

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND**

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070066

This is to certify that KIMBLE ELLEN SUE / Tim Gilbert, Inc.

has permission to North Entry to building repair front entrance

AT 269 COMMERCIAL ST

038 300204D

provided that the person or persons performing or supervising this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or occupied. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Deanne Bonke 4/3/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0066	Issue Date:	CBL: 038 G00204D
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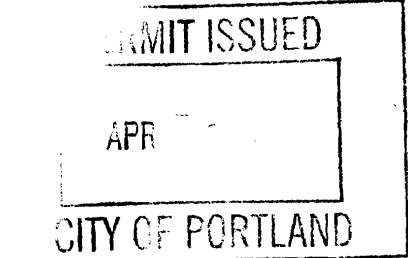
Location of Construction: 269 COMMERCIAL ST	Owner Name: KIMBLE ELLEN SUE	Owner Address: 269 COMMERCIAL ST # 4D	Phone:
Business Name:	Contractor Name: Tim W Gilbert Inc	Contractor Address: Rockland	Phone 2077492716
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial	Proposed Use: Commercial - North Entry to building repair front entry	Permit Fee: \$100.00	Cost of Work: \$7,500.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B/M Type: N/A	

Proposed Project Description: North Entry to building repair front entry	Signature:	Signature: <i>AMB 4/3/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 01/19/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>1/22/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>D. Andrews 3/23/07</i>
	to D.A 1/22/07		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0066	Date Applied For: 01/19/2007	CBL: 038 G00204D
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Location of Construction: 269 COMMERCIAL ST	Owner Name: KIMBLE ELLEN SUE	Owner Address: 269 COMMERCIAL ST # 4D	Phone:
Business Name:	Contractor Name: Tim W Gilbert Inc	Contractor Address: Rockland	Phone (207) 749-2716
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - North Entry to building repair front entry	Proposed Project Description: North Entry to building repair front entry
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 03/23/2007
Note: **Ok to Issue:**

1) * Stair replacement at west bay approved as submitted.

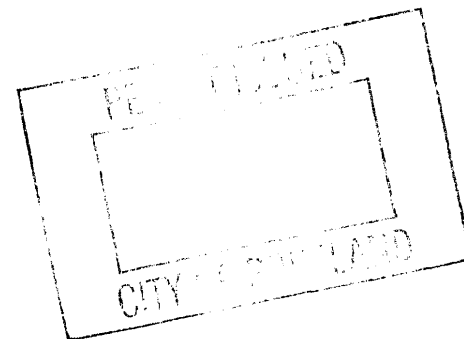
* Proposed railing solutions not approved as submitted, due to penetrations in granite piers. Alternative railing proposal to be submitted by project architect for historic preservation staff approval. Revised railing solution should conform to the following requirements:

Storefronts at east and west ends of building to feature railing on one side only. Railing to be affixed to wood frame and not extend to granite pier. This will require a shorter "grab bar" solution.

Railings at center entrance bay to be installed into brick steps and landing.

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 01/22/2007
Note: **Ok to Issue:**

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 04/03/2007
Note: **Ok to Issue:**





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>269 COMMERCIAL STREET</u>		
Total Square Footage of Proposed Structure <u>N.A. - ENTRY STAIR</u>		Square Footage of Lot <u>N.A.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>38- 6 00204D</u>	Owner: <u>HARBOR LANDING MANAGEMENT -</u>	Telephone: <u>SUE KIMBALL 774-7705</u>
Lessee/Buyer's Name (If Applicable) <u>N.A.</u>	Applicant name, address & telephone: <u>JOHN H. LEASURE</u>	Cost Of Work: \$ <u>7500.00</u> Fee: \$ <u>100.00</u> C of O Fee: \$ <u> </u>
Current Specific use: <u>ENTRY</u> If vacant, what was the previous use? <u>SAME</u> Proposed Specific use: <u>SAME</u>		
Project description: <u>NORTH ENTRY TO BLDG (RETAIL/OFFICE STRUCT.) STAIR/ENTRANCE REDO TO SPECS OF ME. HISTORICAL SOCIETY REQS.</u>		
Contractor's name, address & telephone: <u>TIM W. GILBERT, INC - ROCKLAND, ME.</u>		
Who should we contact when the permit is ready: <u>JOAN M. LEASURE (TERRY) 749-2716</u>		
Mailing address: <u>SIX Q ST</u> Phone: <u>767-2120</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

