

38-F-8

1998-0020

468 Fore St.

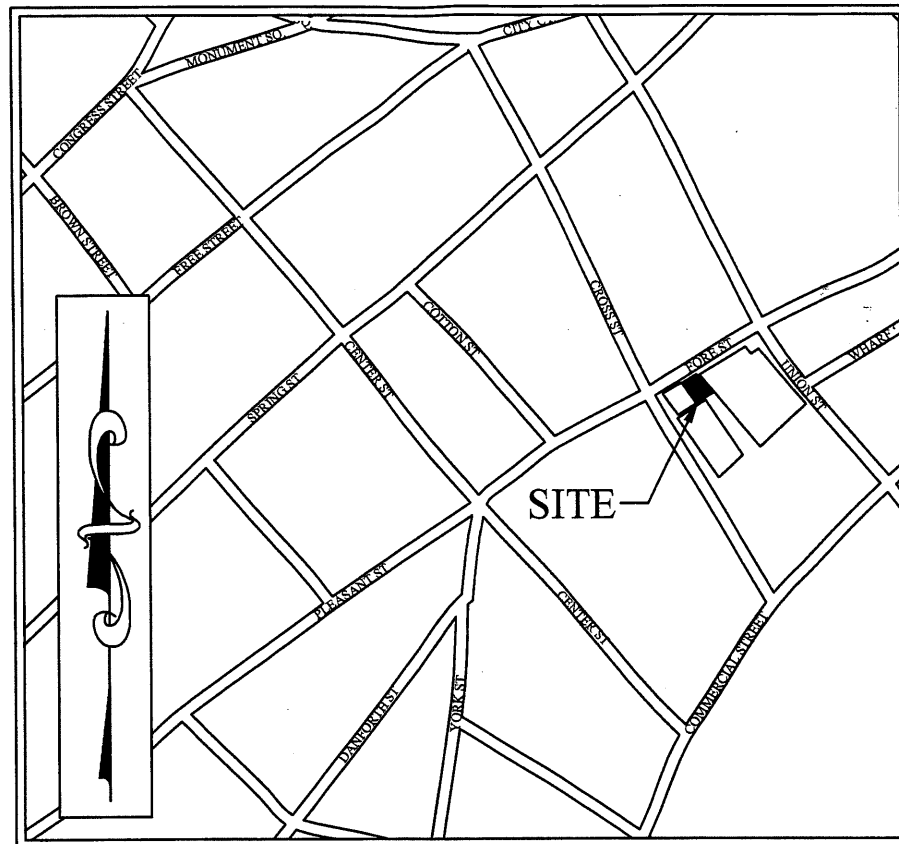
Harbor Plaza

Fore St. Realty

on Spreadsheet

## RELEVANT CODES – ADDITION TO PORTLAND HARBOR HOTEL

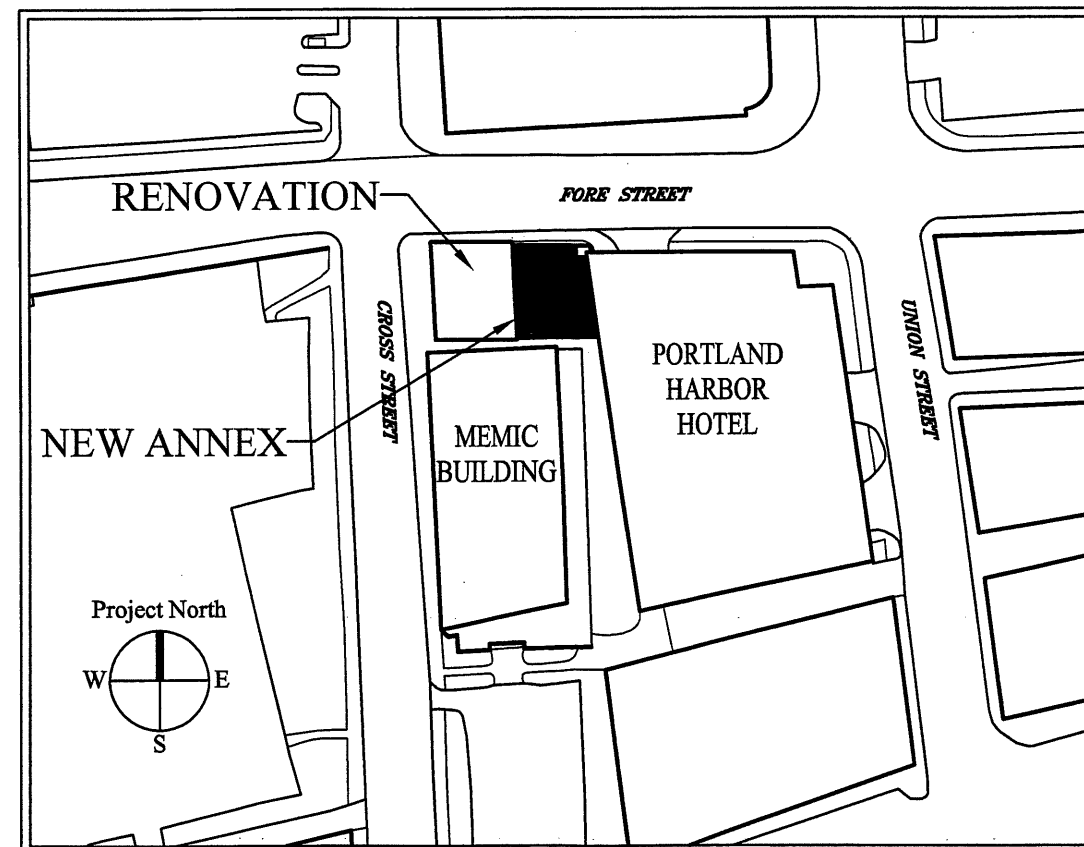
IBC-2003	CODE REFERENCE	FIRE PARTITIONS	
USE GROUP R-1 (HOTEL)	310.1	CORRIDOR FIRE PARTITION (NONBEARING) - 1/2 HR	708.1
USE GROUP S-2 (STORAGE)	311.3	DWELLING UNIT SEPARATION - 1 HR	T-1016.1
USE GROUP M (MERCANTILE)	309.1	4-STORY SHAFT - 2 HOURS	708.3
CONSTRUCTION TYPE 1-B (Protected non-combustible)	T-503	DRAFTSTOPPING - N/A	707.4
R-1 Sprinkled W/NFPA 13	903.3.1.1	STANDPIPE REQUIRED	717.3.2 exception 2
79,000sf. ALLOWED WITHOUT INCREASES		FIRE DEPT. CONNECTION REQUIRED	905.3.1
1,790sf. PROPOSED		ALARM REQUIRED	903.3.7 (AS DIRECTED BY FIRE)
ALLOWABLE HGT. WITH SPRINKLER 180'	504.2	SMOKE DETECTORS REQUIRED	907.2.8.1 exception 2
12 STORIES ALLOWED WITH SPRINKLER	504.2	3' ELEVATOR VENT REQUIRED	907.2.10.1.1
4 STORIES PROPOSED		FIREWALL REQUIRED BETWEEN USES - 3 HOURS	3007.3
<b>FIRE RESISTANCE FOR TYPE 1-B</b>		FIREWALL - ANY NON-COMBUSTIBLE MATERIAL	T-705.4
COLUMNS AND FLOOR/CEILING - 2 HOURS	T-601	FIREWALL HAS NO 18" EXTENSION	705.3
ROOF - 2 HOURS	T-601	FIREWALL STOPS AT LOW ROOF OF STEPPED BLDG.	705.5 Exception 3
<b>MAINE HUMAN RIGHTS COMMISSION</b>		DOORS IN FIREWALL TO BE RATED 3 HOURS	705.6.1
ACCESSIBILITY CODE TO BE ANSI A117.1 - 2003		RATING OF BRICK FIREWALL 3 HOURS = 4.9 IN.	T-715.3
		RATING OF EXTERIOR WALLS - 1 HOUR < 5ft.	T-720.1(2)
		LEVEL OF EXIT DISCHARGE UNRATED	T-602
		<b>MEANS OF EGRESS</b>	1023.1
		USE GROUP M OCCUPANT LOAD 1375/30 = 46	1003
		ONE MEANS OF EGRESS ALLOWED	T-1004.1.2
		USE GROUP R-1 OCCUPANT LOAD 2,007/200 = 10	T-1014.1
		MINIMUM REQUIRED CORRIDOR WIDTH - N/A	T-1004.1.2
		MERCANTILE SPACE IN SWING DOOR < 50 PEOPLE	1005.1



