

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		CBL:
Permit No: 020064	Issue Date: FEB 13 2002	039 A017001

Location of Construction: 1 Congress Sq	Owner Name: Pacific & Southern Company Inc	Owner Address: One Congress Sq	Phone: 207-828-6666
Business Name: n/a	Contractor Name: N.G. Bailey	Contractor Address: Gray	Phone: 2076573200
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial / Television Station	Proposed Use: Commercial / Television Station; Pressure treated 10' x 25' wood deck on 2nd floor with aluminum & glass rail around perimeter to match other existing.	Permit Fee: \$100.00	Cost of Work: \$11,000.00	CEO District: 2
Proposed Project Description: Build Approx. 10' x 25' Deck - on top of existing deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: Z BOCA 99	
		Signature: <i>[Signature]</i>	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: gg	Date Applied For: 01/22/2002	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>has a site plan exemption signed 2/10/02</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>[Signature]</i> 2/11/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

02 0064

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

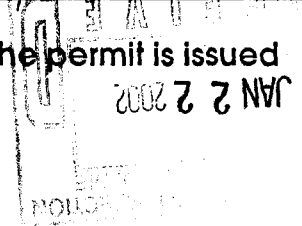
Location/Address of Construction: <u>One Congress Square Portland ME 04101</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>039</u> Block# <u>A</u> Lot# <u>017</u>	Owner: <u>Pacific + Southern Co. Inc. dba WCSHB</u>	Telephone: <u>828-6666</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>WCSH</u> <u>One Congress Sq.</u> <u>Portland ME 04101</u>	Cost Of Work: \$ <u>11,000</u> Fee: \$ <u>100.00</u>
Current use: <u>Commercial, Television station</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: <u>Pressure treated wood deck with aluminum + glass rail around perimeter to match other existing. ~ 300 ft²</u>		
Contractor's name, address & telephone: <u>N.G Bailey Gray, ME 657 3200</u>		
Who should we contact when the permit is ready: <u>Dave Munde e WCSH-TV</u>		
Mailing address: <u>One Congress Square</u> <u>Portland ME 04101</u>		<u>XX Call</u> Phone: <u>828-6666</u>

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>David F Munde</u>	Date: <u>1/10/2002</u>
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This is not a permit, you may not commence ANY work until the permit is issued