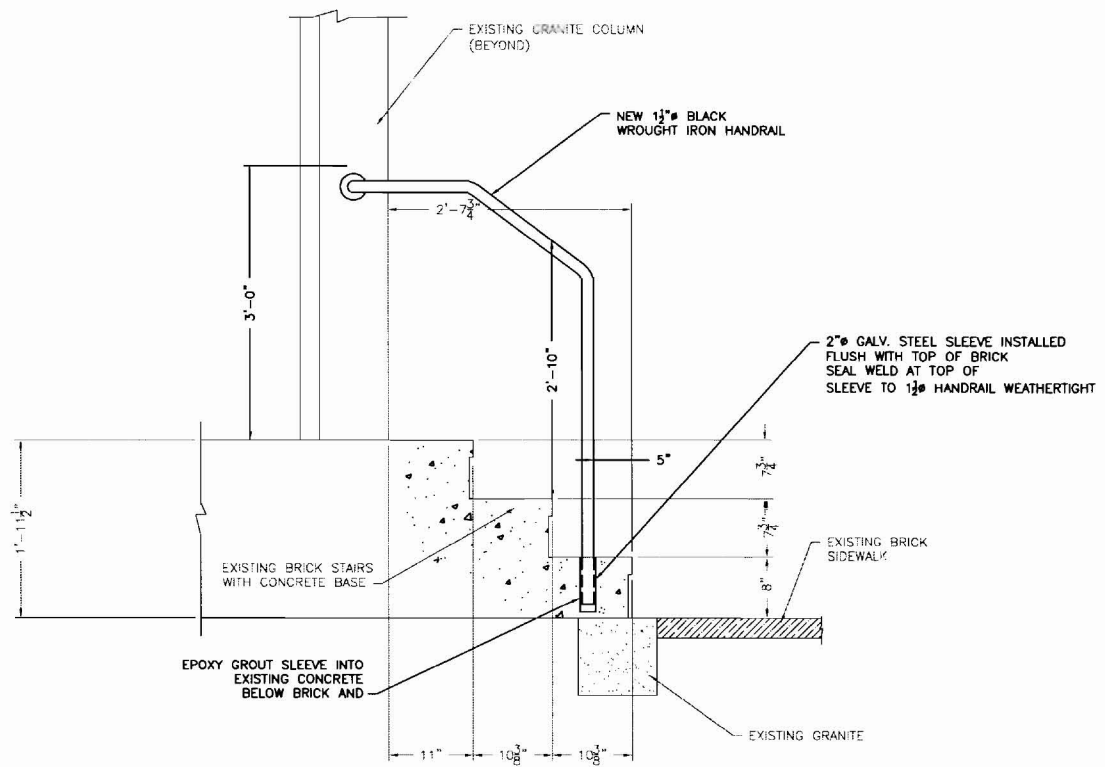
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: John H. Leasure

