

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

HARBOR PLAZA ASSOCIATES II /Bailey Sign Company
Inc.

PERMIT ID: 2012-50614

Located at

468 FORE ST

CBL: 038 F009001

has permission to **Change existing lighted sign in light box to digital display screen - 8' x 4.3'**
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the
provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction,
maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured
before this building or part thereof is lathed or otherwise
closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this
building or part thereof is occupied. If a certificate of
occupancy is required, it must be procured prior to
occupancy.

Fire Prevention Officer

[Signature] 01/10/13

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**

- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**

- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Close-in/Elec./Plmb./Framing

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 201250614	Date Applied For: 11/28/2012	CBL: 038 F009001
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Location of Construction: 468 FORE ST	Owner Name: HARBOR PLAZA ASSOCIATES II	Owner Address: PO BOX 3572	Phone: (207) 775-9090
Business Name: Portland Harbor Hotel	Contractor Name: Bailey Sign Company Inc.	Contractor Address: 9 Thomas Drive Westbrook	Phone: (207) 774-2843
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Same - Hotel with restaurant	Proposed Project Description: Change existing lighted sign in light box to digital display screen - 8' x 4.3'
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Dept: PAD	Status: Approved	Reviewer: Deb Andrews	Approval Date: 12/17/2012
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Zoning	Status: Approved w/Conditions	Reviewer: Ann Machado	Approval Date: 12/03/2012
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Any digital display SHALL NOT continuously flash, nor continuously blink, and SHALL NOT scroll. Electronic message board signs SHALL NOT change messages more than once every twenty (20) minutes. This City and State regulation SHALL BE strictly enforced.			
2) Signs located in the PAD overlay and encouragement areas are subject to the Downtown Urban Design Guidelines.			
Dept: Building	Status: Approved w/Conditions	Reviewer:	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		
1) Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
2) 3202.2 Encroachments above grade and below 8 feet in height. Encroachments into the public right-of-way above grade and below 8 feet in height shall be prohibited except as provided for in Sections 3202.2.1 through 3202.2.3. Doors and windows shall not open or project into the public right-of-way.			
3) Signs shall be installed in accordance with Chapter 31 & 32 of the IBC, 2009 (MUBEC) Signs attached to masonry, concrete or steel shall be safely and securely fastened by means of metal anchors, bolts or approved expansion screws of sufficient size and anchorage to safely support the loads applied as referenced in the IBC, 2009 (MUBEC).			

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: (2012-11-5478) 201250614	Issue Date:	CBL: 038 F009001
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Location of Construction: 468 FORE ST	Owner Name: HARBOR PLAZA ASSOCIATES II	Owner Address: PO BOX 3572	Phone: 2077759090
Business Name: Portland Harbor Hotel	Contractor Name: Bailey Sign Company Inc.	Contractor Address: 9 Thomas Drive Westbrook	Phone: 2077742843
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	Zone: B-3

Past Use: Hotel with Restaurant (Portland Harbor Hotel)	Proposed Use: Same - Hotel with restaurant	Permit Fee:	Cost of Work:	CEO District:
Proposed Project Description: Change existing lighted sign in light box to digital display screen - 8'x4.3'		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A		INSPECTION: Use Group: Type: IBC, 2009 (MUI3EC) Sign Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Service_User	Date Applied For: 11/28/2012	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 12/13/12 ABU	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABU
	- message cannot change more than one every 20 minutes P.A.D. D. Andrews		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



U1 202-50614

Entered 11/28/12

Signage / Awning Permit Application

If you or the property owner owes real estate or personal property taxes or any other charges on any property within the City, payment arrangement MUST be made before permits are accepted.

