

2nd FLOOR COMPUTER SERVER ROOM REDUNDANT HVAC UPGRADE

FOR: CASCO VIEW HOLDINGS II, LLC

245-251 COMMERCIAL STREET

PORTLAND, MAINE 04101

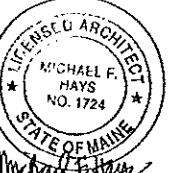
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Dept. of Building Inspections
City of Portland Maine

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REVISIONS

2ND FLOOR COMPUTER SERVER ROOM
REDUNDANT HVAC UPGRADE
CASCO VIEW HOLDINGS II, LLC
245-251 COMMERCIAL STREET
PORTLAND, MAINE 04101

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-6600
(207) 871-0806

COVER SHEET

SCALE NO SCALE
DATE 12 SEPT 2011
DRAWN BY MH/JAM
JOB NO. 110910
DRAWING NO. A-0

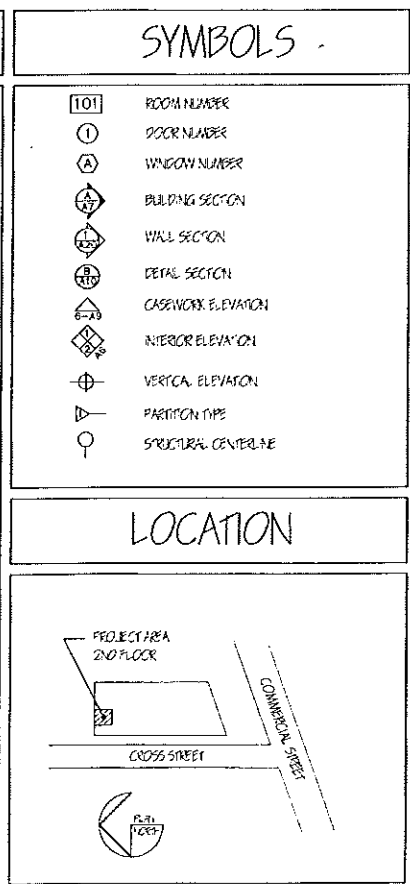
ABBREVIATIONS			
AF	ADDF FINISH/FLOR	HC	HATCH
AL	ADDITIONAL WALL PANEL	HE	HOLLOW METAL
AN	ANALOG	HO	HORIZONTAL
AP	APPLY	HT	HORIZONTAL TRIM
AS	ASPH/FLT	IC	INSULATION
AT	ASPH/FLT	IS	INSULATION
AW	AWNING	JA	JAMB
AX	AXIS	JL	JUNCTION
AY	AYER	JN	JUNCTION
BA	BATH	KA	KITCHEN
BB	BATH	KB	KITCHEN
BC	BATH	LC	LANDSCAPE
BD	BATH	LD	LANDSCAPE
BE	BATH	LE	LANDSCAPE
BF	BATH	LF	LANDSCAPE
BG	BATH	LG	LANDSCAPE
BH	BATH	LH	LANDSCAPE
BI	BATH	LJ	LANDSCAPE
BJ	BATH	LK	LANDSCAPE
BK	BATH	LL	LANDSCAPE
BL	BATH	LM	LANDSCAPE
BM	BATH	LN	LANDSCAPE
BN	BATH	LO	LANDSCAPE
BO	BATH	LP	LANDSCAPE
BP	BATH	LQ	LANDSCAPE
BQ	BATH	LR	LANDSCAPE
BR	BATH	LS	LANDSCAPE
BS	BATH	LT	LANDSCAPE
BT	BATH	LU	LANDSCAPE
BU	BATH	LV	LANDSCAPE
BV	BATH	LW	LANDSCAPE
BW	BATH	LX	LANDSCAPE
BX	BATH	LY	LANDSCAPE
BY	BATH	LZ	LANDSCAPE
BZ	BATH	MA	MATERIAL
CA	CASEWORK	MB	MATERIAL
CB	CASEWORK	MC	MATERIAL
CC	CASEWORK	MD	MATERIAL
CD	CASEWORK	ME	MATERIAL
CE	CASEWORK	MF	MATERIAL
CF	CASEWORK	MG	MATERIAL
CG	CASEWORK	MH	MATERIAL
CH	CASEWORK	MI	MATERIAL
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CJ	CASEWORK	MK	MATERIAL
CK	CASEWORK	ML	MATERIAL
CL	CASEWORK	MM	MATERIAL
CM	CASEWORK	MN	MATERIAL
CN	CASEWORK	MO	MATERIAL
CO	CASEWORK	MP	MATERIAL
CP	CASEWORK	MQ	MATERIAL
CQ	CASEWORK	MR	MATERIAL
CR	CASEWORK	MS	MATERIAL
CS	CASEWORK	MT	MATERIAL
CT	CASEWORK	MU	MATERIAL
CU	CASEWORK	MV	MATERIAL
CV	CASEWORK	MW	MATERIAL
CW	CASEWORK	MX	MATERIAL
CX	CASEWORK	MY	MATERIAL
CY	CASEWORK	MZ	MATERIAL
CA	CASEWORK	NA	NATURAL
CB	CASEWORK	NB	NATURAL
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CD	CASEWORK	ND	NATURAL
CE	CASEWORK	NE	NATURAL
CF	CASEWORK	NF	NATURAL
CG	CASEWORK	NG	NATURAL
CH	CASEWORK	NH	NATURAL
CI	CASEWORK	NI	NATURAL
CJ	CASEWORK	NJ	NATURAL
CK	CASEWORK	NK	NATURAL
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CX	CASEWORK	NY	NATURAL
CY	CASEWORK	NZ	NATURAL
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CY	CASEWORK	OY	OTHER