LOCATION MAP - NOT TO SCALE

## RELEVANT CODES – RENOVATION OF 470 FORE ST.

IBC-2003	CODE REFERENCE	FIRE PARTITIONS	
USE GROUP R-1 (HOTEL) AND M (MERCANTILE)	310.1 AND 309.1	CORRIDOR FIRE PARTITION (NONBEARING) - 1 HR	1014.2.1ex1
CONSTRUCTION TYPE 3-B	T-503	DRAFTSTOPPING - N/A	717.3.2 exception 2
R-1 Sprinkled W/NFPA 13	903.3.1.1	STANDPIPE NOT REQUIRED <30'-0"	905.3.1
12,500sf. ALLOWED WITHOUT INCREASES		FIRE DEPT. CONNECTION REQUIRED	903.3.7 (AS DIRECTED BY FIRE)
2,077sf. PROPOSED	504.2	ALARM REQUIRED	907.2.8.1 exception 2
ALLOWABLE HGT. WITH SPRINKLER 75'	504.2	SMOKE DETECTORS REQUIRED	907.2.10.1.1
5 STORIES ALLOWED WITH SPRINKLER		FIREWALL REQUIRED BETWEEN USES - 3 HOURS	T-705.4
3 STORIES PROPOSED (EXISTING)		FIREWALL - ANY NON-COMBUSTIBLE MATERIAL	705.3
<b>FIRE RESISTANCE FOR TYPE 3-B</b>		FIREWALL HAS NO 18" EXTENSION	705.5 Exception 3
COLUMNS AND FLOOR/CEILING - 0 HOURS	T-601	FIREWALL STOPS AT LOW ROOF OF STEPPED BLDG.	705.6.1
BEARING WALLS - EXTERIOR - 2 HOURS	T-601	DOORS IN FIREWALL TO BE RATED 3 HOURS	T-715.3
BEARING WALLS - INTERIOR - 0 HOURS	T-601	RATING OF BRICK FIREWALL 3 HOURS = 4.9 IN.	T-720.1(2)
FLOOR CONSTRUCTION - 0 HOURS	T-601	RATING OF EXTERIOR WALLS - 1 HOUR < 5ft.	T-602
ROOF CONSTRUCTION - 0 HOURS	T-601	<b>MEANS OF EGRESS</b>	1003
<b>MAINE HUMAN RIGHTS COMMISSION</b>		USE GROUP M OCCUPANT LOAD 1450/30 = 49	T-1004.1.2
ACCESSIBILITY CODE TO BE ANSI A117.1 - 2003		ONE MEANS OF EGRESS ALLOWED	T-1014.1
		USE GROUP R-1 OCCUPANT LOAD 2,007/100 = 20	T-1004.1.2
		MINIMUM REQUIRED CORRIDOR WIDTH - N/A	1005.1
<b>NFPA 101 LIFE SAFETY</b>			
2-HOUR STAIR SHAFT NON-COMBUSTIBLE MATERIALS	NFPA A.7.1.3.2.1(5)		
STAIR MATERIALS SAME AS BUILDING CONSTRUCTION	NFPA 7.2.2.3.1.2		
EXIT ACCESS SEPARATION MEASURED ALONG	NFPA 7.5.1.3.3		
1-HOUR CORRIDOR LINE OF TRAVEL	FIG. A.7.5.1.3.2(d)		



KEY PLAN - NOT TO SCALE

OWNER:  
468 FORE STREET  
REALTY LLC  
FORE STREET  
PORTLAND, MAINE

ARCHETYPE, P.A.  
ARCHITECTS  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
PORTLAND HARBOR  
HOTEL ANNEX  
FORE STREET  
PORTLAND, MAINE

Revisions:  
Planning Submission - 23 May 2007  
Re-Submission - 24 August 2007

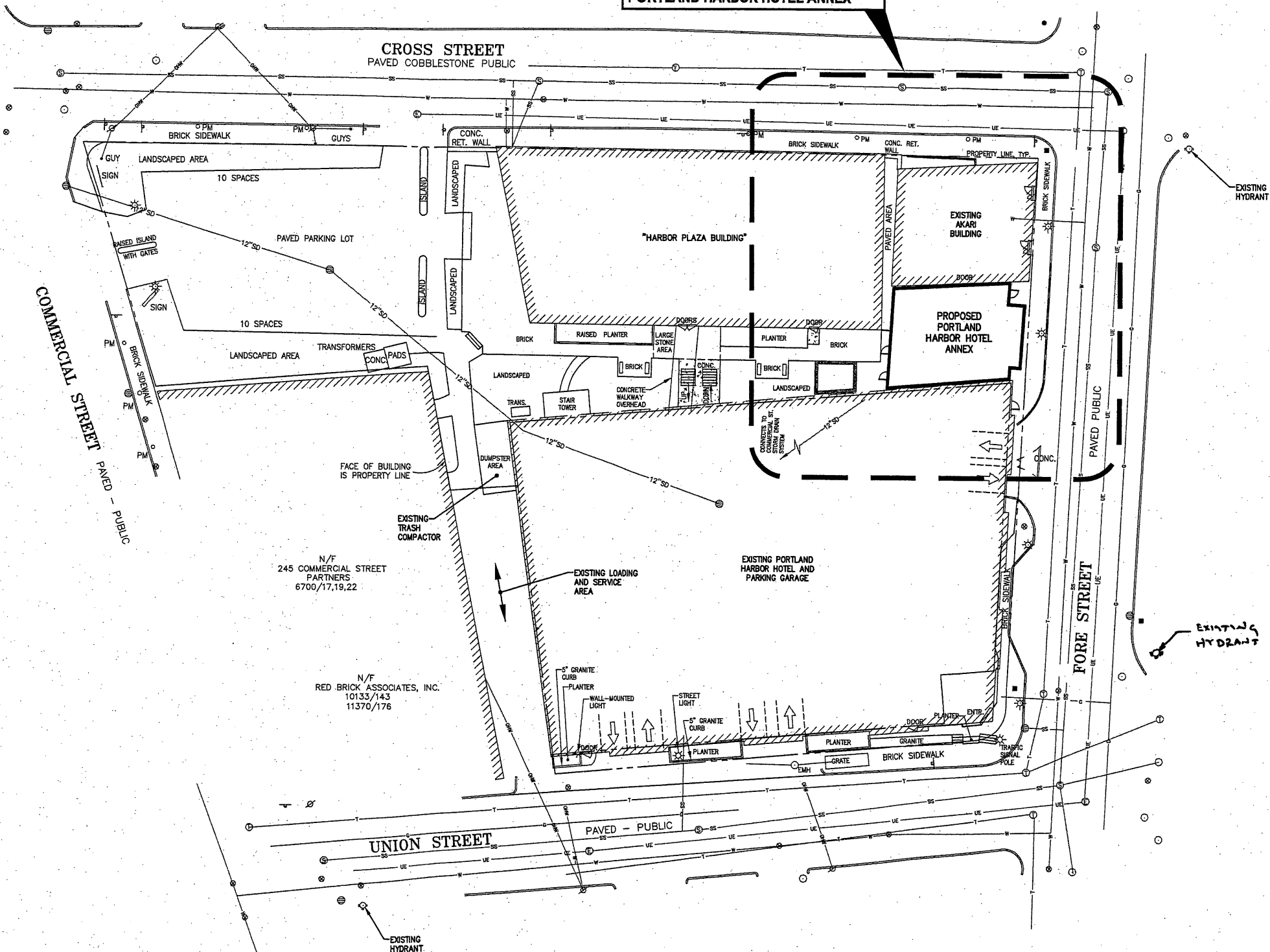
Date:  
23 May 2007  
Scale:  
N.T.S.