2012-11-5478-Sign

Location/Address: 468 FORE ST.
 Tax Assessor's Chart/Block/Lot (CBL): 038-F-009-001
 Chart: 038-F-009-001 Block: 038-F-009-001 Lot: 038-F-009-001
 OWNER Name/Address: Harbor Plaza Associates Telephone: 207 775-9090

LEASEE/BUYER Name (if Applicable): RECEIVED
 CONTRACTOR name, address/phone: Bayley Signs
 Total S.F. signage \$ 136.32
 SF= x \$2.00
 SF + \$30 Fee: \$ 30
 Historic (\$75): \$
 Awning Fee: \$
 TOTAL FEE: \$ 1166.32

Dept. of Building Inspections
City of Portland, Maine
Call do not send

Who should we contact when the permit is ready: Name: Gerard Kiladjian Phone: 838-7811
 Address: 468 Fore St. Portland Me 04101

Tenant/allocated building space frontage (in feet): Length: 95' 10" Height: 43' on forest.
 Lot frontage (in feet): Single Tenant or Multi-Tenant Lot: Single

Current Specific Use: Hotel Signage, backlit Panel / Printed Sign.
 If vacant, what was prior use:
 Proposed Use: Digital Display Screen.

Information on proposed sign(s)
 Freestanding (e.g. pole) sign? YES NO X Dimensions proposed: 68.16 (sf); Height from grade: sf
 BLDG Wall Sign (attached to bldg.?) YES X NO Dimensions proposed: 9.6' L X 7.1' high (Frame)

Size of screen 8' x 4.3'

Proposed Awning: YES NO X If yes, is awning backlit? YES NO
 Height of awning Length of awning Depth of awning
 Is there any communication, message, trademark or symbol on it? YES NO
 If yes, total square footage of panels with communication, message, trademark or symbol on it: sf

Information on existing and previously permitted signage:
 Freestanding (e.g. pole) sign? YES NO X Dimensions proposed: ft X ft; Height from grade:
 BLDG Wall Sign (attached to bldg.?) YES X NO Dimensions proposed: 9.6 ft X 7.1 ft
 Awning? YES NO X total sq ft of panels with communication on it: sf

A site sketch and building sketch showing exactly where existing and proposed signage is located. Sketches and/or pictures of proposed signage and existing building are also required.

Please submit all information outlined in the Sign/Awning Application Checklist. Failure to

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department requires the issuance of a permit. For further information, visit us on-line at WWW.PORTLANDMAINE.GOV, stop by the 207-874-8703.

I hereby certify I am the Owner of record of the named property, or that the owner of record authorizes the person making this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. If this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter the property at any time to enforce the provisions of the codes applicable to this permit.

Would like to get the permit by 12/14/12

thanks.

Signature of Applicant:

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1096	Date Applied For: 10/01/2009	CBL: 038 F009001
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Location of Construction: 259 COMMERCIAL ST (468 Fore)	Owner Name: HARBOR PLAZA ASSOCIATES II	Owner Address: PO BOX 3572	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Signs - Permanent	

Proposed Use: Portland Harbor Hotel - Install a 8' x 4.3' Digital display screen	Proposed Project Description: Install a 8' x 4.3' Digital display screen
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Dept: PAD	Status: Approved with Conditions	Reviewer: Alex Jagerman	Approval Date: 10/19/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Any digital display screen SHALL NOT continuously flash, nor continuously blink, and SHALL NOT scroll. Digital Display screens SHALL NOT change messages more than once every twenty (20) minutes. This City and State regulation SHALL BE strictly enforced.			
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/02/2009
Note: This sign is existing. Replacing existing sign - same dimensions.			Ok to Issue: <input checked="" type="checkbox"/>
1) Any digital display screen SHALL NOT continuously flash, nor continuously blink, and SHALL NOT scroll. Digital Display screens SHALL NOT change messages more than once every twenty (20) minutes. This City and State regulation SHALL BE strictly enforced.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 10/21/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Signage Installation to comply with Chapters 31 & 32 of the IBC 2003 building code.			



PORTLAND MAINE

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Receipts Details:

Tender Information: Cash\$166.32

Tender Amount: 166.32

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 11/28/2012

Receipt Number: 50615

Receipt Details:

Referance ID:	8892	Fee Type:	BP-Signs
Receipt Number:	0	Payment Date:	
Transaction Amount:	166.32	Charge Amount:	166.32
Job ID: Job ID: 2012-11-5478-SIGN - Change sign to digital			
Additional Comments: 468 Fore St			

Thank You for your Payment!

3 FOOD & WINE PACKAGES

Experience the culinary delights of our award-winning restaurant Eve's at the Garden while enjoying a relaxing stay at the hotel.