Date: 1/19/07

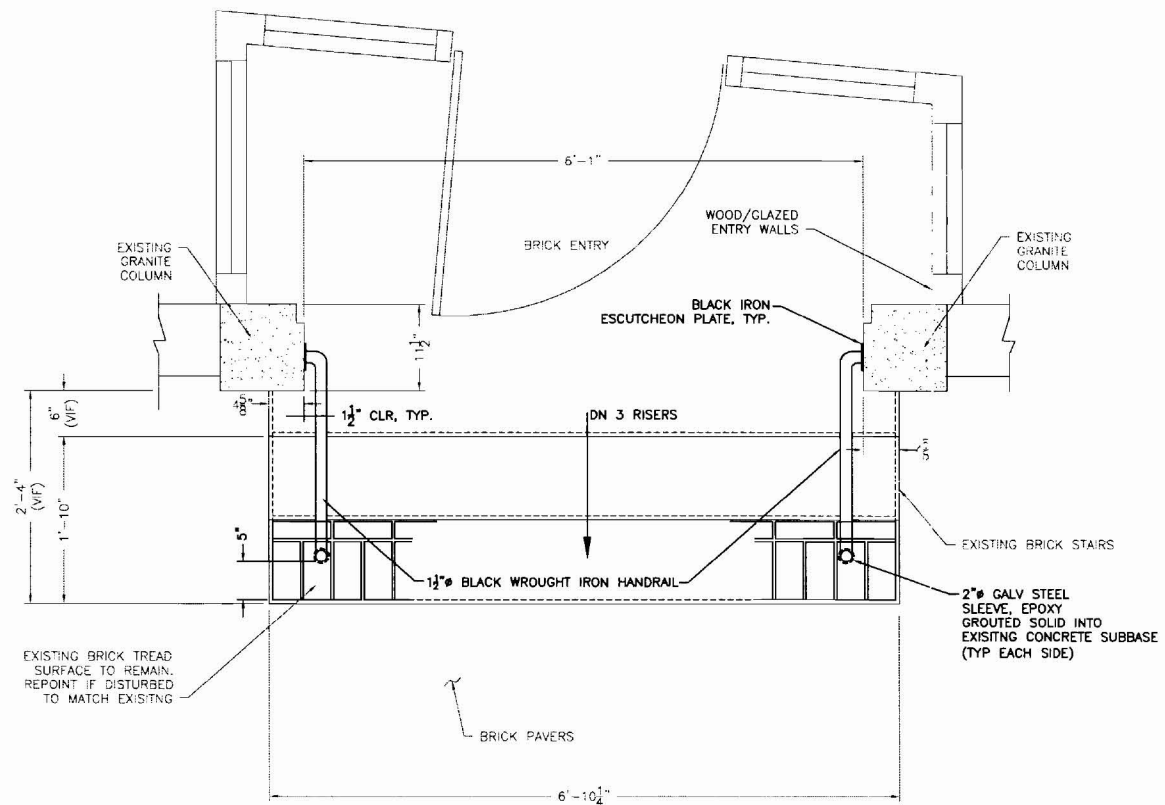
This is not a permit; you may not commence ANY work until the permit is issued.





**SECTION
NORTH ENTRANCE**
1"=1'-0"

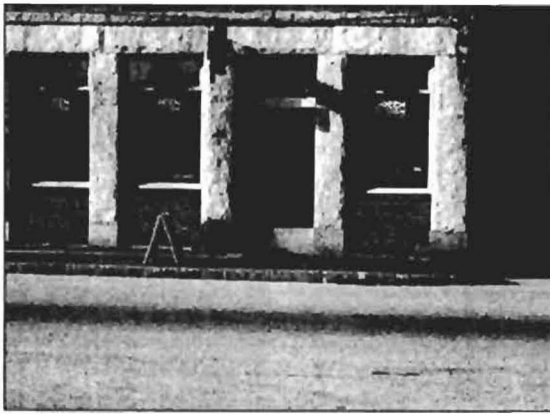
install on brick side



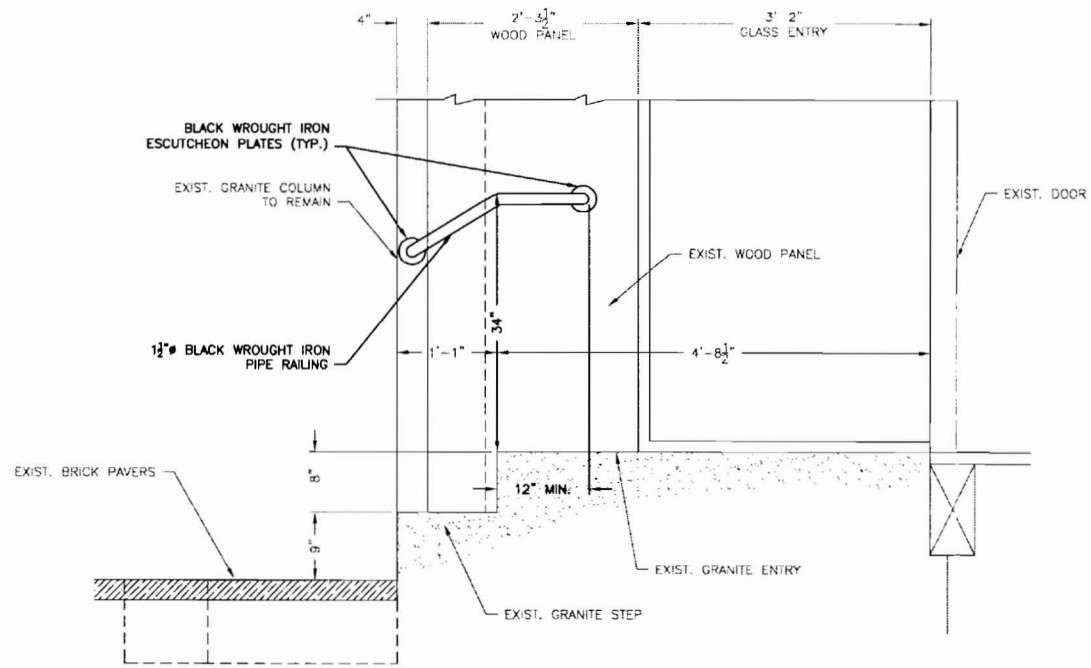
NORTH ENTRANCE
1"=1'-0"