CODE ANALYSIS

A00

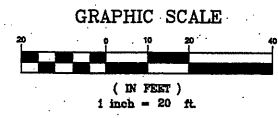


REFER TO SHEET 2 FOR DETAILED SITE PLAN INFORMATION ASSOCIATED WITH PORTLAND HARBOR HOTEL ANNEX

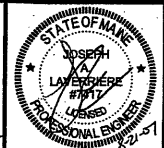


N/F 245 COMMERCIAL STREET PARTNERS 6700/17,19,22  
N/F RED BRICK ASSOCIATES, INC. 10133/143 11370/176

PRELIMINARY - NOT FOR CONSTRUCTION



REV	DATE	DESCRIPTION
1	06.21.07	SUBMITTED TO THE CITY OF PORTLAND



PROJECT  
**PORTLAND HARBOR HOTEL ANNEX**

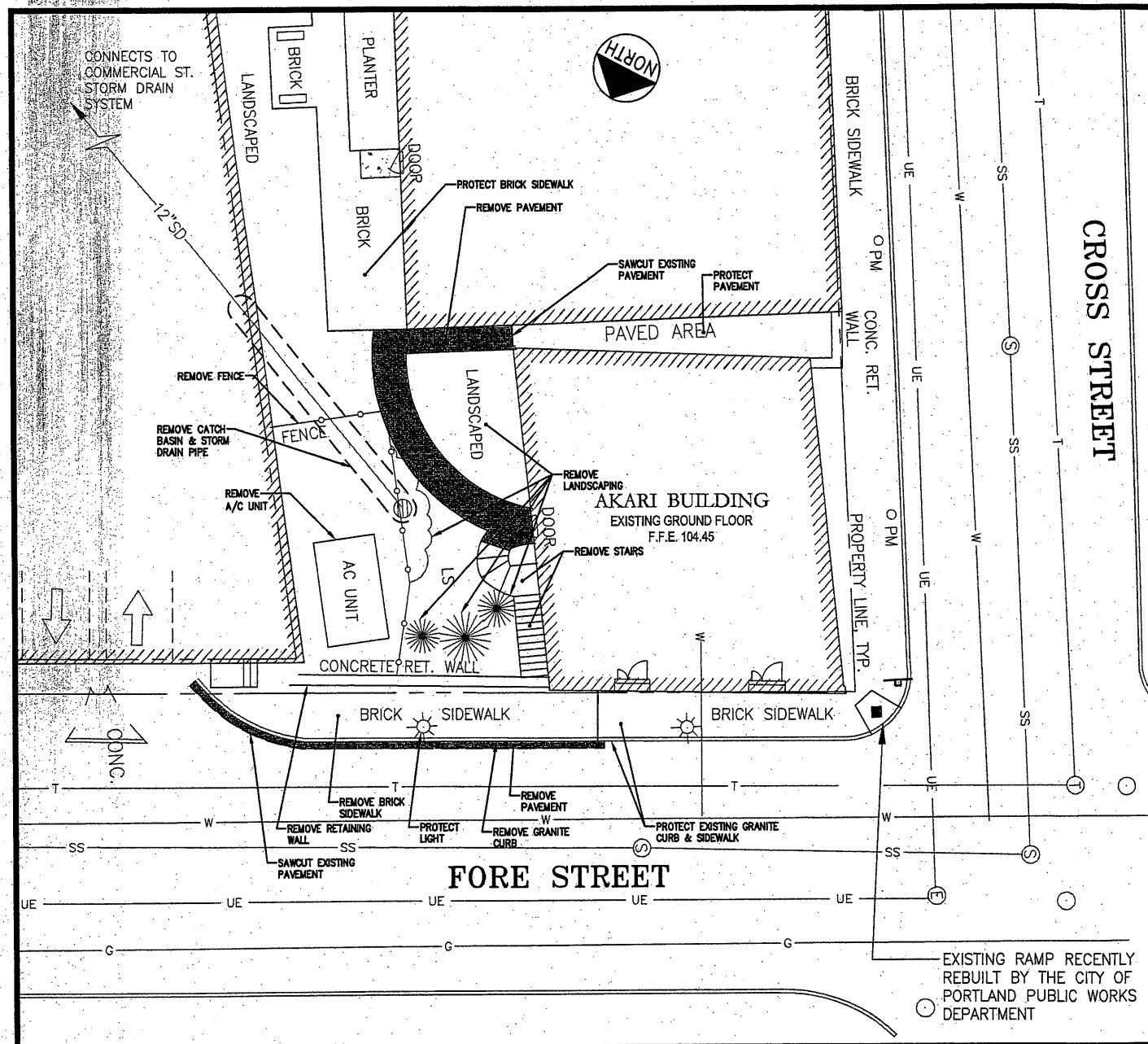
SHEET TITLE  
**OVERALL SITE PLAN**

CLIENT  
**468 FORE STREET REALTY LLC**

**DH** DeLUCA-HOFFMAN ASSOCIATES, INC.  
779 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.776.1121  
WWW.DELUCAHOFFMAN.COM

DRAWN: CDD DATE: AUGUST 2007  
DESIGNED: JAL SCALE: 1" = 20'  
CHECKED: JAL JOB NO. 2780  
FILE NAME: 2780-SP  
SHEET 1

G:\2780-Portland Harbor Hotel\DWG\2780-SP.dwg, L:\OVERALL SITE, 8/21/2007 4:48:49 PM, cdb



**EXISTING CONDITIONS/DEMOLITION PLAN**



**GENERAL NOTES:**

1. THIS PROJECT WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF ALL PERMITS ISSUED BY THE CITY OF PORTLAND AND LOCAL UTILITY COMPANIES.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, THE EXACT BUILDING CORNERS, PRECISE BUILDING DIMENSIONS, AND THE EXACT BUILDING UTILITY ENTRANCE POINTS. ACTUAL BUILDING LAYOUT SHALL BE BASED UPON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE FINAL SERVICE CONNECTIONS IN THE CONTRACT.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE CITY OF PORTLAND STANDARD SPECIFICATIONS AND THE PROJECT SPECIFICATIONS. WHERE A MORE STRINGENT APPROVAL OR STANDARD IS REQUIRED, PRICES SHALL BE BASED UPON THE MORE STRINGENT STANDARD. NOTIFY THE OWNER OF THE CONFLICT FOR VERIFICATION PRIOR TO ORDERING MATERIALS OR CONSTRUCTION.
6. THE CONTRACTOR SHALL BE REQUIRED TO PREPARE AND SUBMIT A CONSTRUCTION MOBILIZATION SITE PLAN FOR REVIEW & APPROVAL BY THE PORTLAND PLANNING AUTHORITY PRIOR TO THE START OF CONSTRUCTION. THE PLAN MUST SHOW TEMPORARY CONSTRUCTION ACCESS REQUIREMENTS, INCLUDING TEMPORARY SOIL & EROSION CONTROL MEASURES MEETING THE MDEP BEST MANAGEMENT PRACTICES.
7. THIS SITE PLAN HAS BEEN PREPARED BASED UPON AN EXISTING CONDITIONS SURVEY PREPARED BY OWEN HASKELL, INC. OF PORTLAND, MAINE.

**DEMOLITION NOTES:**

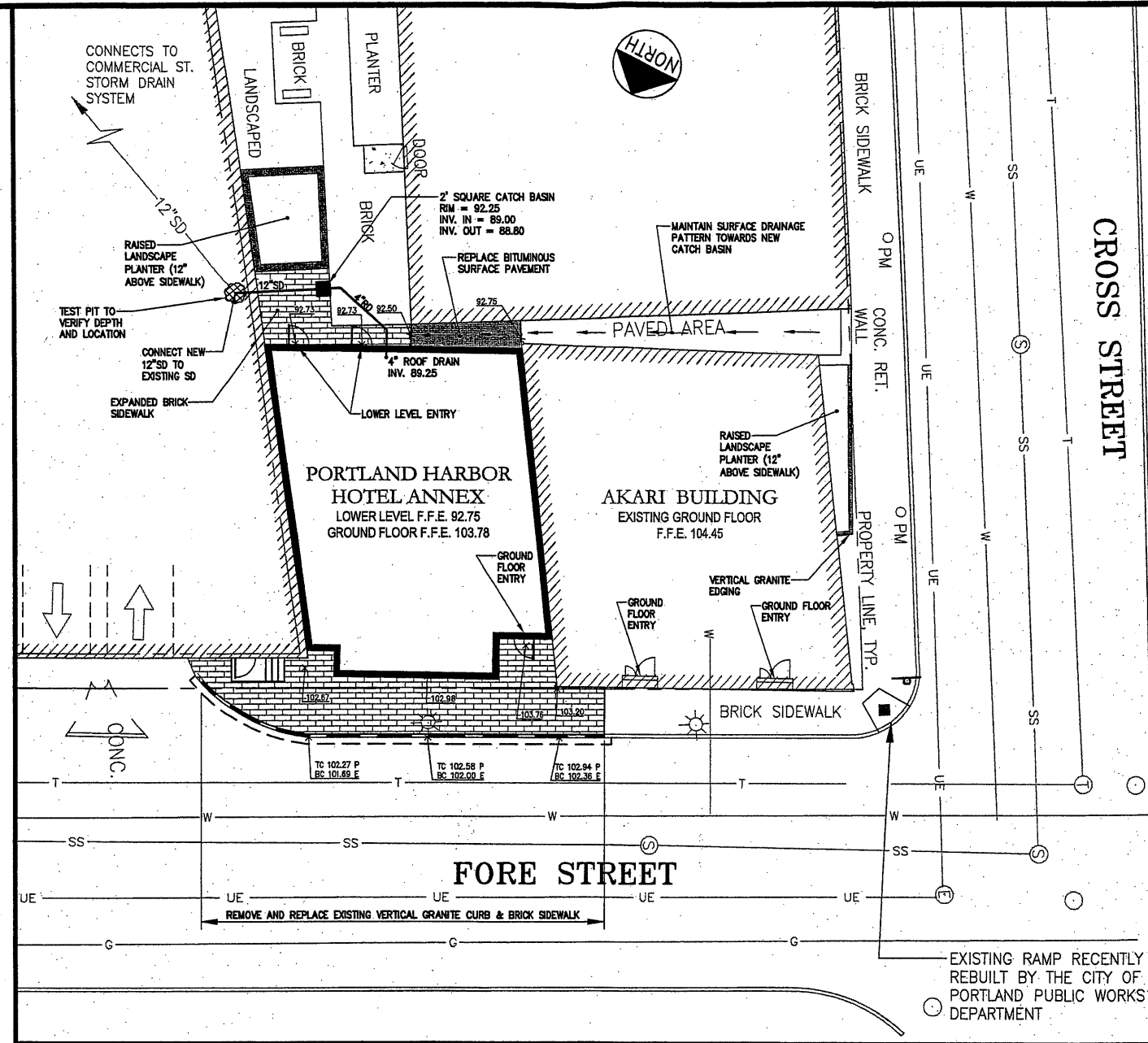
1. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAWCUT TO A NEAT LINE.
2. ALL PAVEMENT WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN CONFORMANCE WITH THE STREET OPENING REQUIREMENTS OF THE CITY OF PORTLAND.
3. ALL ITEMS REMOVED AS PART OF THIS PROJECT (CONCRETE RETAINING WALLS, BITUMINOUS PAVEMENT, BRICK SIDEWALK, LANDSCAPE MATERIALS & APPURTENANCE STRUCTURES) SHALL BE DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**SITE LAYOUT NOTES:**

1. ALL VERTICAL GRANITE CURB SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND.
2. ALL DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO THE EDGE OF PAVEMENT, FACE OF CURB OR THE FACE OF THE BUILDING.
3. ALL ACCESSIBLE SIDEWALK RAMP ARE TO BE CONSTRUCTED WITH THE CURB FLUSH AT THE CROSSING OR TO CURRENT ADA STANDARDS.

**GRADING AND DRAINAGE NOTES:**

1. ALL STORM DRAIN PIPE SHALL BE SMOOTH BORE INTERIOR PROVIDING A MANNING'S ROUGHNESS COEFFICIENT OF N = .012 OR LESS.



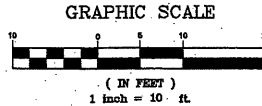
**SITE PLAN**

THE AKARI BUILDING IS CURRENTLY SERVED BY WATER & SEWER SERVICE CONNECTIONS TO THE PUBLIC UTILITIES WITHIN FORE STREET. THE PROPOSED RENOVATION OF THE EXISTING AKARI BUILDING WILL CONTINUE TO UTILIZE THESE EXISTING SERVICE CONNECTIONS.

