zip <u>LUMBOLLAND, ME</u>	Telephone: <u>207-730-1230</u>
Lessee/DBA (If Applicable) <u>DEC 30 2008</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>3,500.</u> C of O Fee: \$ <u>60.-</u> Total Fee: \$ <u>\$60.-</u>
Current legal use (i.e. single family) <u>BUSINESS/COMMERCIAL</u> - professional office / medical office If vacant, what was the previous use? <u>vacant</u> Proposed Specific use: <u>DAY CARE AT FIRST FLOOR / BUSINESS AT 2 & 3 FLOORS</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>AMENDMENT TO PERMIT NO. 08-1516. THIRD FLOOR TENANT UNDERGROUND message therapist (per letter from w/ Scott Shapiro 1/2/09)</u>		
Contractor's name: <u>SCOTT SHAPIRO</u>		
Address: <u>325 GROELY RD.</u>		
City, State & Zip: <u>LUMBOLLAND, ME</u>		Telephone: <u>730-1230</u>
Who should we contact when the permit is ready: <u>CONTRACTOR (ANYONE)</u>		Telephone: <u>730-1230</u>
Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Scott Shapiro Date: 12/30/08

This is not a permit; you may not commence ANY work until the permit is issue

GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

MEMO

DATE: January 14, 2009
TO: Capt Greg Cass
FROM: Mike Hays
RE: 131 Spring Street Change of Use Request – First Floor Level
CC: Rich McCarthy, Scott Shapiro, file

As requested, the following information is offered in consideration of the Owner's request for a change-of-use for the first floor level from Business to Day Care/Education use at the above stated address in Portland.

Square Foot Area of Proposed Day Care/Education Use: 863 sf Square foot area of stairs, toilets, staff, and non-occupied areas: 599 sf Maximum occupancy based on 35 sf/occupant: 25 occupants Maximum occupancy of children per Owner's Business Plan: 12 occupants

Since the square foot occupancy calculations exceed the number of occupants allowed in a home day care definition, the Owner has agreed to restrict occupancy to 12 or less children at all times for this use.

I trust this information will assist you with your review of the Owner's request for the Change of Use permit. Please do not hesitate to contact me directly with any questions.

Thank you for your assistance with this project.

From: Gregory Cass
To: Michael Hays
Date: 1/14/2009 8:33:55 AM
Subject: Re: 131 Spring Street Occupancy Memo

Michael

Thank you for your prompt response. While the square footage allows for a max occupant load of 25 your request to limit occupancy to 12 is granted.

If however the occupant load increases a complete review of the space will be required to insure compliance with NFPA and the city of Portland fire alarm ordinance.

Additionally

The occupant load shall be posted in a conspicuous location.

Captain Greg Cass
Portland Fire Dept.
Fire Prevention Officer

>>> "Michael Hays" <mhays@earthlink.net> 1/14/2009 6:45:00 AM >>>

Greg,

Let me know if this is sufficient for your needs....

Thanks!

Michael Hays
Grant Hays Associates
P.O. Box 6179
Falmouth, Maine 04105
207.871.5900 v
207.871.9308 f
mhays@earthlink.net
EarthLink Revolves Around You.

CC: Rich McCarthy; Scott Shapiro

GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

December 28, 2008

Rich McCarthy, Plans Inspector
Department of Public Safety
State Fire Marshal's Office
State House Station 52
Augusta, Maine 04333-0052

Re: Change of Use at First Floor Level
131 Spring Street
Portland, Maine

Dear Rich,

Attached are supporting document submitted on behalf of Scott Shapiro for a change in use application for the above stated property. The submission includes the following:

- A) Permit Applications
- B) NFPA Appurtenances symbols and Fire Alarm/Sprinkler system notes
- C) NFPA details for stairs and railings
- D) Code Analysis with supporting copies of 2006 NFPA and 2006 IBC Codes
- E) Floor plan sketches indicating existing elements and new work to be performed
- F) Fee payments
- G) CD with existing conditions photographs

The existing building is a 3-story structure with masonry exterior/bearing walls and wood-framed floors and roof. The building is presently classified as Business Use on all three floors. The building has one egress stair for all three floors, as was typical during the time this building was constructed and used primarily as a two-family residence previous to the change of use to Business in the late 1990's.