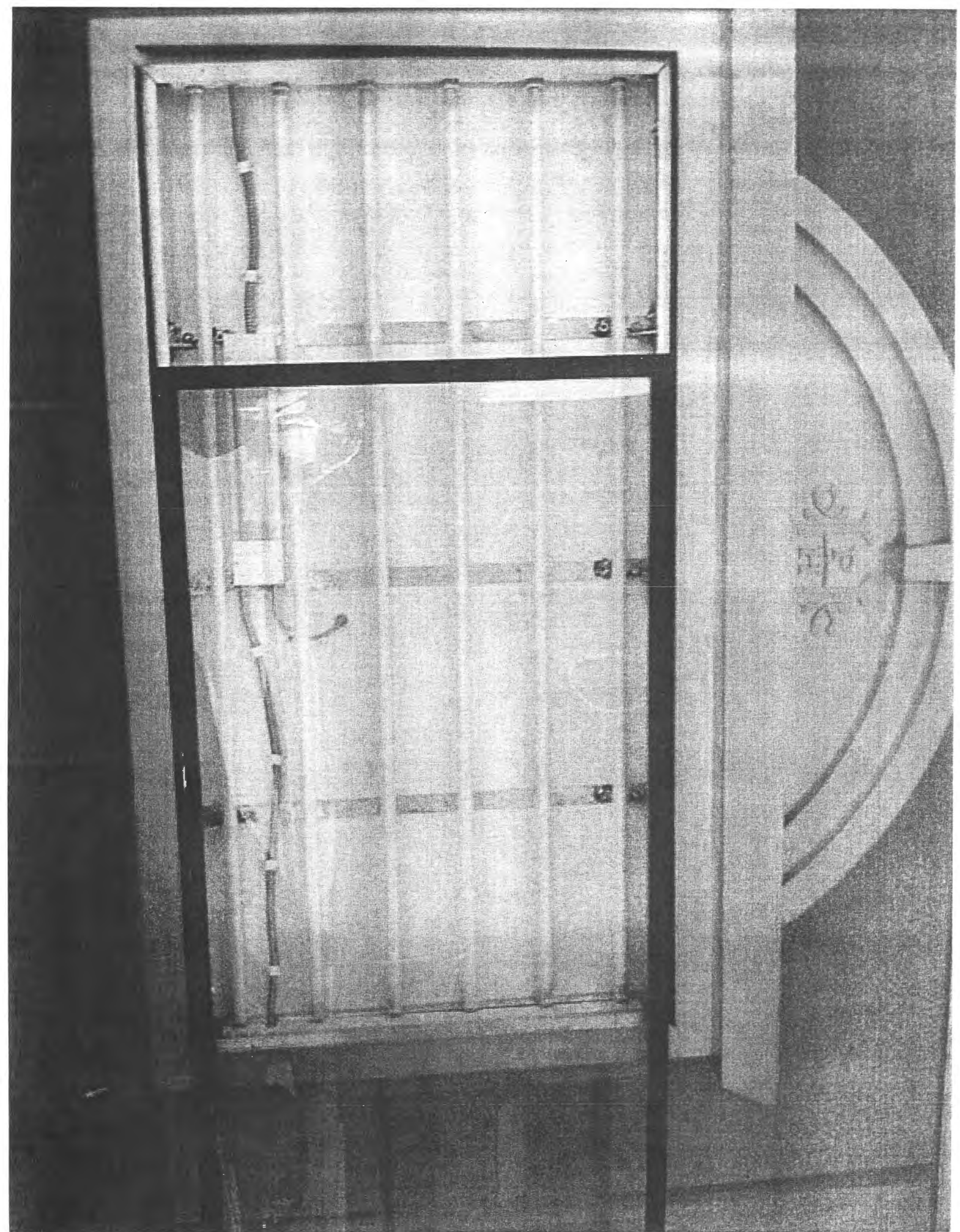
CULINARY EXPERIENCE:

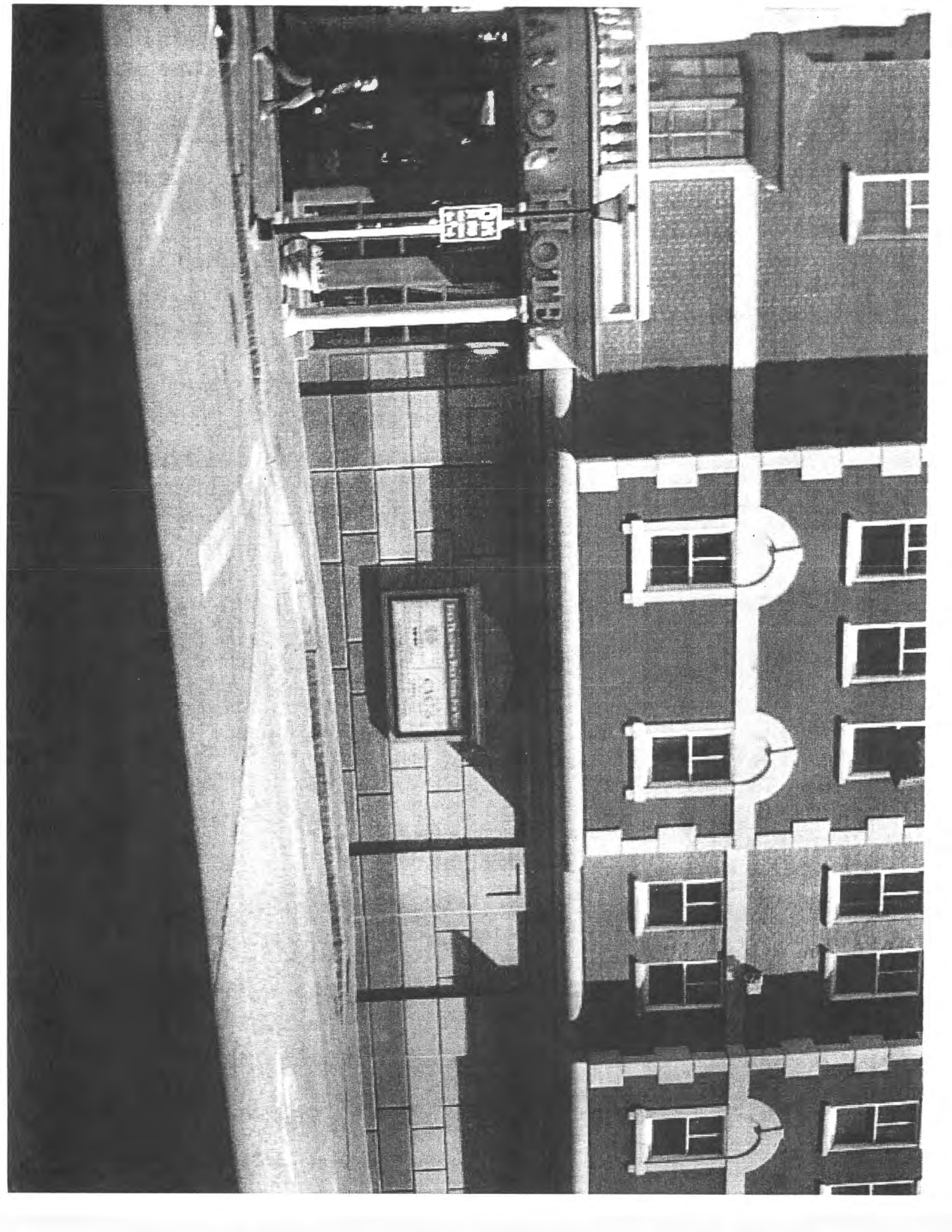
One night's lodging for two in a deluxe room
\$90 gift certificate for Eve's restaurant.