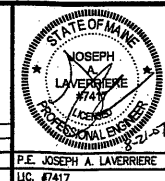
THE EXISTING UTILITIES (SEWER, WATER, ELECTRIC, COMMUNICATIONS, ETC.) WITHIN THE PORTLAND HARBOR HOTEL WILL BE EXTENDED WITHIN THE BUILDING TO PROVIDE SERVICE TO THE PROPOSED PORTLAND HARBOR HOTEL ANNEX.

NO UTILITY CONNECTION WORK WILL BE PERFORMED WITHIN FORE STREET OR CROSS STREET FOR THIS PROJECT.

**PRELIMINARY - NOT FOR CONSTRUCTION**



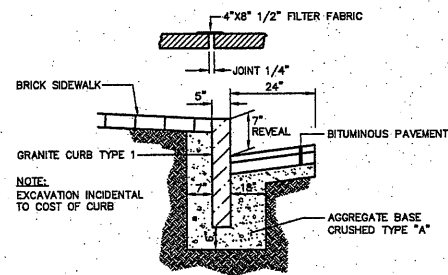
REV	DATE	DESCRIPTION
2	08.21.07	SUBMITTED TO THE CITY OF PORTLAND
1	08.15.07	SUBMITTED TO ARCHETYPE FOR REVIEW



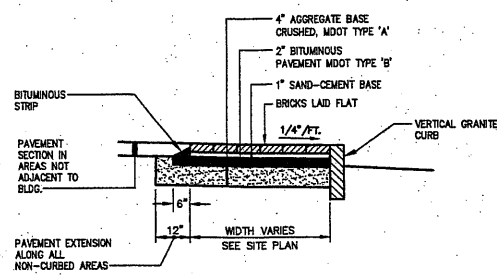
PROJECT	PORTLAND HARBOR HOTEL ANNEX
SHEET TITLE	EX. CONDITIONS/DEMOLITION PLAN AND SITE PLAN
CLIENT	468 FORE STREET REALTY LLC

DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.776.1011 WWW.DELUCAHOFFMAN.COM	DRAWN: CDD DATE: AUGUST 2007 DESIGNED: JAL SCALE: 1" = 10' CHECKED: JAL JOB NO. 2760 FILE NAME: 2760-SP SHEET 2
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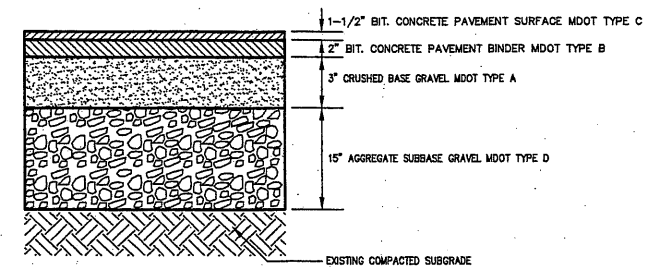


1 VERTICAL GRANITE CURB DETAIL  
N.T.S.

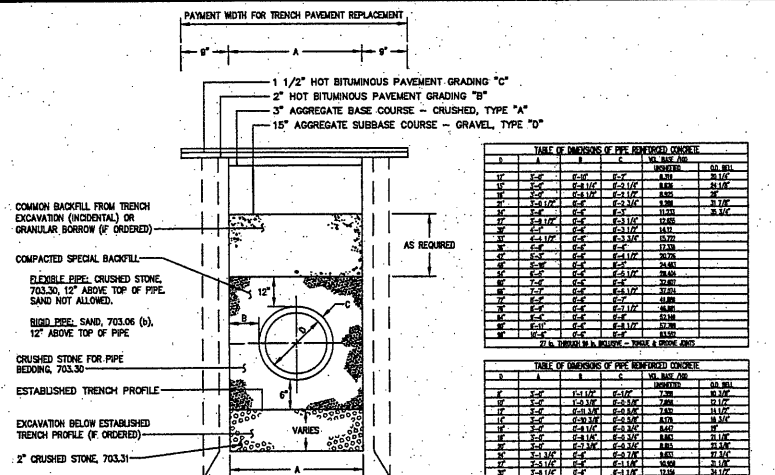


2 BRICK SIDEWALK PAVEMENT DETAIL  
N.T.S.

- NOTES:
1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES
  2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION
  3. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH SPECIFICATIONS



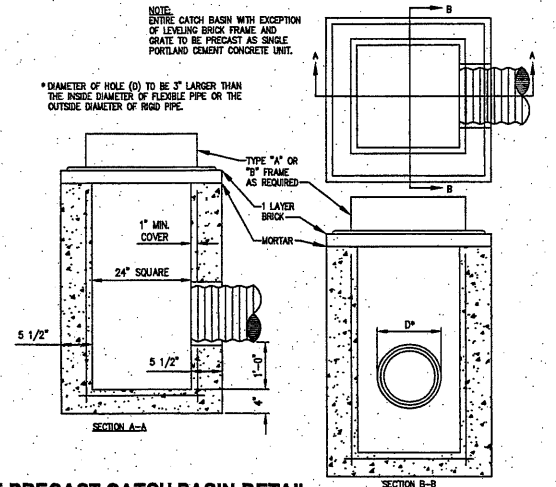
3 TYP. PAVEMENT SECTION DETAIL  
N.T.S.



4 TYPICAL TRENCH DETAIL  
N.T.S.

TABLE OF DIMENSIONS OF PIPE REINFORCED CONCRETE			
IN.	FT.	IN.	FT.
12	1.00	12	1.00
15	1.25	15	1.25
18	1.50	18	1.50
21	1.75	21	1.75
24	2.00	24	2.00
27	2.25	27	2.25
30	2.50	30	2.50
33	2.75	33	2.75
36	3.00	36	3.00
39	3.25	39	3.25
42	3.50	42	3.50
45	3.75	45	3.75
48	4.00	48	4.00
51	4.25	51	4.25
54	4.50	54	4.50
57	4.75	57	4.75
60	5.00	60	5.00
63	5.25	63	5.25
66	5.50	66	5.50
69	5.75	69	5.75
72	6.00	72	6.00
75	6.25	75	6.25
78	6.50	78	6.50
81	6.75	81	6.75
84	7.00	84	7.00
87	7.25	87	7.25
90	7.50	90	7.50
93	7.75	93	7.75
96	8.00	96	8.00
99	8.25	99	8.25
102	8.50	102	8.50
105	8.75	105	8.75
108	9.00	108	9.00
111	9.25	111	9.25
114	9.50	114	9.50
117	9.75	117	9.75
120	10.00	120	10.00

TABLE OF DIMENSIONS OF PIPE REINFORCED CONCRETE			
IN.	FT.	IN.	FT.
12	1.00	12	1.00
15	1.25	15	1.25
18	1.50	18	1.50
21	1.75	21	1.75
24	2.00	24	2.00
27	2.25	27	2.25
30	2.50	30	2.50
33	2.75	33	2.75
36	3.00	36	3.00
39	3.25	39	3.25
42	3.50	42	3.50
45	3.75	45	3.75
48	4.00	48	4.00
51	4.25	51	4.25
54	4.50	54	4.50
57	4.75	57	4.75
60	5.00	60	5.00
63	5.25	63	5.25
66	5.50	66	5.50
69	5.75	69	5.75
72	6.00	72	6.00
75	6.25	75	6.25
78	6.50	78	6.50
81	6.75	81	6.75
84	7.00	84	7.00
87	7.25	87	7.25
90	7.50	90	7.50
93	7.75	93	7.75
96	8.00	96	8.00
99	8.25	99	8.25
102	8.50	102	8.50
105	8.75	105	8.75
108	9.00	108	9.00
111	9.25	111	9.25
114	9.50	114	9.50
117	9.75	117	9.75
120	10.00	120	10.00



5 2' SQUARE PRECAST CATCH BASIN DETAIL  
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

G:\1760-Portland Harbor Hotel\DWG\PERMIT SET\1760-DET.dwg, 3-DETAILS, 8/21/2007 1:45:37 PM, cddbc

			PROJECT <b>PORTLAND HARBOR HOTEL ANNEX</b>	DeLUCA-HOFFMAN ASSOCIATES, INC. 775 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.776.1121 WWW.DELUCAHOFFMAN.COM
SHEET TITLE <b>DETAILS</b>			DRAWN: CDD DATE: AUGUST 2007 DESIGNED: JAL SCALE: N.T.S. CHECKED: JAL JOB NO. 2780 FILE NAME: 2780-DET	CLIENT <b>468 FORE STREET REALTY LLC</b>
REV 2 1	DATE 08.21.07 08.15.07	DESCRIPTION SUBMITTED TO THE CITY OF PORTLAND SUBMITTED TO ARCHITYPE FOR REVIEW	P.E. JOSEPH A. LAVERRIERE LIC. # 7417	SHEET <b>3</b>

(GAR.)