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION.
3. CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA.
4. WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS. DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED.
5. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE BUILDING. SITE BURNING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH WORK DAY.
6. ALL CONSTRUCTION DEBRIS SHALL BE DEPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS.
7. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESURE TREATED.
8. ALL CEILINGS SHALL BE LEVEL TO A TOLERANCE OF 1/8" IN A 20'-0" RADIUS WHEN CHECKED WITH A 10' STRAIGHT EDGE.
9. INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND HANDRAILS.
10. THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL.
11. ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
12. THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIALS PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK.
13. THESE ARCHITECTURAL DRAWINGS WERE PREPARED FOR THE GENERAL CONTRACTOR/OWNER AS PART OF AN AGREED-UPON SERVICES AGREEMENT, AND AS SUCH, DO NOT DELINEATE ALL ASPECTS OF THE WORK.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK, INCLUDING, BUT NOT LIMITED TO, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL ENGINEERING DISCIPLINES AND TRADES.
15. REFER TO THE ACCESSIBILITY DETAIL SHEET FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MHRA) CONSTRUCTION CRITERIA.

MATERIALS

	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	GRAVEL
	SOIL
	SOLID PARTITION (NEW)
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	PLYWOOD
	GYPSUM BOARD
	SUSPENDED ACOUSTICAL TILE
	BATT INSULATION
	RGD INSULATION
	FINISH WOOD
	ONE HOUR RATED PARTITION
	TWO HOUR RATED PARTITION
	EXISTING PARTITION (SCREENED)
	NEW PARTITION



DRAWING INDEX

A-0	COVER SHEET
A-1	NEW MECHANICAL ROOM PLAN, SECTIONS, ELEVATIONS SCHEDULES & DETAILS
A-2	CODE COMPLIANCE PLAN

CONTACTS

OWNER
CASCO VIEW HOLDINGS II, LLC
P.O. BOX 1137
PORTLAND, MAINE 04104-1137
JERRY DOBRANSKY
207-791-3517

CONTRACTOR
VILLAGE BUILDERS
21 NEW PORTLAND ROAD
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DAN GRANT
207-839-6072

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REVISIONS

Johnson & Jordan, Inc.
Mechanical Contractors
18 Mussey Road
Scarborough, Maine 04074