When the last change of use occurred (Residential to Business) the building was upgraded with an NFPA fire alarm system and sprinkler systems. In considering the change in occupancy request to Educational at the first floor only, the Owner has requested a code analysis to determine which elements of the existing building, if any, need to be upgraded to meet the relevant code requirements.

In summary, the attachments indicate specific areas in which improvements need to be made, most notably adding NFPA devices and handrails at stairs. The Owner will also be repairing the existing fire escape at the upper two floors. Other modifications are also noted on the drawings and indicated in the supporting code analysis.

Doctor is office.

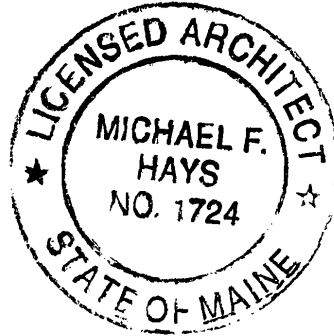
The Owner is also in the process of applying for a change of occupancy permit from the city of Portland. Copies of this same package will be presented to the City of Portland Code Enforcement Office and to Captain Greg Cass of the Portland Fire Department.

I trust you will find this package sufficient in which to complete your review for permitting the requested change in use. Please do not hesitate to contact me directly with any questions.

Respectfully Submitted,



Michael F. Hays, RA
ARC #1724



GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

MEMO

DATE: December 28, 2008
TO: Captain Greg Cass
FROM: Mike Hays
RE: 131 Spring Street Change of Occupancy Use
CC: Scott Shapiro, Owner, file

Attached is the package sent to the State Fire Marshal's office for permit approval to change the occupancy of the building at 131 Spring Street from Business to Educational at the first floor level only.

Scott Shapiro, the Owner, is coordinating the local approval for the Change in Use with the Code Enforcement Office at Portland City Hall. I informed Scott I'd sent you a copy directly, as it may help expedite the City's review.

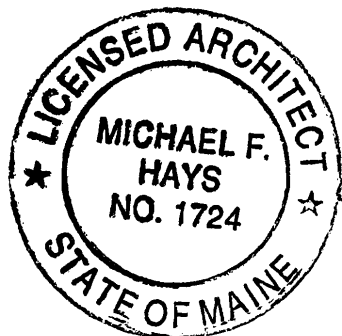
Please do not hesitate to contact me directly with any questions.

Thanks for your assistance with this project. As always, I look forward to working with you on these unique situations.

Respectfully,



Michael F. Hays, RA
Maine Lic. #ARC 1724





STATE OF MAINE
Department of Public Safety
Bureau of Building Codes and
Standards
State House Station
Augusta, ME 04333-0052

JOHN ELIAS BALDACCI
GOVERNOR

ANNE H. JORDAN
COMMISSIONER

Project Information

Project Name: 131 SPRING STREET
Street Location: 131 SPRING STREET Town: PORTLAND
Square Footage: 3,432 Building Code Surcharge: \$137.28

Sec. 13. 25 MRSA §2450-A is enacted to read:

§ 2450-A. Surcharge on plan review fee for Uniform Building Codes and Standards Fund

In addition to the fees established in section 2450, a surcharge of 4¢ per square foot of occupied space must be levied on the existing fee schedule for new construction, reconstruction, repairs, renovations or new use for the sole purpose of funding the activities of the Technical Building Codes and Standards Board with respect to the Maine Uniform Building and Energy Code, established pursuant to the Title 10, chapter 1103, the activities of the Bureau of Building Codes and Standards under chapter 314 and the activities of the Executive Department, State Planning Office under Title 30-A, section 4451, subsection 3-A, except that the fee for review of a plan for the renovation of a public school, including the fee established under section 2450, may not exceed \$450. Revenue collected from this surcharge must be deposited into the Uniform Building Codes and Standards Fund established by section 2374.