NOTE: SOME EROSION OF SOIL & BARK IN THIS GENERAL AREA

PROPOSED NEW CONSTRUCTION

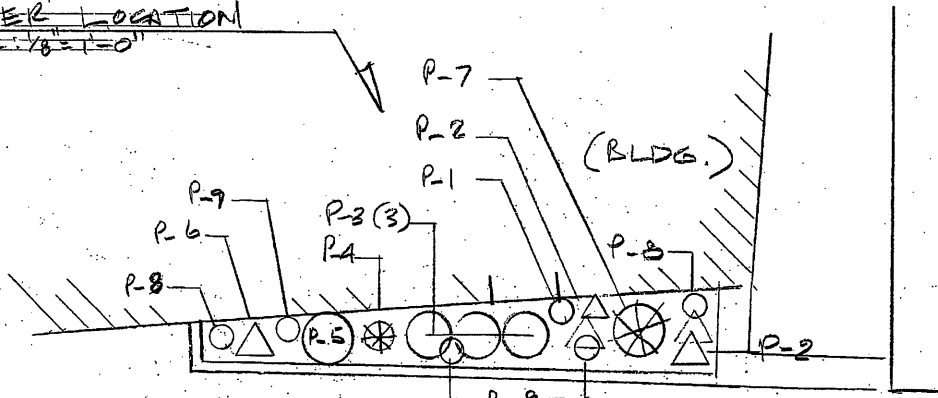
NOTE: IF EXISTING RHODODENDRON SHRUBS MAY BE TRANSPLANTED TO ADJACENT PLAZA (SEE KEY)

ANNEX (PROPOSED)

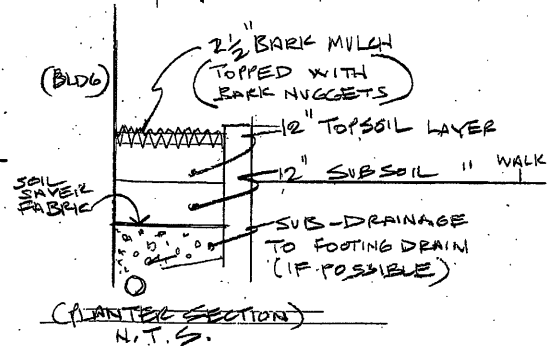
FORE ST.

(WALK)

PLANTER LOCATION  
SCALE: 1/8" = 1'-0"



PLANTER PLANTING  
SCALE: 1/4" = 1'-0"



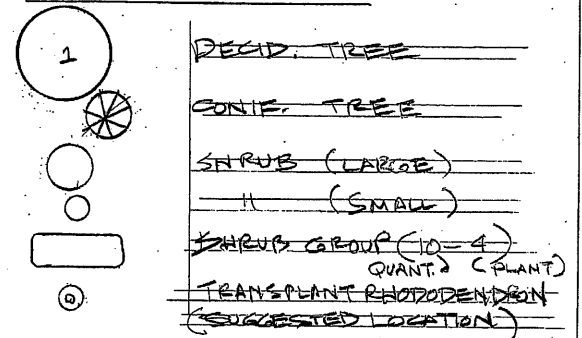
HARBOR PLAZA - EXISTING PLANTINGS:

NO.	PLANT TYPE	QUANTITY	BOT. NAME (OR APPROX.)
1	DECIDUOUS TREE	5	ORNAMENTAL PEAR (PYRUS)
2	CONIFEROUS TREE	9	NORWAY SPRUCE (PICEA)
3	DECID. SHRUB	17	DWARF WINGED BURNING BUSH
4	"	44 (+)	CRANBERRY COTONEASTER
5	BROADLEAF SHRUB	14	CATAWBA RHODODENDRON VAR.
6	DECID. SHRUB	1	LATE LILAC (SYRINGA)
7	"	8	VIBURNUM VAR.
8	BROADLEAF SHRUB	6	ANDROMEDA (PETER'S)
9	CONIF. SHRUB	37 (+)	BLUE RUS JUNIPER
10	DECID. SHRUB	8 (+)	HONEYSUCKLE VAR.

NOTE: LIST ABOVE IS AN INVENTORY OF EXISTING PLANTINGS TAKEN ON 8-14-07

PLAZA AREA  
SCALE: 1/8" = 1'-0"

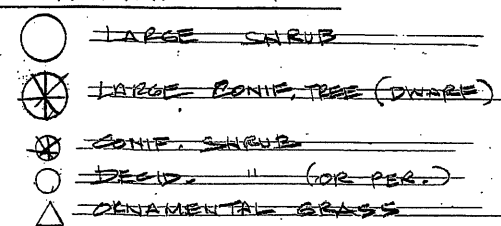
PLANTING KEY:



PLANT LIST FOR PLANTER:

SYMB.	BOTANICAL NAME	COMMON NAME	QUANT.	NOTES
P-1	ARTEMESIA LUDVICIANA	WHITE SAGE	1	6" POT
P-2	CALAMAGROSTIS ARUNDINACEA	FEATHER REED GRASS	2	GAL. CONTAINER
P-3	CORNUS ALBA SIBERICA	SIBERIAN DOGWOOD	3	10-12" HT (CONT.)
P-4	JUNIPERUS HORIZONTALIS PROSTRATUS	CREEPING JUNIPER	1	12-18" SPR. "
P-5	LYGSTRUM OBUSIFOLIUM REBELIANUM	REBEL PRIVET	1	2-3" HT "
P-6	PHALARIS ARUNDINACEA 'PICTA'	WHITE STAPED REED GRASS	1	GAL. CONTAINER
P-7	PICEA GLAUCA 'PENDULA'	WEeping WHITE SPRUCE	1	5-6" HT BEB (SPECIMEN)
P-8	SEDUM SPP.	SEDUM	2	6" POT
P-9	SPIRAEA JAPONICA 'ALPINA'	DAPHNE SPIREA	3	10-12" HT. (CONT.)

PLANTING KEY:



OWNER:  
468 FORE STREET  
REALTY LLC  
FORE STREET  
PORTLAND, MAINE 04101

ARCHETYPE, P.A.  
ARCHITECTS  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

PORTLAND HARBOR  
HOTEL ANNEX  
468-470 FORE STREET  
PORTLAND, MAINE

Project:  
Revisions:  
Date: 17 August 2007

Scale: AS NOTED  
Date: 17 August 2007

LANDSCAPE PLAN

L1.00

**NOTE:**  
 ALLOWABLE HEIGHT DETERMINATION IS BASED UPON THE DISTANCE TO TOP OF STRUCTURE (BEAM) FROM AVERAGE GRADE. DEFINITION OF AVERAGE GRADE IS THE SUM OF THE ELEVATIONS AT EACH OF THE FOUR CORNERS, DIVIDED BY FOUR.  $(92.14' + 103.00' + 102.41' + 91.71') / 4 = 97.32'$ .

- KEY NOTES:**
- 01 GLASS CURTAIN WALL SYSTEM - BUTT GLAZED ON THE VERTICAL JOINTS AND MILLION CAPS ON THE HORIZONTALS.
  - 02 LEAD COATED COPPER SIDING
  - 03 GRANITE PANELS
  - 04 EIFS SYSTEM
  - 05 POLISHED 616 STEEL LETTERING ON STAINLESS STEEL BAR
  - 06 BUTT GLAZED OUTSIDE CORNER
  - 07 LEAD-COATED COPPER SPANDREL PANEL
  - 08 LEAD-COATED COPPER CORNICE OR EDGE FLASHING
  - 09 PROJECTING SIGNAGE
  - 10 NEW MAHOGANY STOREFRONT
  - 11 BUILDING ACCENT LIGHTING



2 | PARTIAL ELEVATION - EAST  
 SCALE: 1/8" = 1'-0"

1 | NORTH ELEVATION - FORE STREET  
 SCALE: 1/8" = 1'-0"

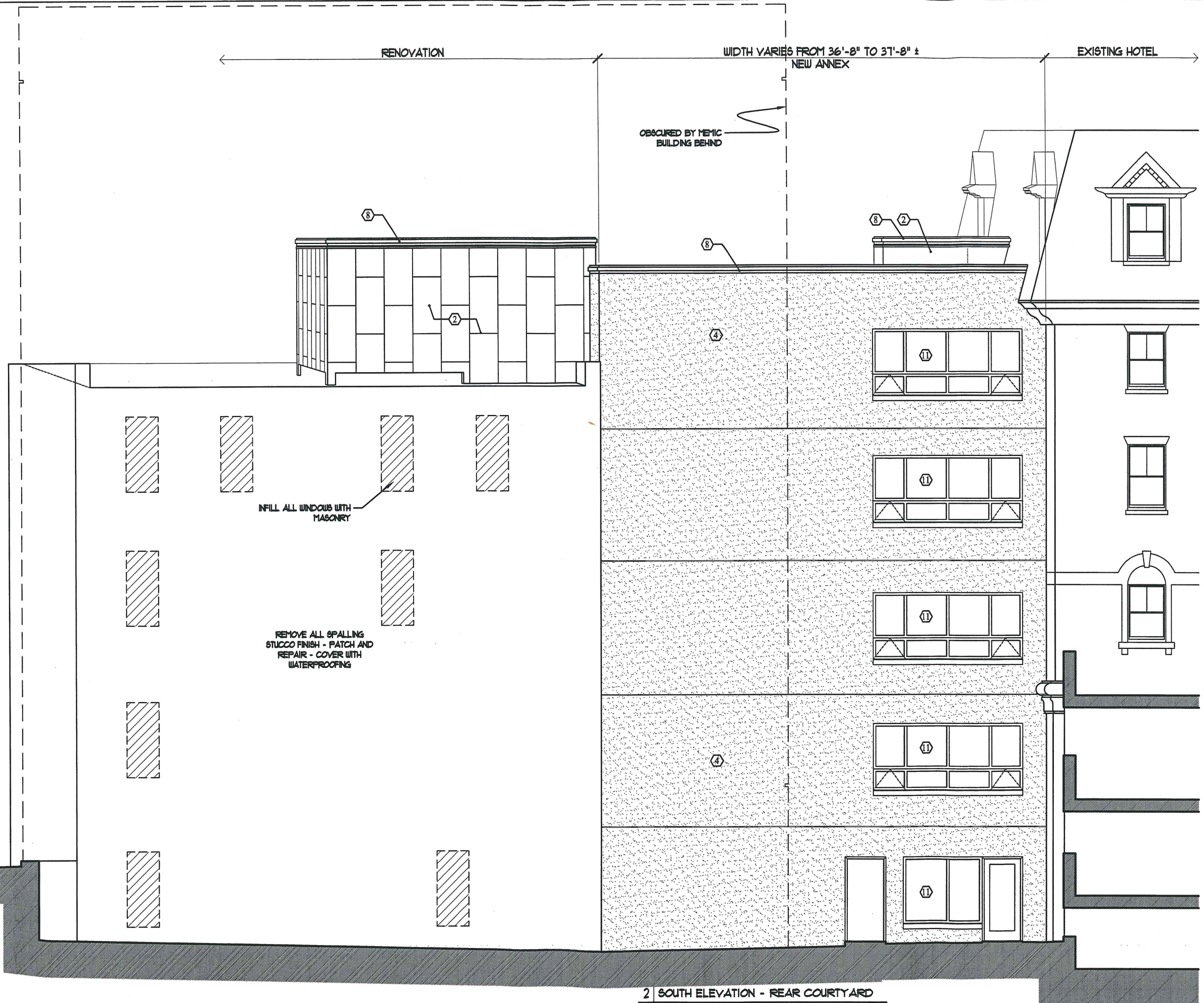
OWNER:	468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE
	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE
	Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007
Date:	23 May 2007
Scale:	1/8" = 1'-0"
NORTHELEVATION	
A01 1 OF 11	