2ND FLOOR COMPUTER SERVER ROOM
REDUNDANT HVAC UPGRADE

CASCO VIEW HOLDINGS II, LLC
245-251 COMMERCIAL STREET
PORTLAND, MAINE 04101

ARCHITECTURE
INTERIOR DESIGN

NEW MECHANICAL ROOM
PLAN, SECTION, ELEVATIONS
SCHEDULES & DETAILS

DOOR SCHEDULE				
MARK	QTY.	UNIT TYPE	UNIT SIZE	REMARKS
202A	1	WOOD	3'-0" X 7'-0"	EXISTING DOOR (RELOCATED)
202B	1	STEEL	3'-0" X 7'-0"	90 MIN. FIRE RATED
202C	1	WOOD	3'-0" X 7'-0"	EXISTING DOOR (RELOCATED)
AP4	1	STEEL	5'-0" X 3'-0"	90 MINUTE RATED ACCESS PANEL

KEY	
---	NEW WALLS
---	SOUND PROOFED WALLS

GENERAL NOTES

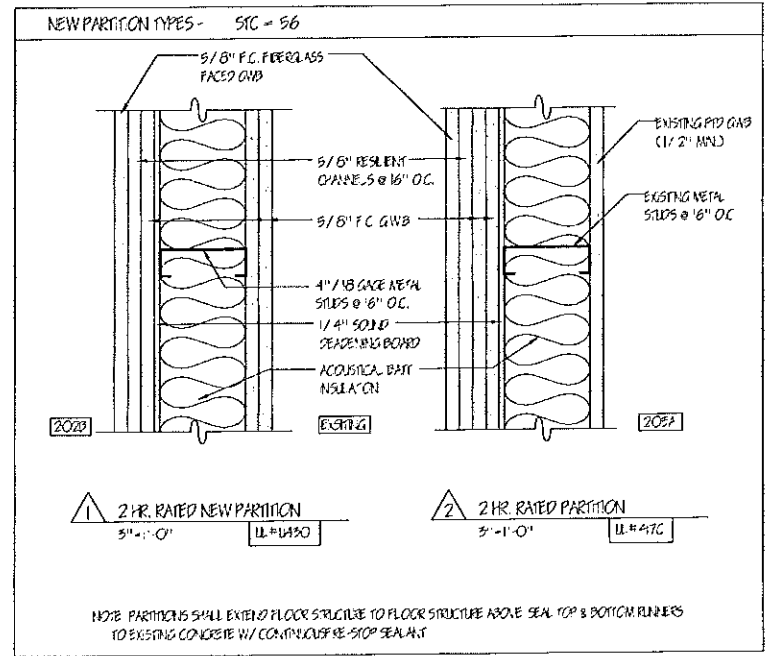
1. ALL CONTRACTORS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE THEY SHOULD BE BROUGHT TO THE ATTENTION OF GENERAL CONTRACTOR.

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR SHALL INSTALL THE FOLLOWING:

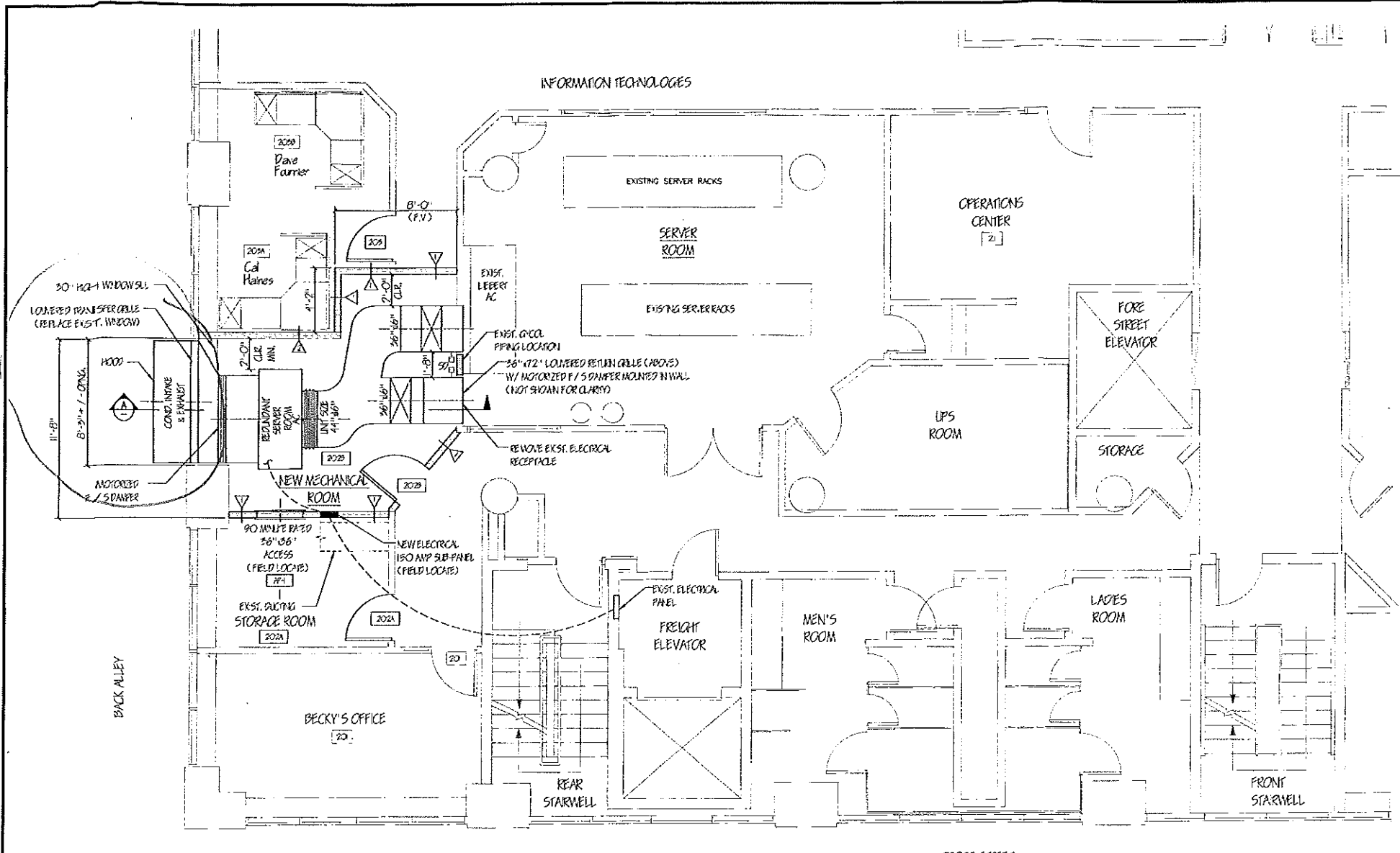
- (1) WALL PACK UNIT IN MECHANICAL R.A. & STORAGE R.A.
- (2) RECEPTACLES IN MECH. R.A. (1) IN STORAGE R.A.
- (3) INSTALL CONDENSE PUMP FOR OVERFLOW PAN.

- HARDWARE SETS - ROOM 202B (CREATED)
- 3 PLATS
 - 1 LEVER LOCKSET - STORE ROOM FUNCTION
 - 1 CLOSER - PARALLEL ARM
 - 1 LAMB & HEAD SOUND SEALS
 - (5) L.A.R. TO PENNO #3, 202
 - 1 FULCRUM DOOR BOTTOM
 - (5) L.A.R. TO PENNO #4, 202