Date Fee Received: _____

Check # : _____

CODE ANALYSIS

DAY CARE/BUSINESS OCCUPANCY 131 SPRING STREET PORTLAND, MAINE

December 28, 2008

NFPA 101 Life Safety Code - 2006 Edition

Building Classification:	New Day-Care (Ch. 16) at First Floor (LED) & Existing Business (Ch 39) at Second & Third Floor
Hazard Classification:	Ordinary Hazard
Occupant Loads:	Day-Care – 12 Maximum Occupants plus staff. Business (100 sf/occ) – 16 occ (760 SF/FLR)
Separation of Use Rating:	1 hour (existing complies)
Janitor, Mech, Stor Rating:	1 hour (existing complies)
Stair Rating:	2 hours (1 hour is sprinkled) (existing complies)
Shafts/Elevators:	2 hours (NA)
Area of Refuge:	1 hour rated (existing complies)
Minimum Stair width:	44" clear; 36" if less than 50 occupants served (existing complies)
Maximum Riser height:	7"; 8" at existing (existing complies)
Minimum Tread width:	11"; 9" at existing (existing complies)
Minimum Headroom:	6'-8" at stairs; 7'-6" at occupied spaces (existing complies)
Maximum ht between landings:	12'-0" (existing complies)
Guardrail Height:	42"; 30" at existing (existing complies)
Handrail height:	34"-38"; 30" at existing (existing complies)
Handrail top extension:	12" horz. (at new handrails)
Handrail bottom extension:	11" angled + 12" horz. (at new handrails)
Handrail diameter:	1-1/4" O.D. (at new handrails)
Maximum balluster open space:	less than 4" (modify existing to comply)

<u>Egress Components</u>	<u>Day Care</u>	<u>Business</u>
Max. Allowable Travel Distance:	150'/200'	200'/300'
Max. Allowable Common Path:	75'/100'	75'/100'
Max. Allowable Dead End Corridor:	20'/50'	20'/50'
Minimum Egress Corridor Width:	44"/36"	36" (under 50 occ)
Minimum Number of Required Exits	2 at each floor	2; (1 w/ exceptions: Single Tenant; 2 story; sprinkled; 100' max travel distance)
Minimum Horz Egress Enclosure rating:	1 hr./none	1 hr./none
Separation of exits:	0.5/0.33	0.5/0.33
Fire Escapes as means of egress:	Allowed	Allowed
Minimum Egress Door Width:	36"/28" at existing	36"/28" at existing
Egress windows:	Not required	2 nd Floor existing
Smoke Barriers:	Not Required	Not required

Exit Lighting:	Required (existing)	Required (existing)
Emergency Lighting:	Required (existing)	Required (existing)
Fire Detection System:	Required (existing)	Required
Fire Sprinkler System:	Required (existing)	Required (existing)
Fire Alarm System:	Required (existing)	Required (existing)
Portable Fire Extinguishers:	Required (existing)	Required (existing)
Finishes at egress:	Class A (existing)	Class A (existing)
Finishes at occupied areas:	Class A or B (existing)	Class A or B (existing)

to individual rooms, apartments, or other occupied spaces. Where the authority having jurisdiction finds the required path of travel to be obstructed by furniture or other movable objects, the authority shall be permitted to require that such objects be secured out of the way or shall be permitted to require that railings or other permanent barriers be installed to protect the path of travel against encroachment.

7.1.10.2.3 Mirrors shall not be placed on exit doors. Mirrors shall not be placed in or adjacent to any exit in such a manner as to confuse the direction of egress.

7.1.11 Sprinkler System Installation. Where another provision of this chapter requires an automatic sprinkler system, the sprinkler system shall be installed in accordance with the subparts of 9.7.1.1 permitted by the applicable occupancy chapters.

7.2 Means of Egress Components.

7.2.1 Doors.

7.2.1.1 General.

7.2.1.1.1 A door assembly in a means of egress shall conform to the general requirements of Section 7.1 and to the special requirements of 7.2.1. Such an assembly shall be designated as a door.

7.2.1.1.2 Every door and every principal entrance that is required to serve as an exit shall be designed and constructed so that the path of egress travel is obvious and direct. Windows that, because of their physical configuration or design and the materials used in their construction, have the potential to be mistaken for doors shall be made inaccessible to the occupants by barriers or railings.

7.2.1.1.3* For the purposes of Section 7.2, a building shall be considered to be occupied at any time it is open for general occupancy, at any time it is open to the public, or at any other time it is occupied by more than 10 persons.