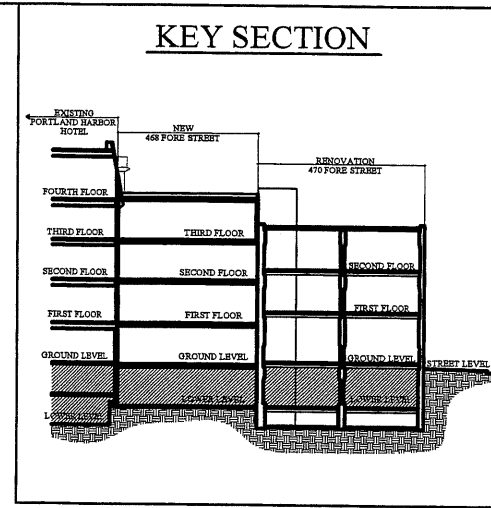
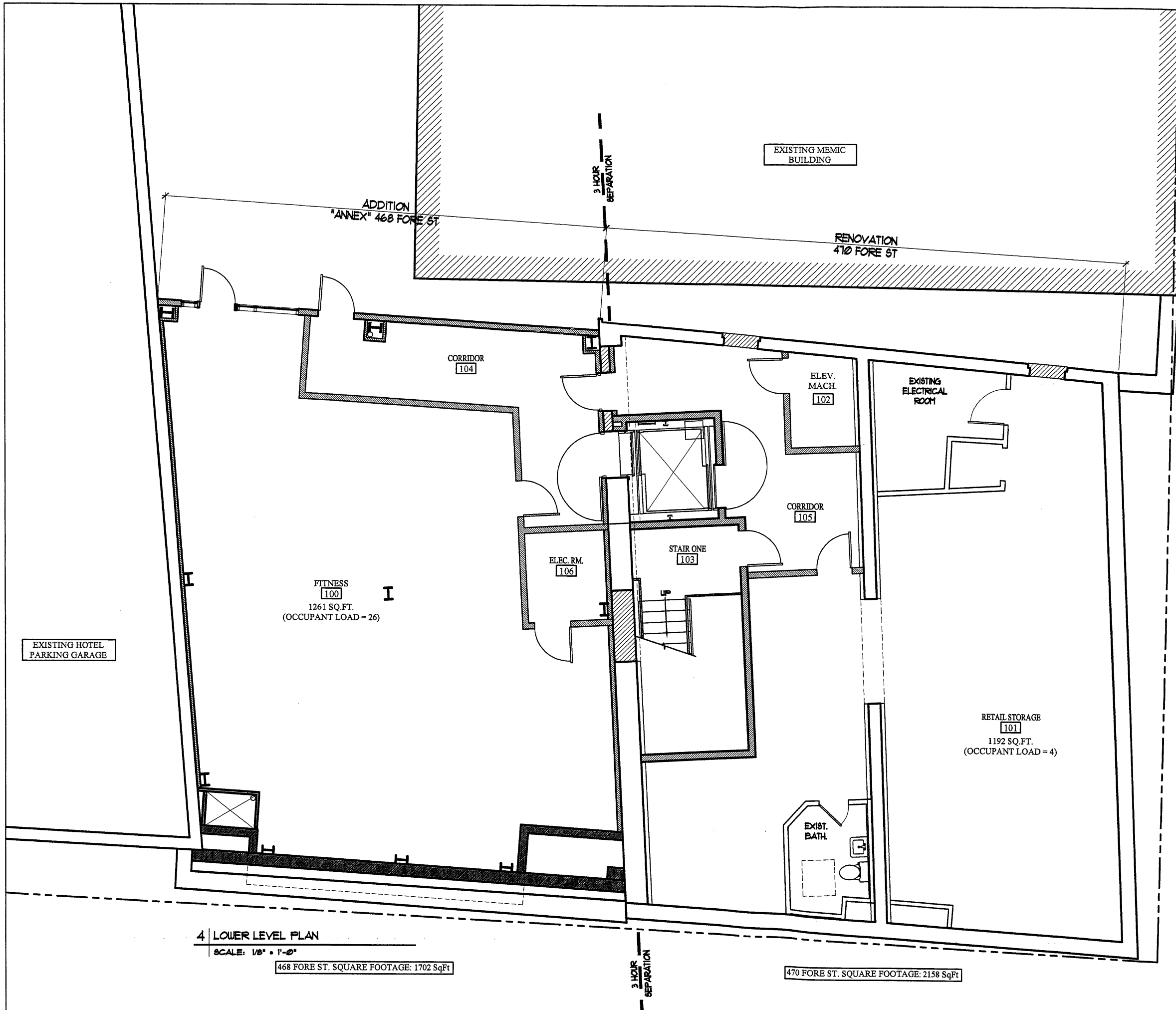
**KEY NOTES:**

- ① GLASS CURTAIN WALL SYSTEM - BUTT GLAZED ON THE VERTICAL JOINTS AND MILLION CAPS ON THE HORIZONTALS.
- ② LEAD COATED COPPER SIDING
- ③ GRANITE PANELS
- ④ EIFS SYSTEM
- ⑤ POLISHED STEEL LETTERING ON STAINLESS STEEL BAR
- ⑥ BUTT GLAZED OUTSIDE CORNER
- ⑦ LEAD-COATED COPPER SPANDREL PANEL
- ⑧ LEAD-COATED COPPER CORNICE OR EDGE FLASHING
- ⑨ PROJECTING SIGNAGE
- ⑩ NEW MAHOGANY STOREFRONT
- ⑪ ALUMINUM WINDOW SYSTEM



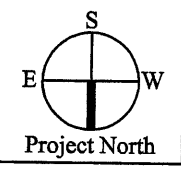
2 SOUTH ELEVATION - REAR COURTYARD  
SCALE: 1/8" = 1'-0"

	<b>468 FORE STREET REALTY LLC</b> <small>FORE STREET PORTLAND, MAINE</small>	
<b>ARCHETYPE, P.A. ARCHITECTS</b> <small>48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056</small>	<b>PORTLAND HARBOR HOTEL ANNEX</b> <small>FORE STREET PORTLAND, MAINE</small>	<b>OWNER:</b> <b>PROJECT:</b>
<small>Date</small> 23 May 2007	<small>Scale</small> 1/8" = 1'-0"	<small>Revisions:</small> Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007
<b>A03</b> 3 OF 11	<b>SOUTH ELEVATION</b>	