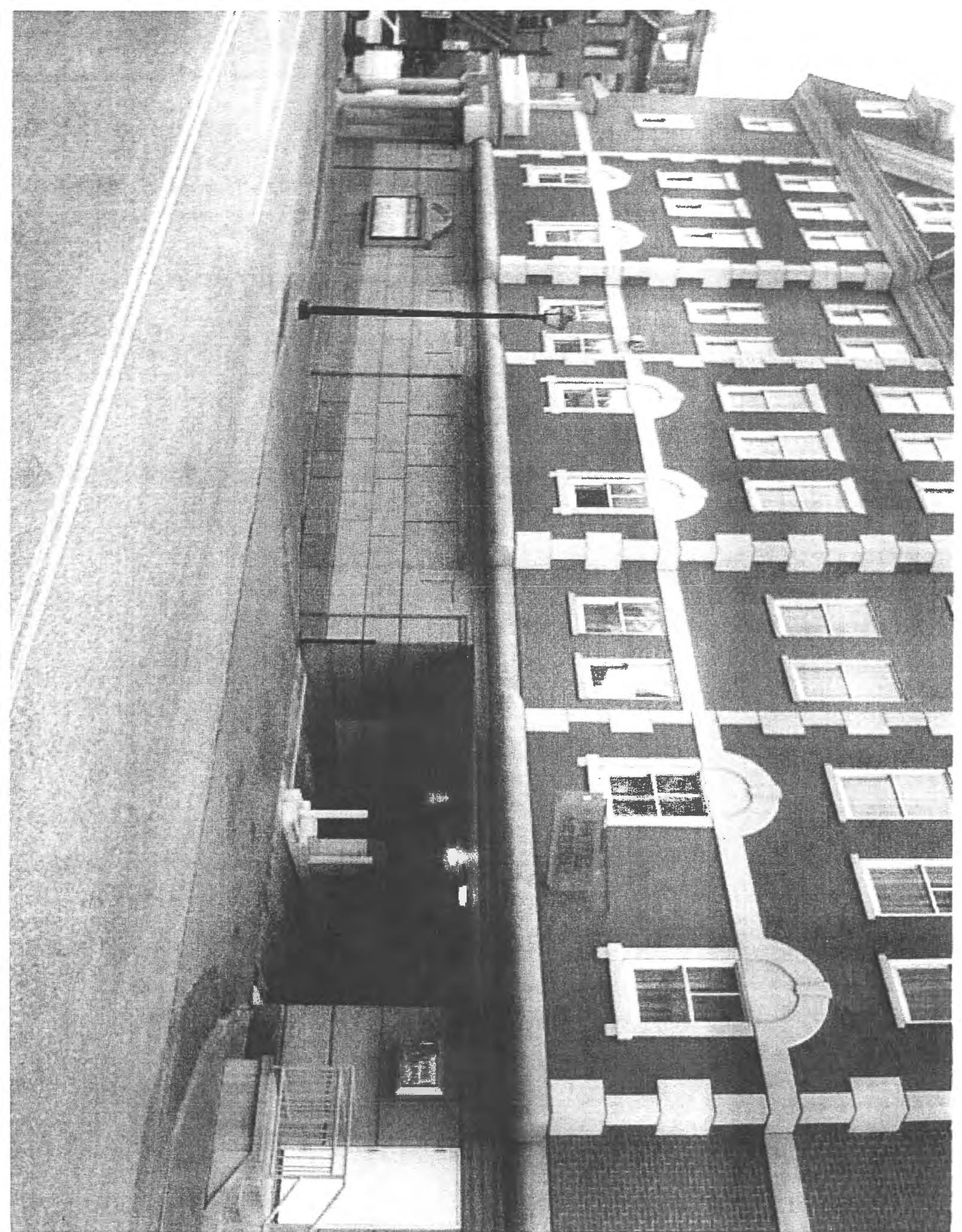
MORNING DELIGHT:

One luxurious night's lodging
\$30 gift certificate for breakfast from
Eve's at the Garden.









Installation to Solid Concrete or Cinder Block

▲ WARNING

- When installing Peerless wall mounts on cinder block, verify that you have a minimum of 1-3/8" of actual concrete thickness in the hole to be used for the concrete anchors. Do not drill into mortar joints! Be sure to mount in a solid part of the block, generally 1" minimum from the side of the block. Cinder block must meet ASTM C-90 specifications. It is suggested that a standard electric drill on slow setting is used to drill the hole instead of a hammer drill to avoid breaking out the back of the hole when entering a void or cavity.
- Concrete must be 2000 psi density minimum. Lighter density concrete may not hold concrete anchor.
- Make sure that the supporting surface will safely support the combined load of the equipment and all attached hardware and components.