1 Congress Square

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

_____ **Footing/Building Location Inspection:** Prior to pouring concrete

_____ **Re-Bar Schedule Inspection:** Prior to pouring concrete

_____ **Foundation Inspection:** Prior to placing ANY backfill

_____ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

X **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

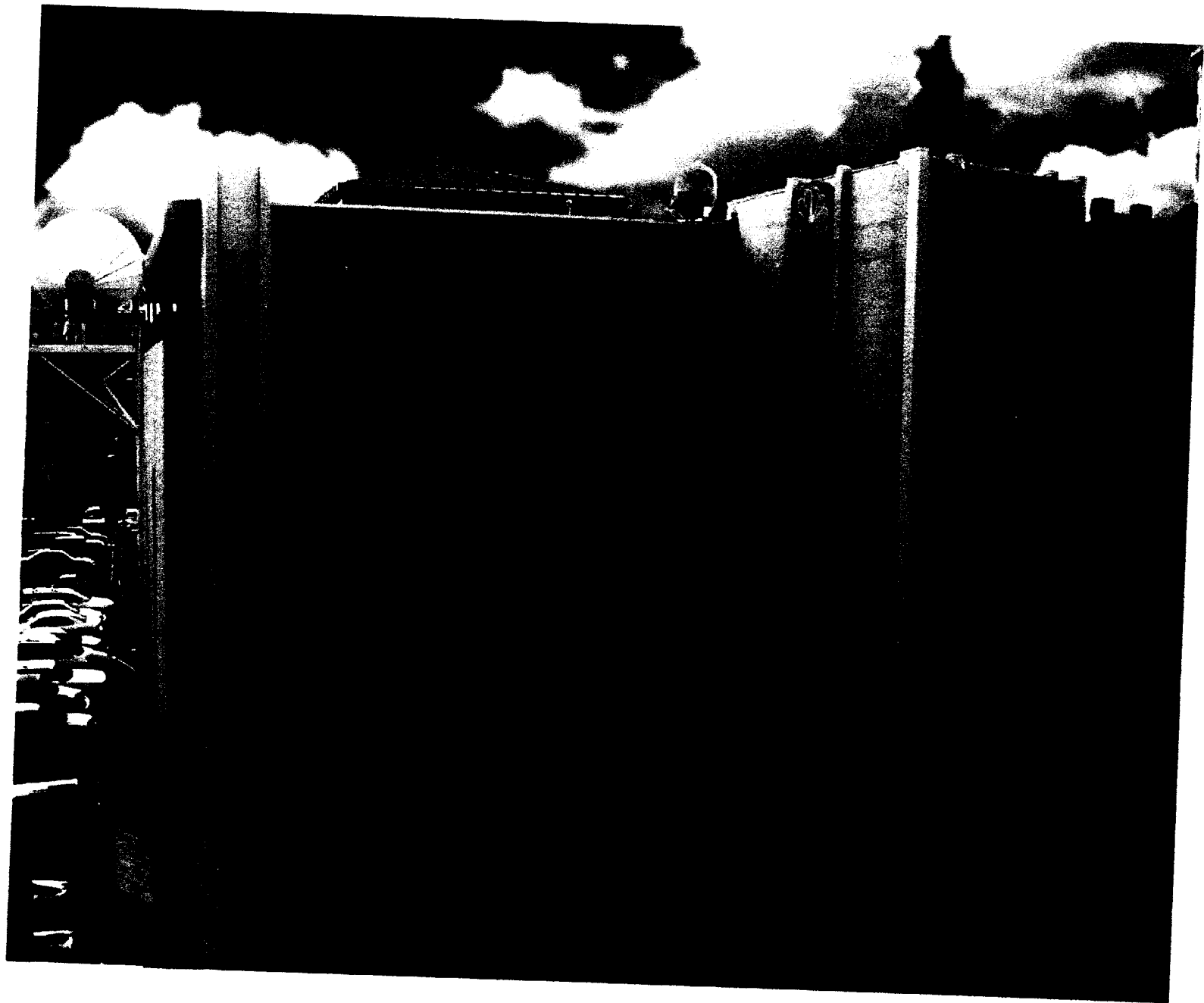
[Signature]
Signature of applicant/designee

