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General Contractor:
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Freeport, ME 04032
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Jon@zachauconstruction.com

Project:
MEMIC 261 Commercial Street
2nd & 6th floor Tenant Improvements

Tenant:
MEMIC
261 Commercial Street
(19 Cross Street)
Portland, Maine, 04101

Tenant Contact
Catherine Lamson,
Senior Vice President
Chief Administrative Officer
(207) 791-3304

Building Owner:
Casco View Holdings II, LLC
PO Box 1137
Portland, ME 04104

City of Portland Information:
CBL 038 F019
Tax acct no. 51170

Date: 01-07-2015
Purpose:
Fast Track Construction Permit
City of Portland, Maine

Revisions

Sheet Title

demolition
floor plans

Sheet Number

d1

Demolition Notes

Submittals

1. Provide owner with demolition schedule that minimize disturbances and interruptions to the owner's onsite operations. The schedule shall indicate interruptions of utility services, use and protection of elevator and stairs, locations of partitions for dust and noise control, and path of waste removal from building.

Quality

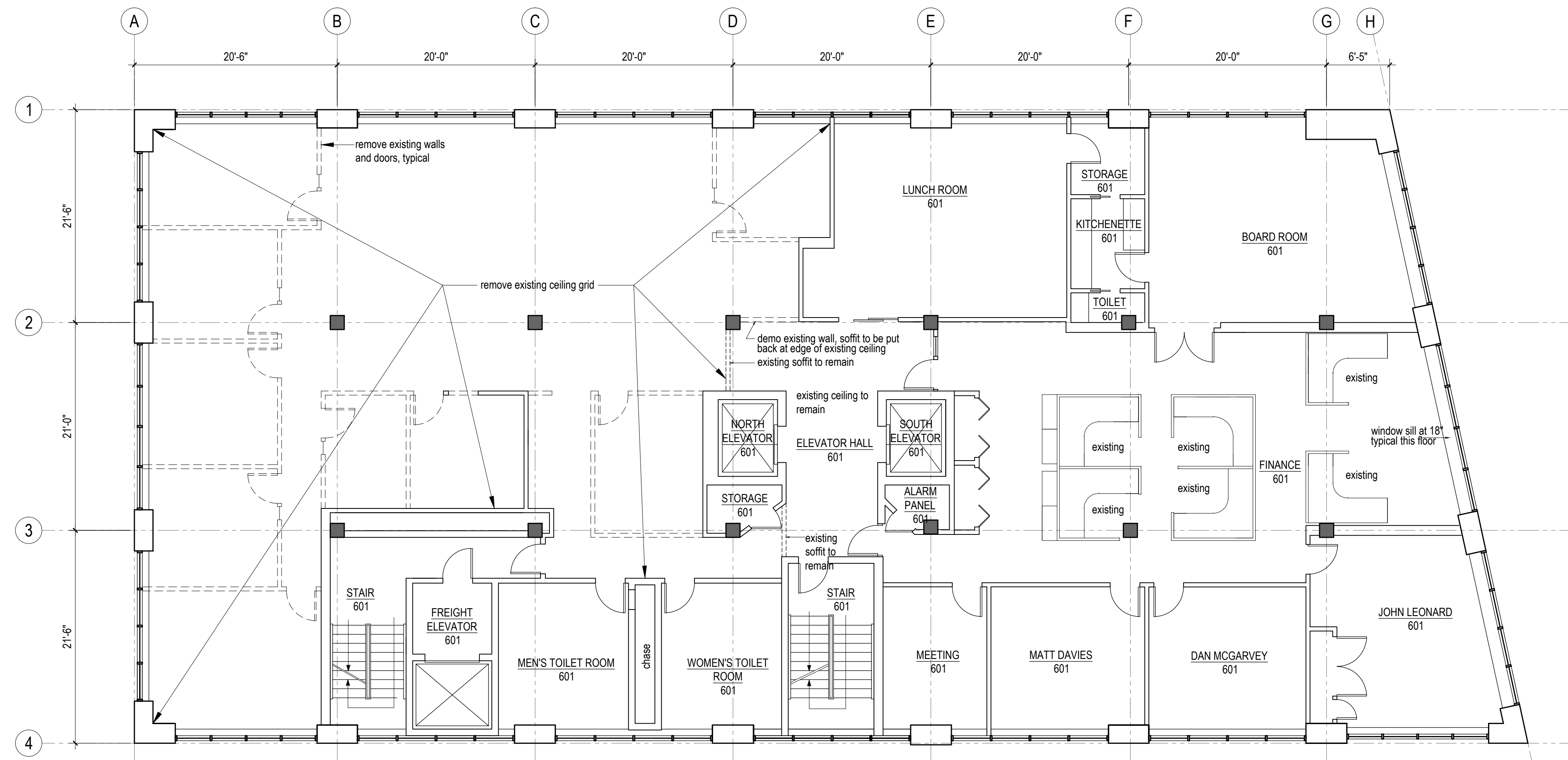
2. Comply with applicable EPA notification regulation before starting selective demolition. Comply with ANSI A10.6 Safety Requirements for Demolition Operations, and NFPA 241: Standard for Safeguarding Construction, Alteration, and Demolition Operations.