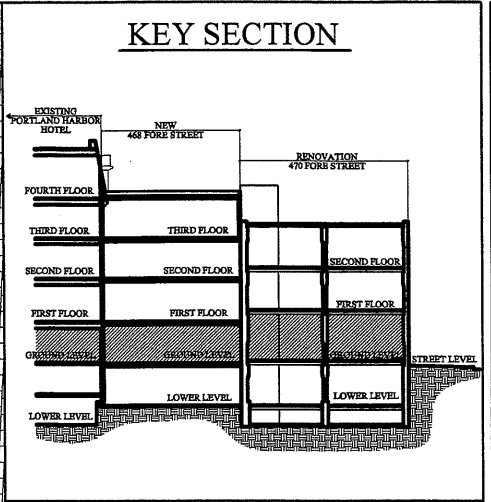
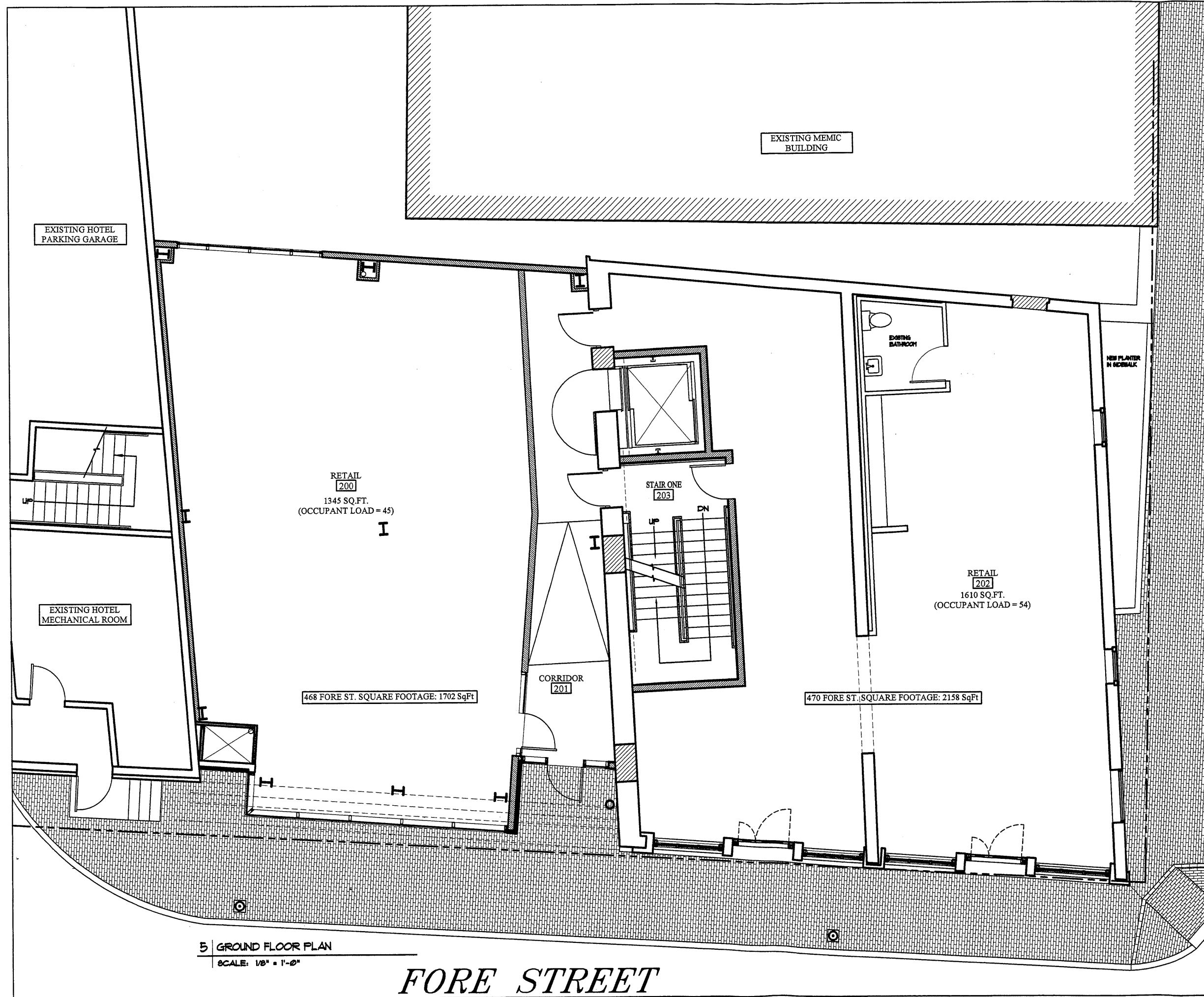


4 LOWER LEVEL PLAN  
 SCALE: 1/8" = 1'-0"  
 468 FORE ST. SQUARE FOOTAGE: 1702 SqFt

470 FORE ST. SQUARE FOOTAGE: 2158 SqFt



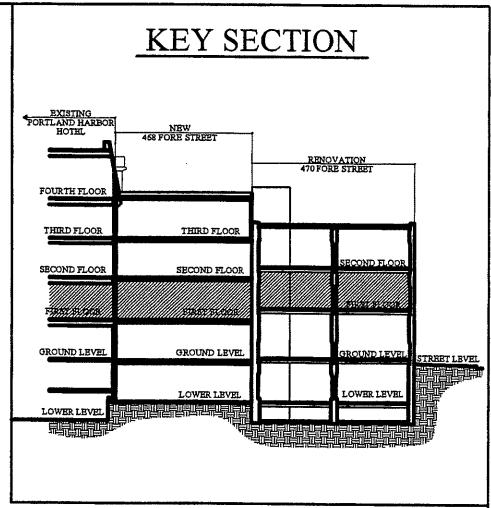
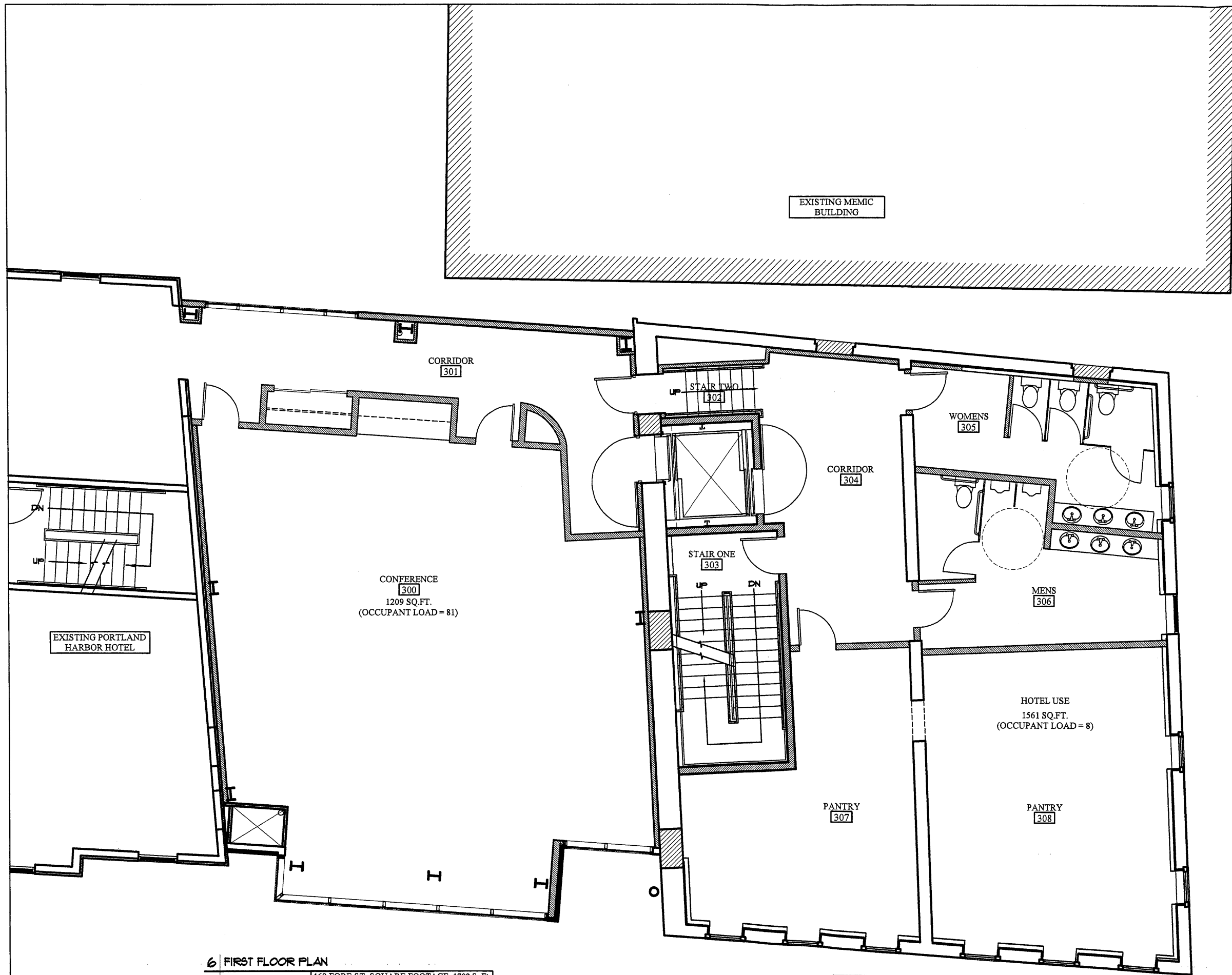
OWNER: <b>468 FORE STREET REALTY LLC</b> FORE STREET PORTLAND, MAINE	
Project: <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Revisions:	Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007
Date:	23 May 2007
Scale:	1/8" = 1'-0"
LOWER LEVEL PLAN	
<b>A04</b> 4 OF 11	



5 | GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

*FORE STREET*

Date 23 May 2007	Scale 1/8" = 1'-0"	Project PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
			OWNER: 468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE
Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007		Project PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE	
GROUND FLOOR PLAN		A05 5 OF 11	