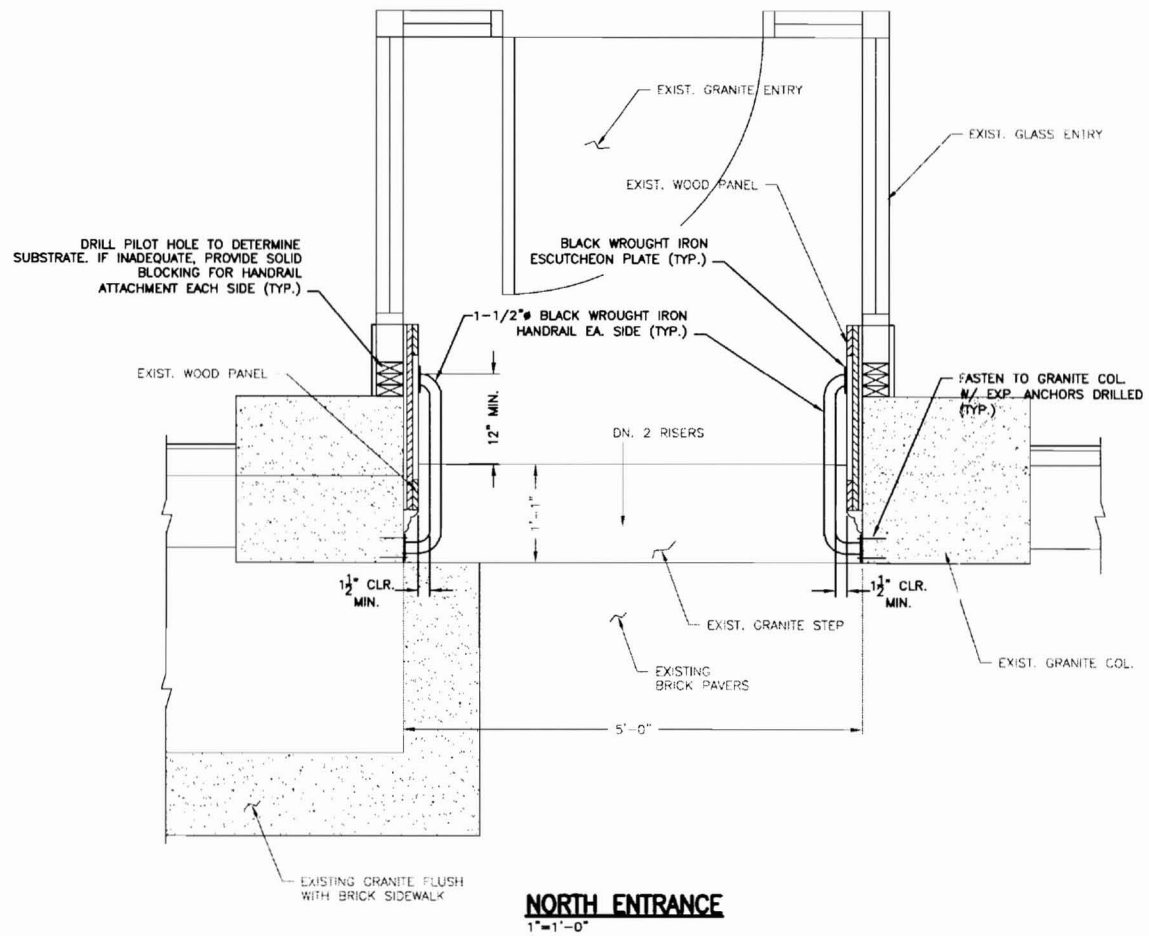
**NORTH ENTRANCE
GREEN DESIGN**



**NORTH ENTRANCE
GREEN DESIGN**



**SECTION
NORTH ENTRANCE
1"=1'-0"**



**NORTH ENTRANCE
1"=1'-0"**

EXISTING GRANITE COLUMN