- 4** Refer to chart on page 1 to determine wall plate configuration. Make sure that wall plate (AA) is level, use it as a template to mark four mounting holes. The top mounting hole should be 2.5" above the desired screen center as shown in figure 4.1 on page 8. Drill four 1/4" (6 mm) dia. holes to a minimum depth of 2.5" (64 mm). Insert anchors (EE) in holes flush with wall as shown (right). Place wall plate over anchors and secure with #14 x 2.5" screws (DD). Level, then tighten all fasteners.

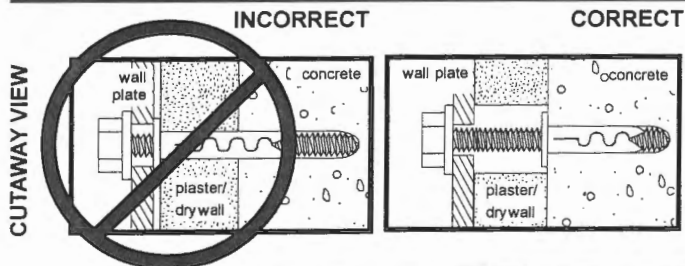
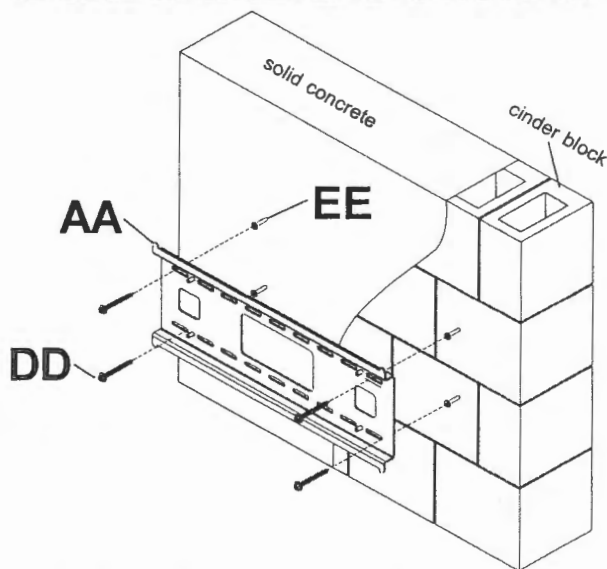
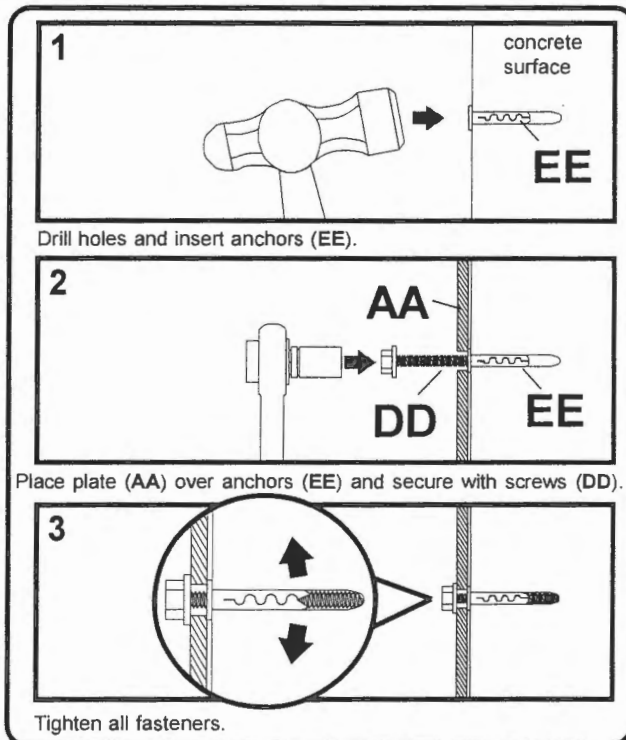
NOTE: Six holes and six sets of fasteners are required when mounting the wall plate for equipment weighing greater than 200 lbs or if your screen size is in the 50" to 84" range.