7.2.1.2 Width.

7.2.1.2.1* Egress Capacity Width. For purposes of calculating capacity, the width of doors shall be measured as follows:

- (1) For new swinging doors, only the width of the doorway when the door is open 90 degrees, as measured in accordance with 7.2.1.2.1(4) and 7.2.1.2.1(5), shall be included.
- (2) For other types of new doors, only the width of the doorway when the door is in the fully open position, as measured in accordance with 7.2.1.2.1(4) and 7.2.1.2.1(5), shall be included.
- (3) For any existing door installation, only the width of the doorway when the door is in the fully open position, as measured in accordance with 7.2.1.2.1(4) and 7.2.1.2.1(5), shall be included.
- (4) For all doors, projections not more than 3½ in. (90 mm) at each side of the doorway at a height of not more than 38 in. (965 mm) shall not be considered a reduction in egress capacity width.
- (5) For swinging doors, egress capacity width shall be measured between the face of the door and the stop.

7.2.1.2.2 Clear Width. Clear width shall be measured as follows:

- (1) At the narrowest point in the door opening
- (2) For swinging doors, between the face of the door and the stop
- (3) Without subtracting for the obstructions permitted by 7.2.1.2.3.2 and 7.2.1.2.3.3

7.2.1.2.3* Measurement.

7.2.1.2.3.1 For purposes of determining minimum door width, the clear width shall be used unless door leaf width is specified.

7.2.1.2.3.2 For swinging doors, projections of not more than 4 in. (100 mm) into the doorway width on the hinge side shall not be considered reductions in width, provided that such projections are for purposes of accommodating panic hardware or fire exit hardware and are located not less than 34 in. (865 mm) above the floor.

7.2.1.2.3.3 Projections exceeding 6 ft 8 in. (2030 mm) above the floor shall not be considered reductions in width.

7.2.1.2.4 Minimum Door Width. Door openings in means of egress shall be not less than 32 in. (810 mm) in clear width, unless one of the following conditions exists:

- (1) Where a pair of doors is provided, not less than one of the doors shall provide not less than a 32-in. (810-mm) clear width opening.
- * (2) Exit access doors serving a room not exceeding 70 ft² (6.5 m²) and not required to be accessible to persons with severe mobility impairments shall be not less than 24 in. (610 mm) in door leaf width.
- * (3) Doors serving a building or portion thereof not required to be accessible to persons with severe mobility impairments shall be permitted to be 28 in. (710 mm) in door leaf width.
- * (4) In existing buildings, the existing door leaf width shall be not less than 28 in. (710 mm).
- (5) Doors in detention and correctional occupancies as otherwise provided in Chapter 22 and Chapter 23 shall not be required to comply with 7.2.1.2.4.
- (6) Interior doors in dwelling units as otherwise provided in Chapter 24 shall not be required to comply with 7.2.1.2.4.
- (7) A power-operated door leaf located within a two-leaf opening shall be exempt from the minimum 32-in. (810-mm) single-leaf requirement in accordance with 7.2.1.9.1.5.
- (8) Revolving doors as provided in 7.2.1.10 shall be exempt from the minimum 32-in. (810-mm) width requirement.
- (9)* Where a single door is provided for discharge from a stairway required to comply with 7.2.2.2.1.2(B) and such door serves as the sole means of exit discharge from such stairway, the clear width of the door opening, measured in accordance with 7.2.1.2.2, shall be not less than two-thirds the nominal width of the stairway.

7.2.1.3 Floor Level.

7.2.1.3.1 The elevation of the floor surfaces on both sides of a door shall not vary by more than ½ in. (13 mm), unless otherwise permitted by 7.2.1.3.5 or 7.2.1.3.6.

7.2.1.3.2 The elevation of the floor surfaces required by 7.2.1.3.1 shall be maintained on both sides of the doorway for a distance not less than the width of the widest leaf.

7.2.1.3.3 Thresholds at doorways shall not exceed ½ in. (13 mm) in height.

7.2.1.3.4 Raised thresholds and floor level changes in excess of ¼ in. (6.3 mm) at doorways shall be beveled with a slope not steeper than 1 in 2.