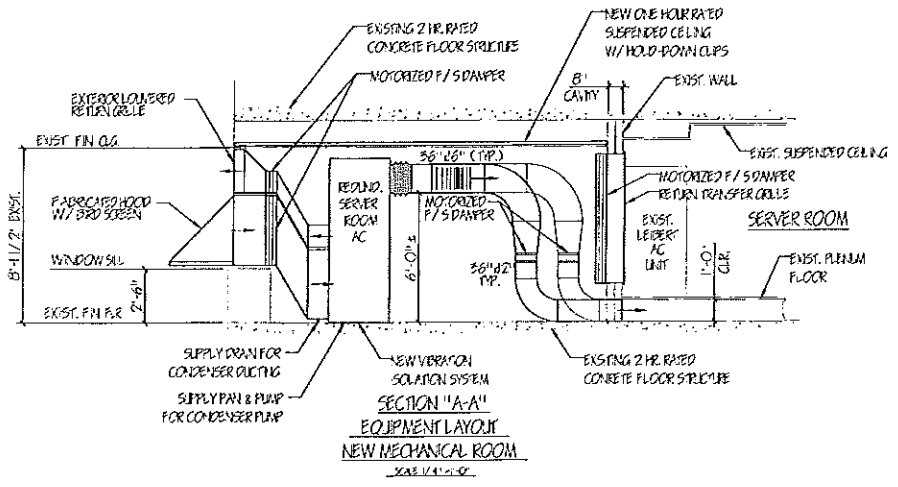


2 HR. RATED NEW PARTITION 5'-1'-0" UL#430
2 HR. RATED PARTITION 5'-1'-0" UL#47C

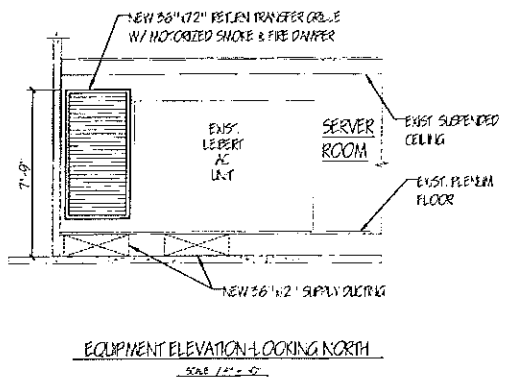
NOTE: PARTITIONS SHALL EXTEND FLOOR STRUCTURE TO FLOOR STRUCTURE ABOVE SEAL TOP & BOTTOM FLANGES TO EXISTING CONCRETE W/ CONTINUOUS RE-STOP SEALANT



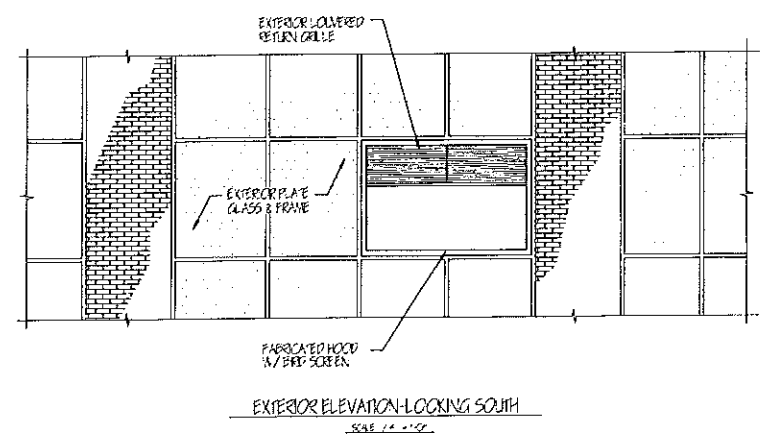
EQUIPMENT LAYOUT
2nd FLOOR - PLAN
SCALE 1/4" = 1'-0"



SECTION 'A-A'
EQUIPMENT LAYOUT
NEW MECHANICAL ROOM
SCALE 1/4" = 1'-0"



EQUIPMENT ELEVATION - LOOKING NORTH
SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION - LOOKING SOUTH
SCALE 1/4" = 1'-0"

