

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

Please Read Application And Notes, If Any, Attached

This is to certify that CONKLIN HENRY C / Papi Romano
has permission to Unit 3E Single Family Cond Repair masonry openings for structural repair
AT 269 COMMERCIAL ST unit 3E Permit Number 038 G00203E

PERMIT ISSUED
JAN 7 2008
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Bouk 1/7/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0017	Date Applied For: 01/04/2008	CBL: 038 G00203E
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Location of Construction: 269 COMMERCIAL ST unit 3E	Owner Name: CONKLIN HENRY C	Owner Address: PO BOX 219	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone (207) 797-3381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Unit 3E Single Family Condo - Repair masonry openings for structural repair	Proposed Project Description: Unit 3E Single Family Condo - Repair masonry openings for structural repair
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Dept: Historic	Status: Approved	Reviewer: Deborah Andrews	Approval Date: 01/04/2008	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 01/04/2008	Note: 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 01/07/2008	Note: 1) This approves the masonry repair at the windows with associated structural elements only.	Ok to Issue: <input checked="" type="checkbox"/>

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693** (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- _____ Footing/Building Location Inspection: Prior to pouring concrete
- _____ Re-Bar Schedule Inspection: Prior to pouring concrete
- _____ Foundation Inspection: Prior to placing ANY backfill
- _____ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- _____ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Lintel Header

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]

Signature of Applicant/Designee

Date
1.8.08

[Signature]

Signature of Inspections Official

Date

CBL: 386203E Building Permit #: 080017

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0017	Issue Date:	CBL: 038 G00203E
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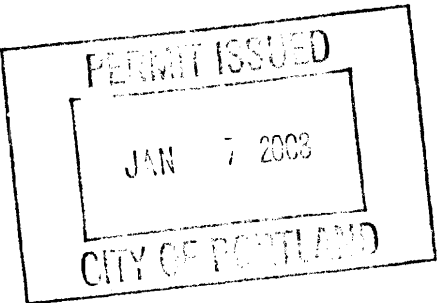
Location of Construction: 269 COMMERCIAL ST unit 3E	Owner Name: CONKLIN HENRY C	Owner Address: PO BOX 219	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone 2077973381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: B-3

Past Use: Unit 3E Single Family Condo	Proposed Use: Unit 3E Single Family Condo - Repair masonry openings for structural repair	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 1
Proposed Project Description: Unit 3E Single Family Condo - Repair masonry openings for structural repair		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: K2 Type: Structural Masonry Repair IBC-2003	
		Signature:	Signature: <i>AMB 1/7/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 01/04/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: 1/4/08 <i>AKM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation yes <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 1/4/08 <i>J. Andrews</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Harbor Landing 269 Commercial Unit 3E</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>38</u> Block# <u>G</u> Lot# <u>00203E</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Hank Conklin</u> Address <u>Box 219</u> City, State & Zip <u>Isleboro, ME 04848</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4000</u> C of O Fee: \$ Total Fee: \$
Current legal use (i.e. single family) <u>Single family Condo</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? If yes, please name Project description: <u>repair masonry openings for structural repair</u> <u>more work and permits required at later dates.</u> JAN 2008		
Contractor's name: <u>Papi/Romano Builders</u>		
Address: <u>PO Box 1079</u>		
City, State & Zip <u>Portland, Me 04104</u>		Telephone: <u>797-3381</u>
Who should we contact when the permit is ready: <u>Rick Romano</u>		Telephone: <u>797-3381</u>
Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 1/4/08

This is not a permit; you may not commence ANY work until the permit is issue

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. in addition to general notes. See specifications for requirements
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: IBC (2003) International Building Code.
2. Design wind loads are based on exposure B using 100 mph basic wind speed.
3. Seismic Design per IBC 2003:

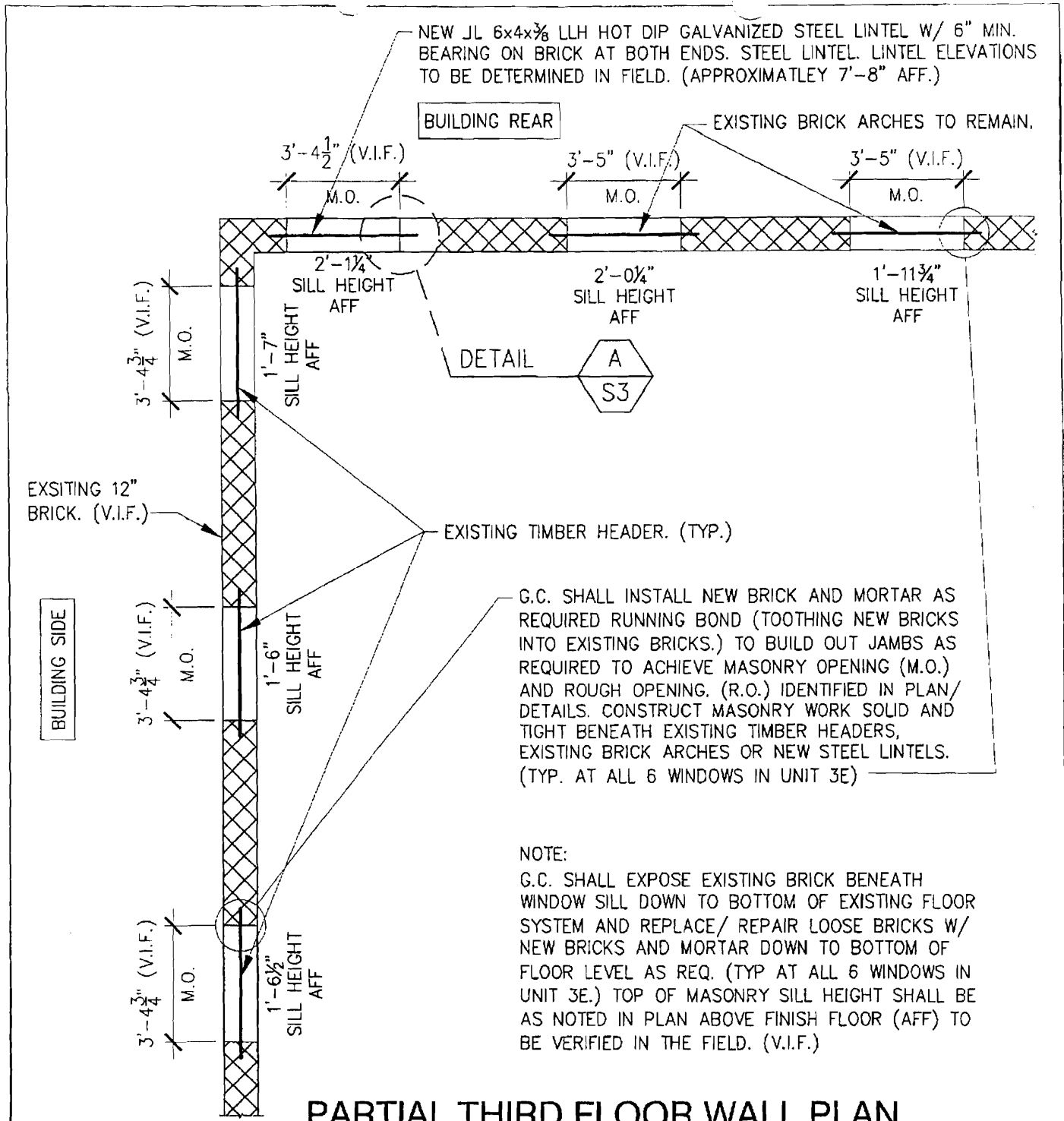
MASONRY NOTES:

1. All load bearing building brick shall be common or standard basic unit of clay brick to match existing bricks conforming to ASTM specification C62
 2. Masonry prism strength (f'm) shall be 1,350 psi.
 3. Mortar shall conform to ASTM Specification C270, type N or O.
 4. Masonry units shall be laid in running bond.
 5. Wall penetrations shall be coordinated with the Architect and Owners vendors/designers and shall be field located.
- 7/6 Provide steel lintels for all masonry openings unless alternate lintel is indicated. Refer to plan for lintel sizes. All lintels used in exterior masonry walls shall be hot dipped galvanized.

TIMBER FRAMING:

1. All Timber framing shall be in accordance with the AITC timber construction manual or the national design specification (NDS) - latest edition
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried to 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, concrete or masonry. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
5. Nailing not specified shall conform with IBC 2003.