7.2.1.3.5 In existing buildings, where the door discharges to the outside or to an exterior balcony or exterior exit access, the floor level outside the door shall be permitted to be one

- (3) Approved existing stairs shall be permitted to be rebuilt in accordance with the following:
 - (a) Dimensional criteria of Table 7.2.2.2.1.1(b)
 - (b) Other stair requirements of 7.2.2
- (4) The requirements for new and existing stairs shall not apply to stairs located in industrial equipment access areas where otherwise provided in 40.2.5.2.

Table 7.2.2.2.1.1(a) New Stairs

Feature	Dimensional Criteria	
	ft/in.	mm
Minimum width	See 7.2.2.2.1.2.	
Maximum height of risers	7 in.	180
Minimum height of risers	4 in.	100
Minimum tread depth	11 in.	280
Minimum headroom	6 ft 8 in.	2030
Maximum height between landings	12 ft	3660
Landing	See 7.2.1.3, 7.2.1.4.4, and 7.2.2.3.2.	



Table 7.2.2.2.1.1(b) Existing Stairs

Feature	Dimensional Criteria	
	ft/in.	mm
Minimum width clear of all obstructions, except projections not more than 4½ in. (114 mm) at or below handrail height on each side	36 in.	915
Maximum height of risers	8 in.	205
Minimum tread depth	9 in.	230
Minimum headroom	6 ft 8 in.	2030
Maximum height between landings	12 ft	3660
Landing	See 7.2.1.3 and 7.2.1.4.4.	

7.2.2.2.1.2 Minimum New Stair Width.

(A) Where the total occupant load of all stories served by the stair is fewer than 50, the minimum width clear of all obstructions, except projections not more than 4½ in. (114 mm) at or below handrail height on each side, shall be 36 in. (915 mm).

(B)* Where stairs serve occupant loads exceeding that permitted by 7.2.2.2.1.2(A), the minimum width clear of all obstructions, except projections not more than 4½ in. (114 mm) at or below handrail height on each side, shall be in accordance with Table 7.2.2.2.1.2(B) and the requirements of 7.2.2.2.1.2(C), (D), and (E).

(C) The total cumulative occupant load assigned to a particular stair shall be that stair's prorated share of the total occupant load, as stipulated in 7.2.2.2.1.2(D) and (E), calculated in proportion to the stair width.

Table 7.2.2.2.1.2(B) New Stair Width

Total Cumulative Occupant Load Assigned to the Stair	Width
<2000 persons	44 in. (1120 mm)
≥2000 persons	56 in. (1420 mm)

(D) For downward egress travel, stair width shall be based on the total number of occupants from stories above the level where the width is measured.

(E) For upward egress travel, stair width shall be based on the total number of occupants from stories below the level where the width is measured.

(F) The clear width of door openings discharging from stairways required to comply with 7.2.2.2.1.2(B) shall be in accordance with 7.2.1.2.4(9).

7.2.2.2.2 Curved Stairs.

7.2.2.2.2.1 New curved stairs shall be permitted as a component in a means of egress, provided that the depth of tread is not less than 11 in. (280 mm) at a point 12 in. (305 mm) from the narrower end of the tread and the smallest radius is not less than twice the stair width.

7.2.2.2.2.2 Existing curved stairs shall be permitted as a component in a means of egress, provided that the depth of tread is not less than 10 in. (255 mm) at a point 12 in. (305 mm) from the narrower end of the tread and the smallest radius is not less than twice the stair width.

7.2.2.2.3 Spiral Stairs.

7.2.2.2.3.1 Where specifically permitted for individual occupancies by Chapter 12 through Chapter 42, spiral stairs shall be permitted as a component in a means of egress in accordance with 7.2.2.2.3.2 through 7.2.2.2.3.4.

7.2.2.2.3.2 Spiral stairs shall be permitted, provided that the following criteria are met:

- (1) Riser heights shall not exceed 7 in. (180 mm).
- (2) The stairway shall have a tread depth of not less than 11 in. (280 mm) for a portion of the stairway width sufficient to provide egress capacity for the occupant load served in accordance with 7.3.3.1.
- (3) At the outer side of the stairway, an additional 10½ in. (265 mm) of width shall be provided clear to the other handrail, and this width shall not be included as part of the required egress capacity.
- (4) Handrails complying with 7.2.2.4 shall be provided on both sides of the spiral stairway.
- (5) The inner handrail shall be located within 24 in. (610 mm), measured horizontally, of the point where a tread depth of not less than 11 in. (280 mm) is provided.
- (6) The turn of the stairway shall be such that the outer handrail is at the right side of descending users.