▲ WARNING

- Tighten screws so that wall plate is firmly attached, but do not overtighten. Overtightening can damage screws, greatly reducing their holding power.
- Never tighten in excess of 80 in. • lb (9 N.M.).

▲ WARNING

- Always attach concrete anchors directly to load-bearing concrete.
- Never attach concrete anchors to concrete covered with plaster, drywall, or other finishing material. If mounting to concrete surfaces covered with a finishing surface is unavoidable, the finishing surface must be counterbored as shown below. Be sure concrete anchors do not pull away from concrete when tightening screws. If plaster/drywall is thicker than 5/8", custom fasteners must be supplied by installer. (Not evaluated by UL)



Mounting and Removing Flat Panel Screen

⚠ WARNING

- Always use an assistant or mechanical lifting equipment to safely lift and position the plasma television.

- 5** **NOTE:** For security, replace safety screw in each tilt bracket with M5 x 30 security screw (HH) using wrench (II).

Adjust brackets to full back tilt position and tighten. Hook tilt brackets (**BB and CC**) onto wall plate (**AA**). Then slowly swing screen in as shown. Turn safety screws, using wrench (II), clockwise till fully tightened down and screw tip securely contacts bottom of the wall plates as shown in detail 1. of figure 5.1. Center of screen can be adjusted horizontally no more than 4" from center of the wall plate configuration, if desired as shown in figure 5.2.

NOTE: To lock the screen down, tighten safety screws to wall plate using a wrench (II) as shown in detail 1.

To remove screen from mount, loosen safety screws, swing screen away from mount, and lift screen off of mount.

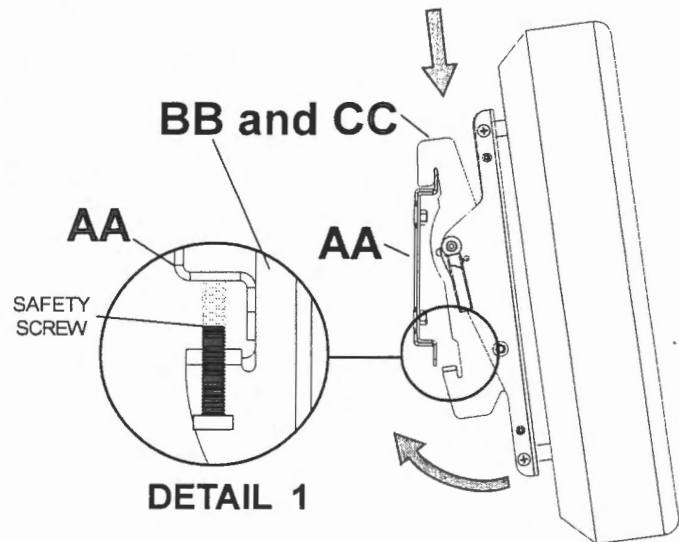


fig 5.1

⚠ CAUTION

- Do not tighten screws with excessive force. Overtightening can cause damage to mount. Tighten screws to 40 in. • lb (4.5 N.M.) maximum torque.

⚠ CAUTION

- Be careful not to pinch fingers when pushing screen from the bottom.

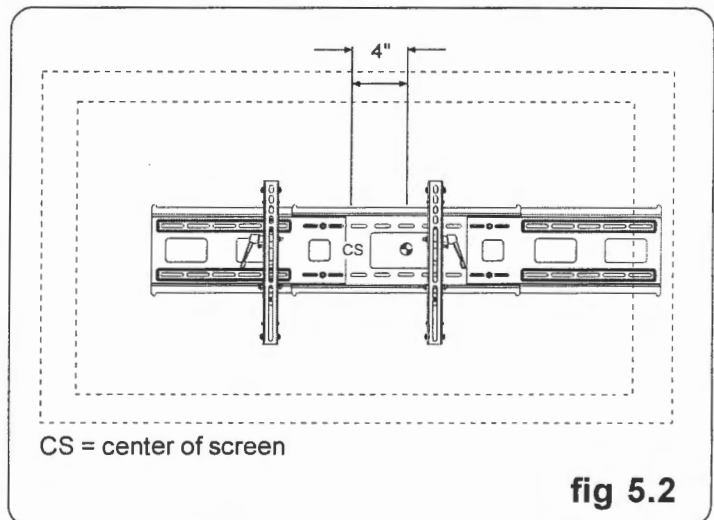


fig 5.2

Adjusting the Tilt Angle of the Flat Panel Screen

- 6** Adjust tension knobs shown in detail 2 to desired tension, balancing your screen size and weight. The tension knob, without changing the bracket tension, can be pulled out, away from the bracket and turned independently of the knob post for readjustment as shown in Detail 3.