PRELIMINARY SET NOT FOR CONSTRUCTION.	
27198	
designed by: JHL drawn by: KSP checked by: MFL scale: AS NOTED date: DEC. 12, 2007	HARBOR LANDING 269 COMMERCIAL STREET. UNIT 3E PORTLAND, ME STRUCTURAL RETROFIT OF EXISTING WINDOWS GENERAL NOTES
L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S1



PARTIAL THIRD FLOOR WALL PLAN

1/4" = 1'-0"

PRELIMINARY SET
NOT FOR CONSTRUCTION.

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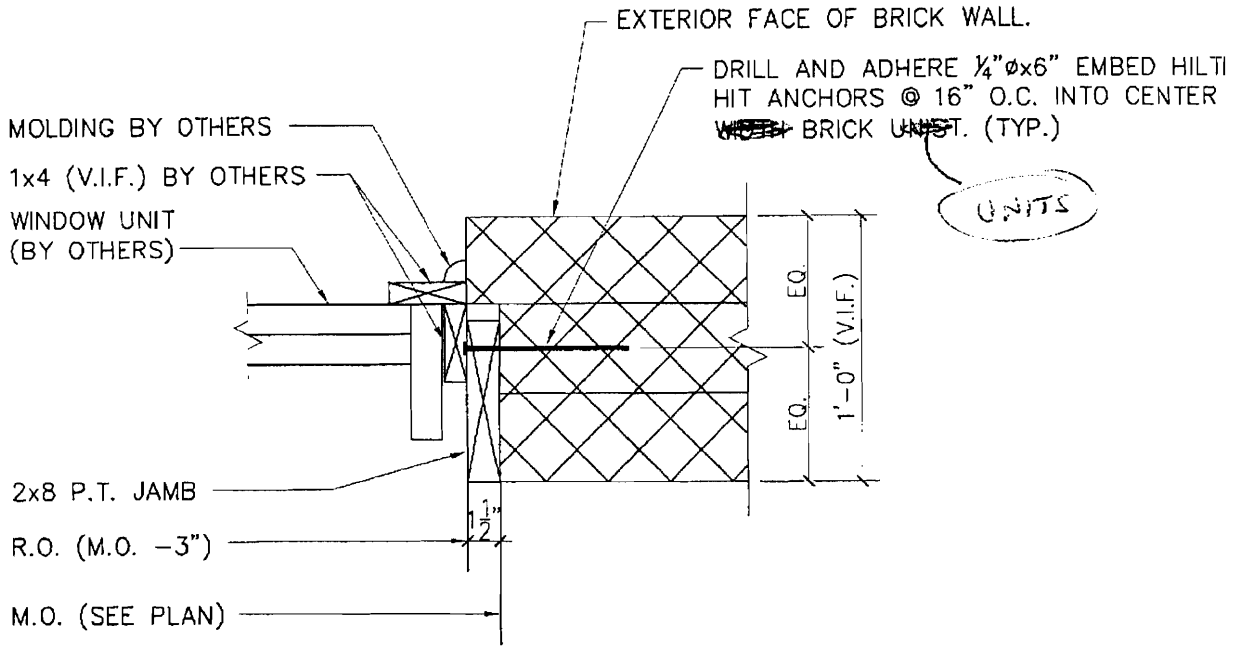
HARBOR LANDING
269 COMMERCIAL STREET. UNIT 3E
PORTLAND, ME

STRUCTURAL RETROFIT OF EXISTING WINDOWS
PLANS AND NOTES

L & L STRUCTURAL
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S2



TYPICAL JAMB DETAIL A
 1 1/2" = 1'-0" S3

NOTE:
 G.C. SHALL INSTALL AND SEAL WINDOW IN ACCORDANCE W/ MANUFACTURERS WRITTEN SPECIFICATIONS AND INSTRUCTIONS.

PRELIMINARY SET
 NOT FOR CONSTRUCTION.

27198
 designed by: JHL
 drawn by: KSP
 checked by: MFL
 scale: AS NOTED
 date: DEC. 12, 2007

HARBOR LANDING
 269 COMMERCIAL STREET. UNIT 3E
 PORTLAND, ME
 STRUCTURAL RETROFIT OF EXISTING WINDOWS
 DETAILS

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S3