7.2.2.2.3.3 Where the occupant load served does not exceed three, spiral stairs shall be permitted, provided that the following criteria are met:

- (1) The clear width of the stairs shall be not less than 26 in. (660 mm).
- (2) The height of risers shall not exceed 9½ in. (240 mm).
- (3) The headroom shall be not less than 6 ft 6 in. (1980 mm).
- (4) Treads shall have a depth not less than 7½ in. (190 mm) at a point 12 in. (305 mm) from the narrower edge.
- (5) All treads shall be identical.
- (6) Handrails shall be provided on both sides of the stairway.

7.2.2.2.3.4 Where the occupant load served does not exceed five, existing spiral stairs shall be permitted, provided that the requirements of 7.2.2.2.3.3(1) through 7.2.2.2.3.3(5) are met.

7.2.2.2.4* Winders.

7.2.2.2.4.1 Where specified in Chapter 12 through Chapter 42, winders shall be permitted in stairs, provided that they meet the requirements of 7.2.2.2.4.2 and 7.2.2.2.4.3.

7.2.2.2.4.2 New winders shall have a tread depth of not less than 6 in. (150 mm) and a tread depth of not less than 11 in. (280 mm) at a point 12 in. (305 mm) from the narrowest edge.

7.2.2.2.4.3 Existing winders shall be permitted to be continued in use, provided that they have a tread depth of not less than 6 in. (150 mm) and a tread depth of not less than 9 in. (230 mm) at a point 12 in. (305 mm) from the narrowest edge.

7.2.2.3 Stair Details.

7.2.2.3.1 Construction.

7.2.2.3.1.1 All stairs serving as required means of egress shall be of permanent fixed construction, unless they are stairs serving seating that is designed to be repositioned in accordance with Chapter 12 and Chapter 13.

7.2.2.3.1.2 Each stair, platform, and landing, not including handrails and existing stairs, in buildings required in this *Code* to be of Type I or Type II construction shall be of noncombustible material throughout.

7.2.2.3.2 Landings.

7.2.2.3.2.1 Stairs shall have landings at door openings, except as permitted in 7.2.2.3.2.5.

7.2.2.3.2.2 Stairs and intermediate landings shall continue with no decrease in width along the direction of egress travel.

7.2.2.3.2.3 In new buildings, every landing shall have a dimension, measured in the direction of travel, that is not less than the width of the stair.

7.2.2.3.2.4 Landings shall not be required to exceed 48 in. (1220 mm) in the direction of travel, provided that the stair has a straight run.

7.2.2.3.2.5 In one- and two-family dwellings and existing buildings, a door at the top of a stair shall be permitted to open directly to the stair, provided that the door does not swing over the stair and the door serves an area with an occupant load of fewer than 50 persons.

7.2.2.3.3 Tread and Landing Surfaces.

7.2.2.3.3.1 Stair treads and landings shall be solid, without perforations, unless otherwise permitted in 7.2.2.3.3.4.

7.2.2.3.3.2* Stair treads and landings shall be free of projections or lips that could trip stair users.

7.2.2.3.3.3 If not vertical, risers on other than existing stairs shall be permitted to slope under the tread at an angle not to

exceed 30 degrees from vertical, provided that the projection of the nosing does not exceed 1½ in. (38 mm).

7.2.2.3.3.4 The requirement of 7.2.2.3.3.1 shall not apply to noncombustible grated stair treads and landings in the following occupancies:

- (1) Assembly occupancies as otherwise provided in Chapter 12 and Chapter 13
- (2) Detention and correctional occupancies as otherwise provided in Chapter 22 and Chapter 23
- (3) Industrial occupancies as otherwise provided in Chapter 40

7.2.2.3.4* Tread and Landing Slope. The tread and landing slope shall not exceed ¼ in./ft (21 mm/m) (a slope of 1 in 48).