Project Conditions and Requirements

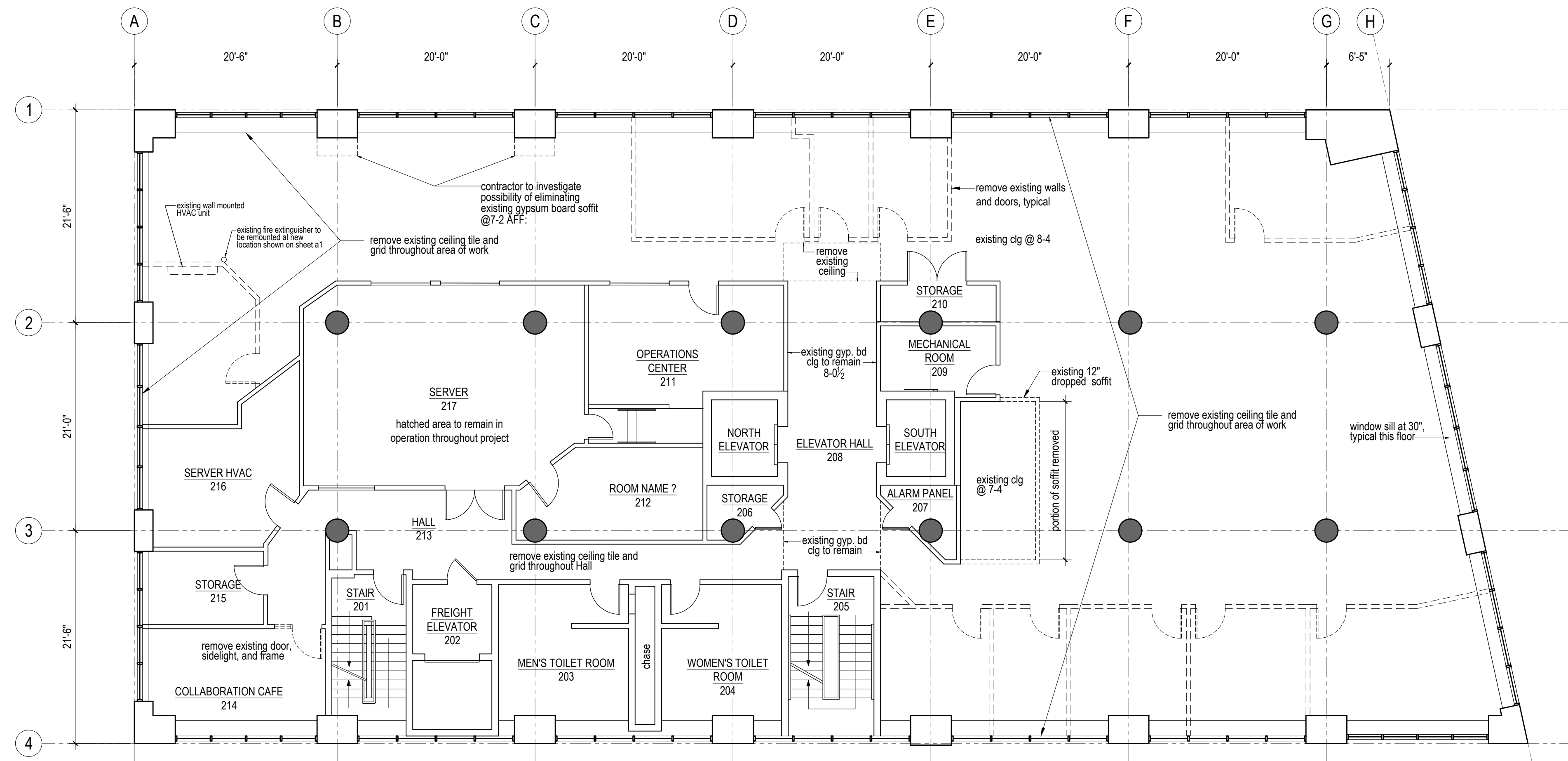
3. The owner will occupy areas of the building adjacent to the areas of demolition. Conduct the work in a manner that provides minimal disruption to the owners operations.
 4. The demolition plan is intended to be a schematic guide for removing existing assemblies, structures and materials as required for the new work to be installed. It is not intended to be exhaustive in detail. The contractor shall be familiar with the work of the project and remove all items as required by the work.
 5. Remove all construction assemblies, materials, finishes, mechanical and electrical items necessary for the completion of the work as depicted on the drawings, specifications, and supplementary instructions. Refer to mechanical and electrical drawings for additional information on demolition of those items.
 6. The removal disposal and associated fees of all demolished items shall be the responsibility of the General Contractor.
 7. All removed items, debris and salvage shall be the property of the General Contractor unless noted otherwise in the drawings or by the Owner.
 8. Demolition may uncover existing conditions, structures or assemblies that were not foreseen by the Architect or owner. The contractor shall bring to the attention of the Architect any existing conditions that are discovered that will affect the scope or design of the project.
 9. The Contractor shall restore any fire rated assemblies damaged by the demolition process to their required rating.
 10. The contractor shall identify any pre-existing damage to fire rated walls, floors, ceilings and columns. The Architect will coordinate with the General Contractor to develop a plan to restore the continuity of rated assemblies.