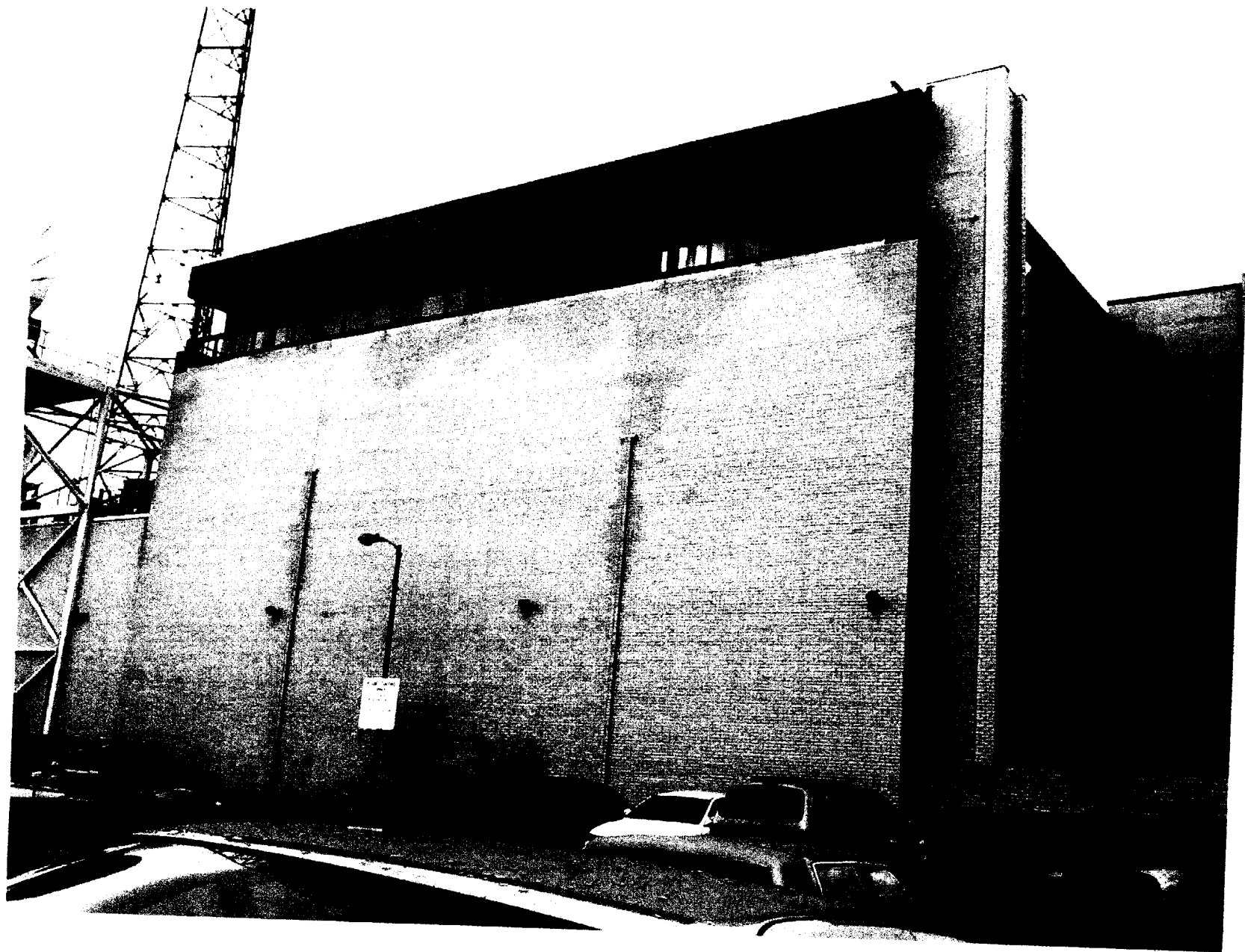
2-13-02
Date

[Signature]
Signature of Inspections Official

2-13-02
Date

CBL: 039A017 Building Permit #: 000064





APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

WCSH-TV
Applicant

1/22/2002
Application Date

One Congress Square
Applicant's Mailing Address

One Congress Square
Project Name/Description

DAVE Mundy 828-6666
Consultant/Agent/Phone Number

One Congress Square
Address of Proposed Site

Description of Proposed Development:

CBL: 039-A-017

Outdoor deck over entry way approx. 10'x25'

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4)

a) Within Existing Structures; No New Buildings, Demolitions or Additions

b) Footprint Increase Less Than 500 Sq. Ft.

c) No New Curb Cuts, Driveways, Parking Areas

d) Curbs and Sidewalks in Sound Condition/ Comply with ADA

e) No Additional Parking / No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>No Increase</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>Yes</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>

Planning Office Use Only:

Exemption Granted

Partial Exemption

Exemption Denied

not condition

EXISTING WALL

TOP VIEW
ALL WOOD TO BE
PRESSURE TREATED

ROOF EDGE

1'-0"

30'

ALUMINUM RAILINGS
AND POST

1/4" LAMINATED CLEAR GLASS

4.5
TYP-4 ALUMINUM
POST

2
TYP-3

3'-6.0"

4.0