7.2.2.3.5* Riser Height and Tread Depth. Riser height shall be measured as the vertical distance between tread nosings. Tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge but shall not include beveled or rounded tread surfaces that slope more than 20 degrees (a slope of 1 in 2.75). At tread nosings, such beveling or rounding shall not exceed ½ in. (13 mm) in horizontal dimension.

7.2.2.3.6 Dimensional Uniformity.

7.2.2.3.6.1 Variation in excess of ⅜ in. (4.8 mm) in the depth of adjacent treads or in the height of adjacent risers shall be prohibited, unless otherwise permitted in 7.2.2.3.6.3.

7.2.2.3.6.2 The tolerance between the largest and smallest riser or between the largest and smallest tread shall not exceed ⅜ in. (9.5 mm) in any flight.

7.2.2.3.6.3 Where the bottom riser adjoins a sloping public way, walk, or driveway having an established grade and serving as a landing, the bottom riser shall be permitted to have a variation in height of not more than 1 in. in every 12 in. (25 mm in every 300 mm) of stairway width.

7.2.2.4 Guards and Handrails.

7.2.2.4.1 Handrails.

7.2.2.4.1.1 Stairs and ramps shall have handrails on both sides, unless otherwise permitted in 7.2.2.4.1.5 or 7.2.2.4.1.6.

7.2.2.4.1.2 In addition to the handrails required at the sides of stairs by 7.2.2.4.1.1, the following provisions shall apply:

- (1) For new stairs exceeding 6 ft 3 in. (1905 mm) in width, handrails shall be provided within 30 in. (760 mm) of all portions of the required egress width.
- (2) For existing stairs, handrails shall be provided within 44 in. (1120 mm) of all portions of the required egress width.

7.2.2.4.1.3 Where new intermediate handrails are provided in accordance with 7.2.2.4.1.2, the minimum clear width between handrails shall be 20 in. (510 mm).

7.2.2.4.1.4* The required egress width shall be provided along the natural path of travel.

7.2.2.4.1.5 If a single step or a ramp is part of a curb that separates a sidewalk from a vehicular way, it shall not be required to have a handrail.

7.2.2.4.1.6 Existing stairs, existing ramps, stairs within dwelling units and within guest rooms, and ramps within dwelling units and guest rooms shall be permitted to have a handrail on one side only.

7.2.2.4.2 Continuity. Required guards and handrails shall continue for the full length of each flight of stairs. At turns of new stairs, inside handrails shall be continuous between flights at landings.

7.2.2.4.3 Projections. The design of guards and handrails and the hardware for attaching handrails to guards, balusters, or walls shall be such that there are no projections that might engage loose clothing. Openings in guards shall be designed to prevent loose clothing from becoming wedged in such openings.

7.2.2.4.4* Handrail Details.

7.2.2.4.4.1 New handrails on stairs shall be not less than 34 in. (865 mm), and not more than 38 in. (965 mm), above the surface of the tread, measured vertically to the top of the rail from the leading edge of the tread.

7.2.2.4.4.2 Existing required handrails shall be not less than 30 in. (760 mm), and not more than 38 in. (965 mm), above the surface of the tread, measured vertically to the top of the rail from the leading edge of the tread.

7.2.2.4.4.3 The height of required handrails that form part of a guard shall be permitted to exceed 38 in. (965 mm), but shall not exceed 42 in. (1065 mm), measured vertically to the top of the rail from the leading edge of the tread.

7.2.2.4.4.4* Additional handrails that are lower or higher than the main handrail shall be permitted.

7.2.2.4.4.5 New handrails shall be installed to provide a clearance of not less than 2¼ in. (57 mm) between the handrail and the wall to which it is fastened.