 11. The Contractor shall protect finishes, assemblies and structures not required to be demolished or that are outside the area of work.
 12. The contractor shall control dust, noise and vibration, to protect the
 13. The contractor shall provide shoring and temporary support of existing structural members that the work requires.
 14. materials to be removed and reused, such as light fixtures and other electrical equipment, doors, and plumbing fixtures, shall be stored and protected from damage by ongoing construction activities.
 15. Maintain and ensure safe passage of building occupants around and through areas of demolition.
- Hazardous Materials**
16. If the Contractor suspects that hazardous materials such as asbestos containing materials (ACM), lead based paint, polychlorinated biphenyl (PCB) and petroleum products are present he shall not disturb the material and notify the owner's representative.
 17. Fluorescent lights shall be handled and disposed of properly to prevent the release of mercury vapor.

Floor Specific Notes:

- 6TH FLOOR:**
1. The following existing items shall be reused
 - 1.1. light fixtures
 - 1.2. door and hardware at existing telephone room
 2. Existing carpet tiles in the existing open office area shall remain. Protect carpet with continuous panels lapped at seams.
 3. The existing carpet tiles in the offices shall remain if they are on a continuous grid with the tiles in the open office area.
- 2ND FLOOR**
1. All flooring, ceiling tiles, light fixtures within the work area shall be removed.



gross floor area: 8171 sf
area of work: 3025 sf
6th Floor Demolition Plan
1/8" = 1'-0"



gross floor area: 8112 sf
area of work: 4668 sf
2ND Floor Demolition Plan
1/8" = 1'-0"