GRANT HAYS ASSOCIATES

DRAWING NO. A-1

CODE ANALYSIS

NFPA 101 Life Safety Code - 2009 Edition

Building Classification:	Business (8,544 sf x 4 floors = 34,176 sf)
Construction Type:	II (000)
Hazard Classification:	Class B - Ordinary Hazard
Occupant Loads:	Business 100 s/occ.: 73/floor x 4= 292 Total Actual: 60 occupants
Janitor, Mech, Stor Rating:	1 hour
Stair Rating:	2 hours (one hour if fully sprinkled)
Shafts/Elevators:	2 hours
Area of Refuge:	1 hour rated (none if fully sprinkled)
Minimum Stair width:	44"
Maximum Riser height:	7"
Minimum Tread width:	11"
Minimum Headroom:	6'-8" at stairs; 7'-6" at occupied spaces
Maximum ht between landings:	12'-0"
Guardrail Height:	42"
Handrail height:	34"
Handrail top extension:	12" horz.
Handrail bottom extension:	11" angled + 12" horz.
Handrail diameter:	1-1/4" O.D.
Maximum baluster open space:	less than 4"
Max. Allowable Travel Distance:	200' (300' if fully sprinkled)
Max. Allowable Common Path:	75' (100' if fully sprinkled)
Max. Allowable Dead End Corridor:	20' (50' if fully sprinkled)
Minimum Egress Corridor Width:	44"
Minimum Number of Required Exits:	2
Minimum Horz Egress Enclosure rating:	1 hr. (none if fully sprinkled)
Separation of exits:	0.5 the diagonal distance (.33 if fully sprinkled)
Panic Hardware:	Required if over 50 total occupants
Fire Escapes as means of egress:	Allowed (NA)
Minimum Egress Door Width:	36"
Exit Lighting:	Required
Emergency Lighting:	Required
Fire Sprinkler System:	Required
Fire Alarm System:	Required
Portable Fire Extinguishers:	Required

International Building Code - 2009 Edition

Use Group Classification:	Business (B) 8,544 sf x 4 floors = 34,176 sf
Occupant Loads:	Business 100 s/occ.: 73/floor x 4= 292 Total Actual: 60 occupants

Building Limitations

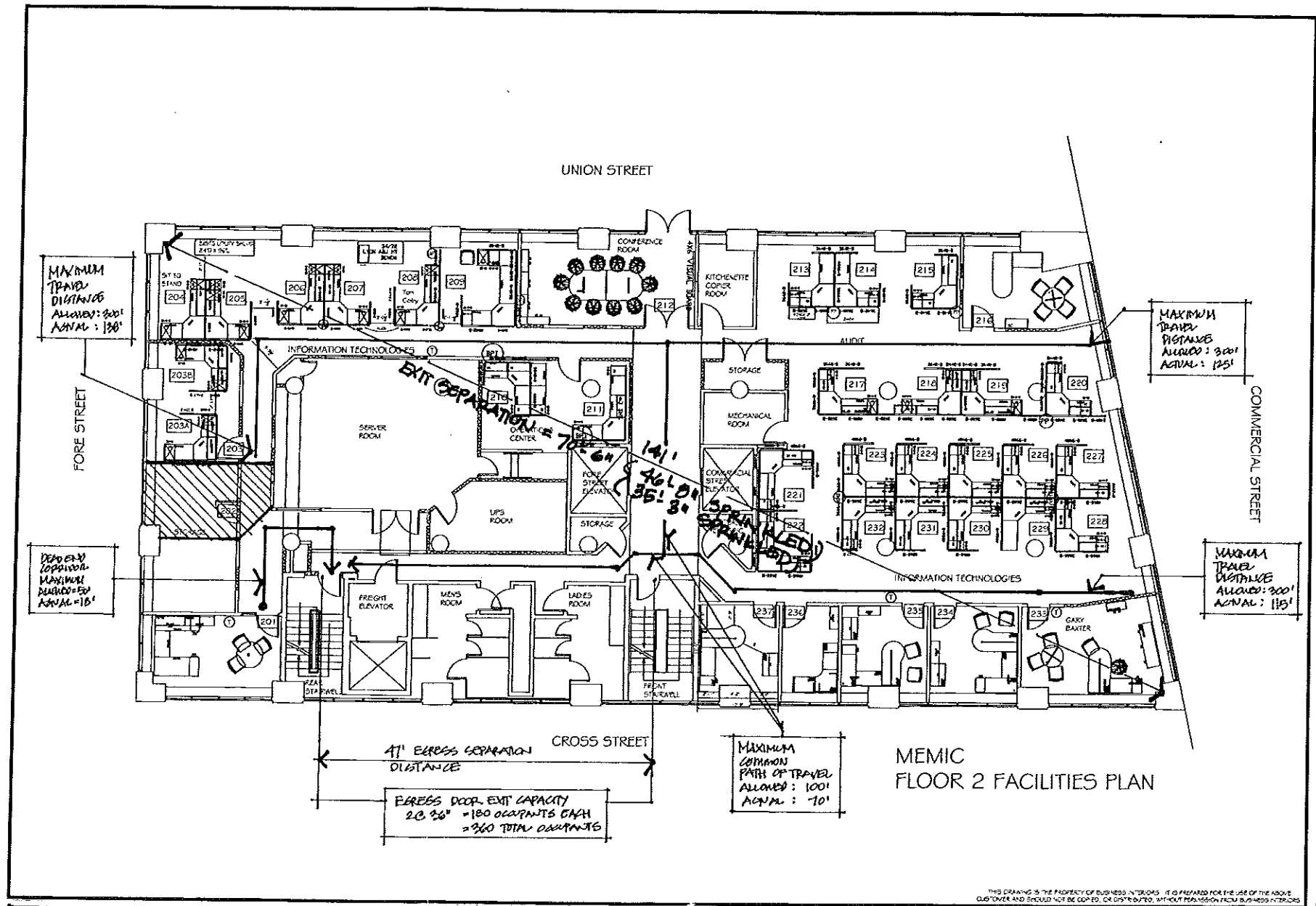
Construction Type:	II B
Maximum Height:	3 Story
Maximum Area / Floor:	23,000 sf
Height/Area Sprinkler Increases	1 Story/20' (4) and 200% area (69,000 sf)