7.2.2.4.4.6 Handrails shall include one of the following features:

- (1) Circular cross section with an outside diameter of not less than 1¼ in. (32 mm) and not more than 2 in. (51 mm)
- (2)*Shape that is other than circular with a perimeter dimension of not less than 4 in. (100 mm), but not more than 6¼ in. (160 mm), and with the largest cross-sectional dimension not more than 2¼ in. (57 mm), provided that graspable edges are rounded so as to provide a radius of not less than ⅛ in. (3.2 mm)

7.2.2.4.4.7 New handrails shall be continuously graspable along their entire length.

7.2.2.4.4.8 Handrail brackets or balusters attached to the bottom surface of the handrail shall not be considered to be obstructions to graspability, provided that the following criteria are met:

- (1) They do not project horizontally beyond the sides of the handrail within 1½ in. (38 mm) of the bottom of the handrail and provided that, for each additional ½ in. (13 mm) of handrail perimeter dimension greater than 4 in. (100 mm), the vertical clearance dimension of 1½ in. (38 mm) is reduced by ⅛ in. (3.2 mm).
- (2) They have edges with a radius of not less than 0.01 in. (0.25 mm).

7.2.2.4.4.9 New handrail ends shall be returned to the wall or floor or shall terminate at newel posts.

7.2.2.4.4.10 In other than dwelling units, new handrails that are not continuous between flights shall extend horizontally, at the required height, not less than 12 in. (305 mm) beyond the top riser and continue to slope for a depth of one tread beyond the bottom riser.

7.2.2.4.4.11 Within dwelling units, handrails shall extend, at the required height, to at least those points that are directly above the top and bottom risers.

7.2.2.4.5 Guard Details.

7.2.2.4.5.1 The height of guards required in 7.1.8 shall be measured vertically to the top of the guard from the surface adjacent thereto.

7.2.2.4.5.2 Guards shall be not less than 42 in. (1065 mm) high, except as permitted by one of the following:

- (1) Existing guards within dwelling units shall be permitted to be not less than 36 in. (915 mm) high.
- (2) The requirement of 7.2.2.4.5.2 shall not apply in assembly occupancies where otherwise provided in Chapter 12 and Chapter 13.
- (3)*Existing guards on existing stairs shall be permitted to be not less than 30 in. (760 mm) high.

7.2.2.4.5.3* Open guards, other than approved, existing open guards, shall have intermediate rails or an ornamental pattern such that a sphere 4 in. (100 mm) in diameter is not able to pass through any opening up to a height of 34 in. (865 mm), and the following also shall apply:

- (1) The triangular openings formed by the riser, tread, and bottom element of a guardrail at the open side of a stair shall be of such size that a sphere 6 in. (150 mm) in diameter is not able to pass through the triangular opening.
- (2) In detention and correctional occupancies, in industrial occupancies, and in storage occupancies, the clear distance between intermediate rails, measured at right angles to the rails, shall not exceed 21 in. (535 mm).

7.2.2.5 Enclosure and Protection of Stairs.

7.2.2.5.1 Enclosures.

7.2.2.5.1.1 All inside stairs serving as an exit or exit component shall be enclosed in accordance with 7.1.3.2.

7.2.2.5.1.2 Inside stairs, other than those serving as an exit or exit component, shall be protected in accordance with Section 8.6.

7.2.2.5.1.3 In existing buildings, where a two-story exit enclosure connects the story of exit discharge with an adjacent story, the exit shall be permitted to be enclosed only on the story of exit discharge, provided that not less than 50 percent of the number and capacity of exits on the story of exit discharge are independent of such enclosures.

7.2.2.5.2* Exposures.

7.2.2.5.2.1 Where nonrated walls or unprotected openings enclose the exterior of a stairway, other than an existing stairway, and the walls or openings are exposed by other parts of the building at an angle of less than 180 degrees, the building enclosure walls within 10 ft (3050 mm) horizontally of the nonrated wall or unprotected opening shall be constructed as required for stairway enclosures, including opening protectives.



State of Maine
 Department of Public Safety
Construction Permit



Not
 Reviewed
 for Barrier
 Free

18765

Sprinkled
Sprinkler Supervised

TREE SCHOOL
 Located at: 131 SPRING STREET
PORTLAND
 Occupancy/Use: DAY CARE

Permission is hereby given to:
 LINDY SHAPIRO

131 SPRING STREET
 PORTLAND, ME 04097

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.
 No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 .
 Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 27 th of June 2010

Dated the 28 th day of December A.D. 2009

Commissioner

Copy-3 Code Enforcement Officer

Comments:

Code Enforcement Officer
 PORTLAND, ME

39-A30