Push or pull from top or bottom of screen to adjust tilt as shown in figure 6.1. The tilt can be adjusted to a maximum of 15° forward or 5° backward.

NOTE: To lock the screen into the desired tilt position, use locator hole to find tilt position hole. Tighten IncreLok™ tilt locking screws on both tilt brackets as shown in figure 6.1 and detail 2.

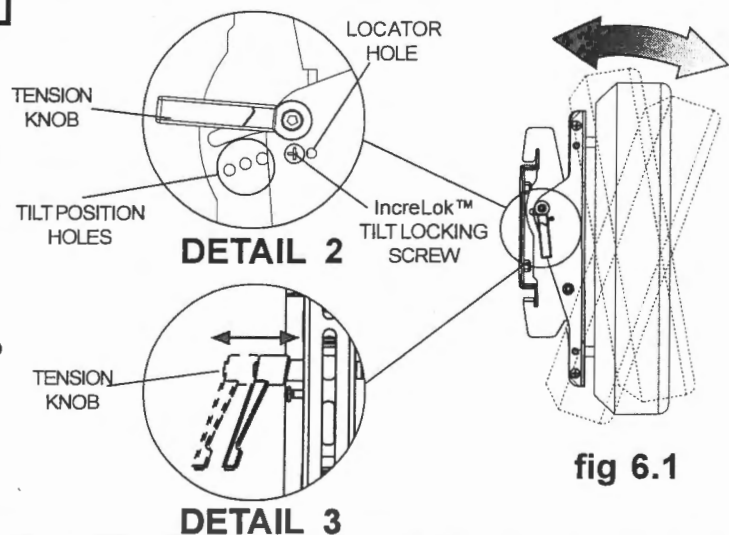


fig 6.1



CERTIFICATE OF LIABILITY INSURANCE

OP ID: MM

DATE (MM/DD/YYYY)

11/28/12

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).


PRODUCER Michael A. Auricchio, Inc. 3800 Seneca Street West Seneca, NY 14224-3478	Phone: 716-675-3800 Fax: 716-675-1522	CONTACT NAME: PHONE (A/C, No, Ext): E-MAIL ADDRESS: PRODUCER CUSTOMER ID #: HARTH-1	FAX (A/C, No):
	INSURED Hart Hotels, Inc. ETAL 609 Dingens Street Buffalo, NY 14206		INSURER(S) AFFORDING COVERAGE INSURER A : The Travelers Companies INSURER B : MEMIC INSURER C : St Paul Fire & Marine INSURER D : INSURER E : INSURER F :
		INSURER(S) AFFORDING COVERAGE	NAIC # 282

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Liquor Liability <input checked="" type="checkbox"/> \$0 Deductible GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC			630 5763P966 COF AGGREGATES APPLY PER LOCATION	02/07/12	02/07/13	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/> COMPREHENSIVE			810 6364L898 TIL \$1,000 DEDUCTIBLE	02/07/12	02/07/13
C	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ 10,000			R/O QK06502045-48337	02/07/12	02/07/13	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 AGGREGATE PER \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	3102801770* 3102801769**	02/07/12 02/07/12	02/07/13 02/07/13	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	PROPERTY RC/AA Coverage			630 5763P966 COF SEE STATEMENT OF VALUES	02/07/12	02/07/13	SPEC FORM 5,000 INCLTHEFT DEDUCTIBLE

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 Re: Portland Harbor Hotel, 468 Fore Street, Portland, ME 04101

CERTIFICATE HOLDER CITYPOR City of Portland Planning & Development 389 Congress Street Portland, ME 04101	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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