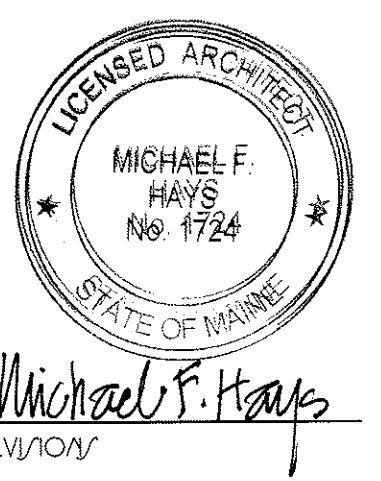


5TH FLOOR TOILET ROOM UPGRADES @ MEMIC

19 CROSS ST. / 261 COMMERCIAL ST.
PORTLAND, ME 04101



Michael F. Hays
REVISION 1/

PROJECT NAME

5TH FLOOR TOILET
UPGRADES @ MEMIC
19 CROSS ST. / 261 COMMERCIAL ST.
PORTLAND, MAINE 04101

SHEET

COVER SHEET

DATE: 17 JAN 2014
SCALE: NONE
DRAWN: MFM
JOB NO.: 140101
SHEET

A-1

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ABBREVIATIONS	GENERAL NOTES	MATERIALS	SYMBOLS	DRAWING INDEX		
<p>AF ALUM or AL ALUMINUM AWP ABOVE FINISH FLOOR BIF BIFURCATED BOT BOTTOM BRG BEARING BRK BRICK C CABINET CB CHALK BOARD CC CH CH CENTER TO CENTER CH WITH HORIZONTAL CJ CONTROL JOINT CL CENTERLINE CLG CONCRETE CML CONCRETE MASONRY UNIT CONC CONCRETE CONT CONTINUOUS CONTR CONTRACTOR CT CERAMIC TILE DIA DOUBLE DIA DOOR CLOSER DIA DIAMETER DIM DIMENSION DIA DOES NOT APPLY DOR DOOR DIL DETAIL DNG DRAWING E EACH EJ EACH FACE EL EXPANSION JOINT ELEC ELECTRICAL ELEV ELEVATOR EMAG ELECTROMAGNETIC EQ EQUAL EW EACH WAY EWK ELECTRIC WATER COOLER EXST EXISTING EXP EXPANSION EXT EXTERIOR FCS FLOOR COATING SYSTEM FD FOUNDATION FE PRE EXTINGUISHER FE PRE FLOOR ELEVATION FIN FINISH FIN PL or FF FINISH FLOOR FIN GR FINISH GRADE FR FLOOR FR FRAMING FV FIELD VESSEY FVC FABRIC WALL COVERING G GRANITE GLA GLAZE GRV GRANITE GRB GRAB BARS GC GENERAL CONTRACTOR GWB GYPSUM WALL BOARD</p>	<p>HC HANDICAP HD HARDWOOD HDR HEADER HW HARDWARE HM HOLLOW METAL HOR HORIZONTAL HT HEIGHT I INSIDE DIAMETER I INSIDE FACE IN INCHES INS INSULATION INT INTERIOR JNT JOINT KEC KITCHEN EQUIPMENT CONS CONSULTANT KIP KICK PLATE L LAVATORY LAB LABEL (FRED) LINT LINTEL LOC LOCATION L5 LOCKSET M MARBLE MAS MASONRY MAX MAXIMUM MB MARKER BOARD MECH MECHANICAL MFCR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MOP MOP OPENING MOR moisture resistant MRSB MASONRY BOARD MET METAL N NORTH NA NOT APPLICABLE NC NOT IN CONTRACT NG NUMBER NOM NOMINAL NTS NOT TO SCALE OA OVERALL OC ON CENTERS OD OUTSIDE DIAMETER OP OPPOSITE OPNG OPENING OPP OPPOSITE P PAINT PNT PANTED PBAR PLANK BAR PL PLATE PLY PLYWOOD PANEL PANEL PFS PACKAGE LATCH SET PT & D PRESERVE TREATED PT & D PAPER TOWEL & WASTE DISPENSER PART PARTITION RD ROOF DRAIN REF REFRIGERATOR REF REINFORCED REQ'D REQUIRED REQ'D REQUIRED RGA ROUGH OPENING RO ROUGH OPENING</p>	<p>S SAT SC SCISSOR SCHD SCHEDULE SECT SECTION SOB SCHEDULED GYPSUM BOARD SHT SHEET SHI SIMILAR SND SANITARY NAPKIN DISPOSAL SPEC SPECIFICATIONS SQR SQUARE SPR SYNTHETIC SPORTS SURFACE STD STANDARD STR STRUCTURAL STV STRAIGHT VINYL BASE SHEET VINYL TEMP (GLASS) TEMPERED (GLASS) TACK TACK BOARD THERM THERMAL (INSULATED) THICK THICKNESS TOP OF BEAM TOP OF BEAM TOP OF MASONRY TOP OF MASONRY TOP OF WALL TOP OF WALL TOILET PAPER DISPENSER TOILET PAPER