Fire Resistance Design Criteria

Structural Frame	None
Floor Construction	None
Roof Construction	None
Load Bearing Exterior Walls:	None
Load Bearing Interior Walls:	None
Fire Separation Exits (Stairs):	1 hour
Shafts & Elevator Hoistways:	2 hours
Other Assemblies/Smoke Barriers:	1 hour
Janitor, Mech & Storage Rooms:	1 hour
Exit Corridors:	1 hour (none if fully sprinkled)
Minimum Number of Exits:	2 per floor
Maximum Dead End Corridor Length:	20' (50' if fully sprinkled)
Maximum Common Travel Path:	75' (100' if fully sprinkled)
Maximum Exit Travel Distance:	200' (300' if fully sprinkled)
Minimum Stair/Corridor Width:	44"
Maximum Riser Height:	7"
Minimum Tread Depth:	11"
Minimum Ramp Width:	44"
Maximum Ramp Pitch:	1:12
Handrails & Guardrails:	Same as NFPA 101
Minimum Ceiling Height:	7'-6"
Egress Fire Escapes:	Allowed
Fire Alarm System:	Required
Fire Sprinkler System:	Required
Exit Lighting:	Required
Emergency Lighting:	Required
Portable Fire Extinguishers:	Required

Building Live Loads

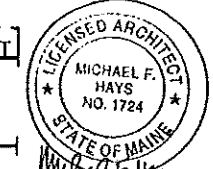
Offices Spaces:	50 psf
Corridors, Lobbies & Stairs:	100 psf



CODE COMPLIANCE PLAN

NO SCALE

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REVISIONS

**2ND FLOOR COMPUTER ROOM
 REDUNDANT HVAC UPGRADE**

CASCO VIEW HOLDINGS II, LLC
 245-251 COMMERCIAL ST. - PORTLAND, ME

**ARCHITECTURE
 INTERIOR DESIGN**

P.O. BOX 6178 FALMOUTH, MAINE 04105

(207) 871-6900
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CODE COMPLIANCE PLAN

DRAWING TITLE

SCALE NONE

DATE 12 SEPT 11

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