DISPENSER TYP TYPICAL VAPOR BARRIER VAPOR BARRIER VFC VERTICAL COMPOSITION TILE VERT VERTICAL VWC VERTICAL WALL COVERING W WEST WC WITH WC W/ CLOSET WOOD WOOD WATER FOUNTAIN WATER FOUNTAIN WGL W/ GLASS WGP W/ GLASS WPP WOOD PANELING</p>	<p>1 ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK. 2 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION. 3 CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA. 4 WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS. DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED. 5 ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE BUILDING. SITE BURNING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE MANNER. 6 ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS. 7 ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. 8 ALL CEILINGS SHALL BE LEVEL TO A TOLERANCE OF 1/8" IN A 20'-0" RADIUS WHEN CHECKED WITH A 10' STRAIGHT EDGE. 9 INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND HANDRAILS. 10 ALL GRAB BARS AND HANDRAILS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS. AT ANY POINT. 11 THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL. 12 ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. 13 ALL NEW SHEETROCK IN WET AREAS (PLUMBING FIXTURES) SHALL BE MOISTURE-RESISTANT TYPE, UNLESS OTHERWISE NOTED. 14 ALL NEW INTERIOR WALLS SHALL HAVE FULL-THICK ACOUSTICAL BATT INSULATION. 15 THESE ARCHITECTURAL DRAWINGS WERE PREPARED FOR THE OWNER & CONSTRUCTION MANAGER AS PART OF AN ABBREVIATED SERVICES AGREEMENT, AND AS SUCH, DO NOT DELINEATE ALL ASPECTS OF THE WORK. 16 THE CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK, INCLUDING, BUT NOT LIMITED TO, MECHANICAL AND ELECTRICAL DESIGN-BUILD ENGINEERING, BUILDING TRADES & DISCIPLINES. 17 REFER TO THE ACCESSIBILITY DETAIL SHEET FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MHRA) CONSTRUCTION CRITERIA.</p>	<p>CONCRETE CONCRETE MASONRY UNIT BRICK GRAVEL SOIL STUD PARTITION (NEW) STEEL WOOD FRAMING WOOD BLOCKING PLYWOOD GYPSUM BOARD SUSPENDED ACOUSTICAL TILE BATT INSULATION RIGID INSULATION FINISH WOOD ONE HOUR RATED PARTITION TWO HOUR RATED PARTITION EXISTING PARTITION (SCREENED) NEW PARTITION</p>	<p>ROOM NUMBER DOOR NUMBER WINDOW NUMBER BUILDING SECTION WALL SECTION DETAIL SECTION CASEWORK ELEVATION INTERIOR ELEVATION VERTICAL ELEVATION PARTITION TYPE STRUCTURAL CENTERLINE</p>	<p>A-1 COVER SHEET A-2 5TH FLOOR TOILET ROOM PLANS A-3 DETAILS A-4 ACCESSIBILITY NOTES & DETAILS</p>
			<p>PROJECT TEAM</p> <p>GENERAL CONTRACTOR VILLAGE BUILDERS 21 NEW PORTLAND ROAD BOSTON, MAINE 04038 207.859.6072</p> <p>OWNER CASCO VIEW HOLDINGS II, LLC P.O. BOX 1137 PORTLAND, MAINE 04101 207.791.8461 CONTACT: JERRY DOBRANSKY</p>	<p>100% SUBMISSION CONSTRUCTION PERMIT</p>		