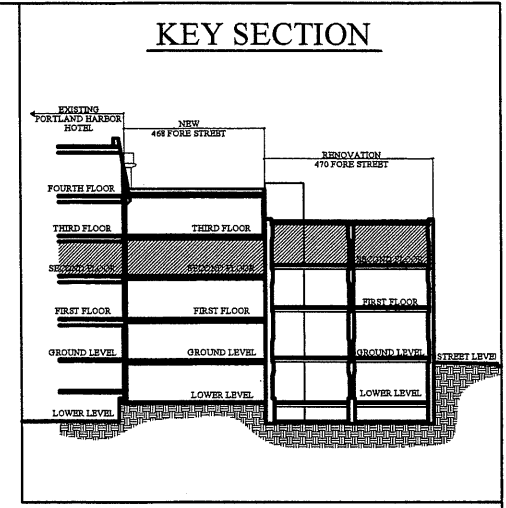
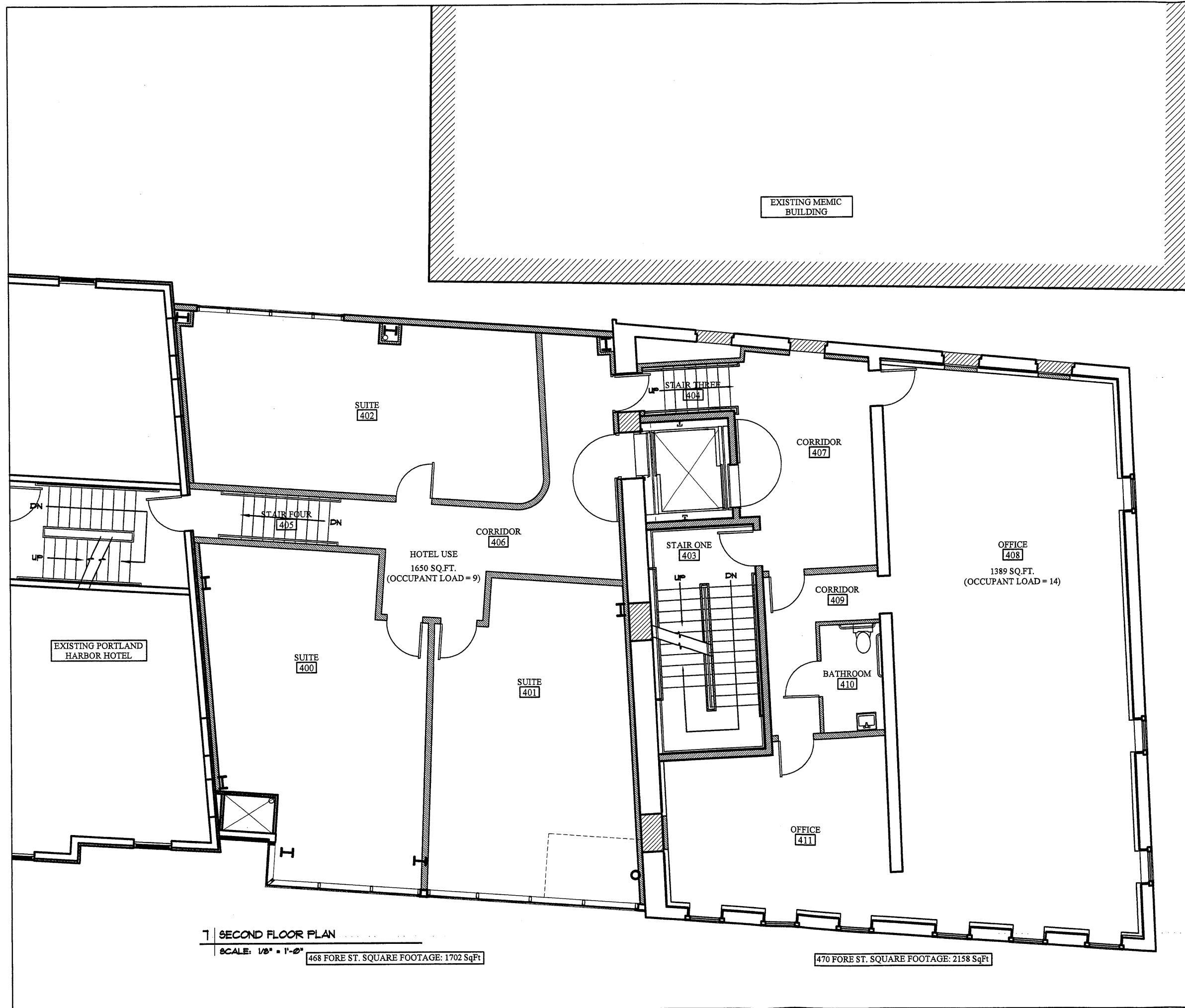


6 FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0" 468 FORE ST. SQUARE FOOTAGE: 1702 SqFt

470 FORE ST. SQUARE FOOTAGE: 2158 SqFt



OWNER: <b>468 FORE STREET REALTY LLC</b> FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project: <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE	
Revisions:	Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007
Date 23 May 2007	Scale 1/8" = 1'-0"
FIRST FLOOR PLAN	
<b>A06</b> 6 OF 11	

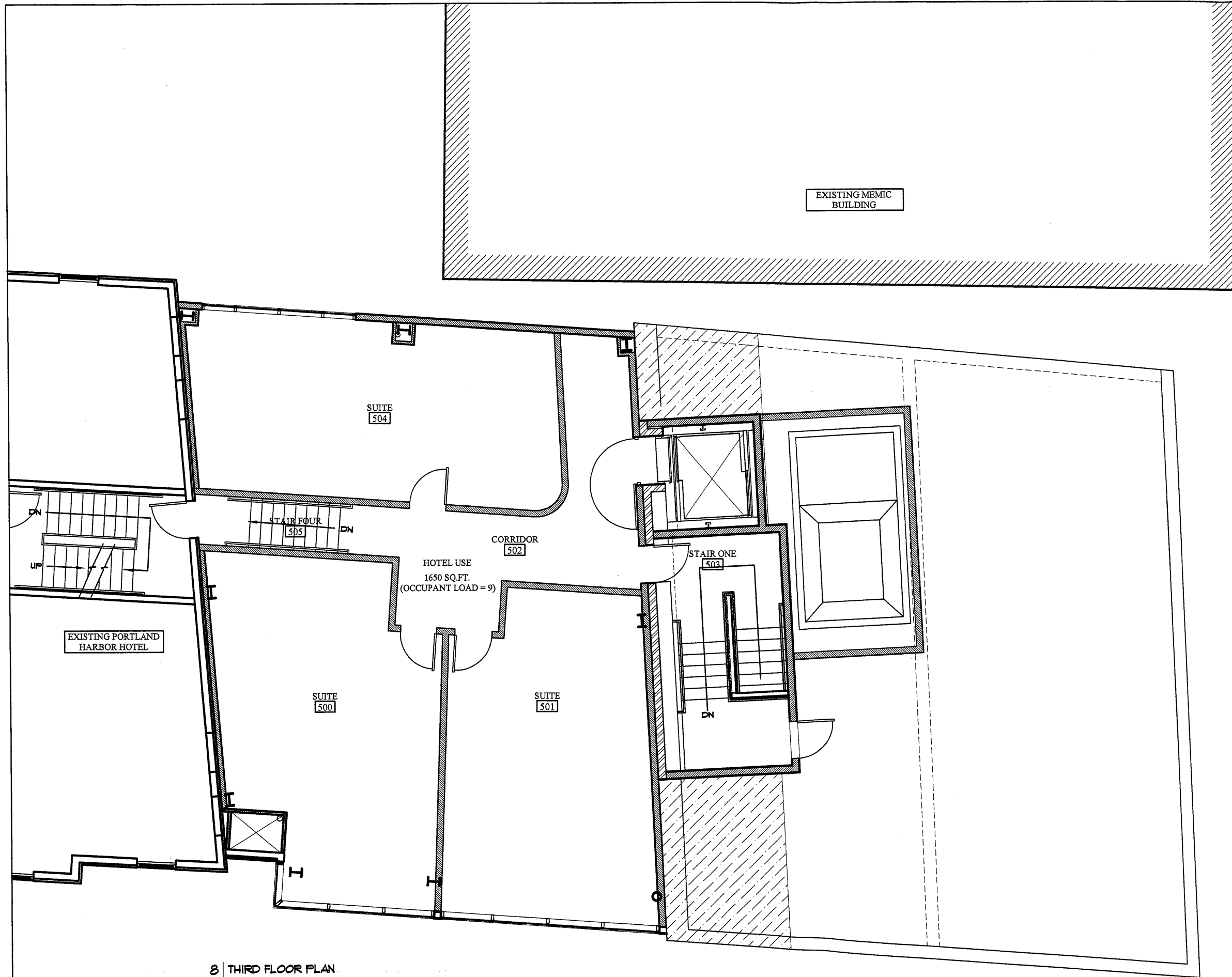


7 | SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 468 FORE ST. SQUARE FOOTAGE: 1702 SqFt

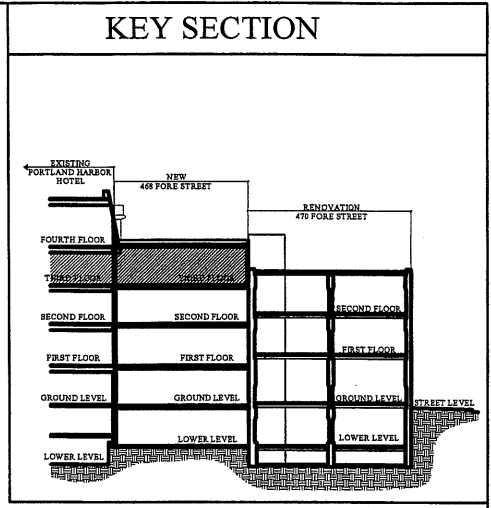
470 FORE ST. SQUARE FOOTAGE: 2158 SqFt



OWNER: <b>468 FORE STREET REALTY LLC</b> FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	PROJECT: <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE
Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007	Scale: 1/8" = 1'-0"
Date: 23 May 2007	SECOND FLOOR PLAN
<b>A07</b> 7 OF 11	

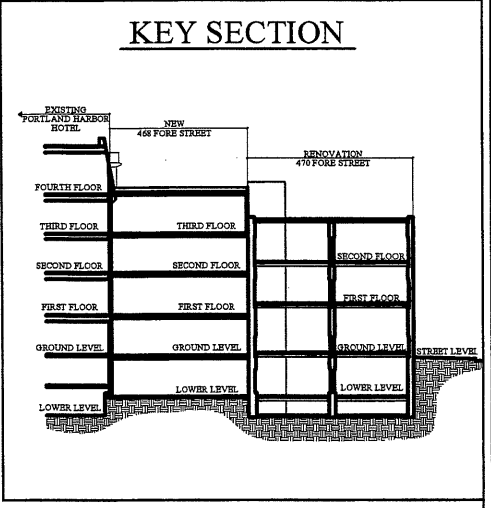
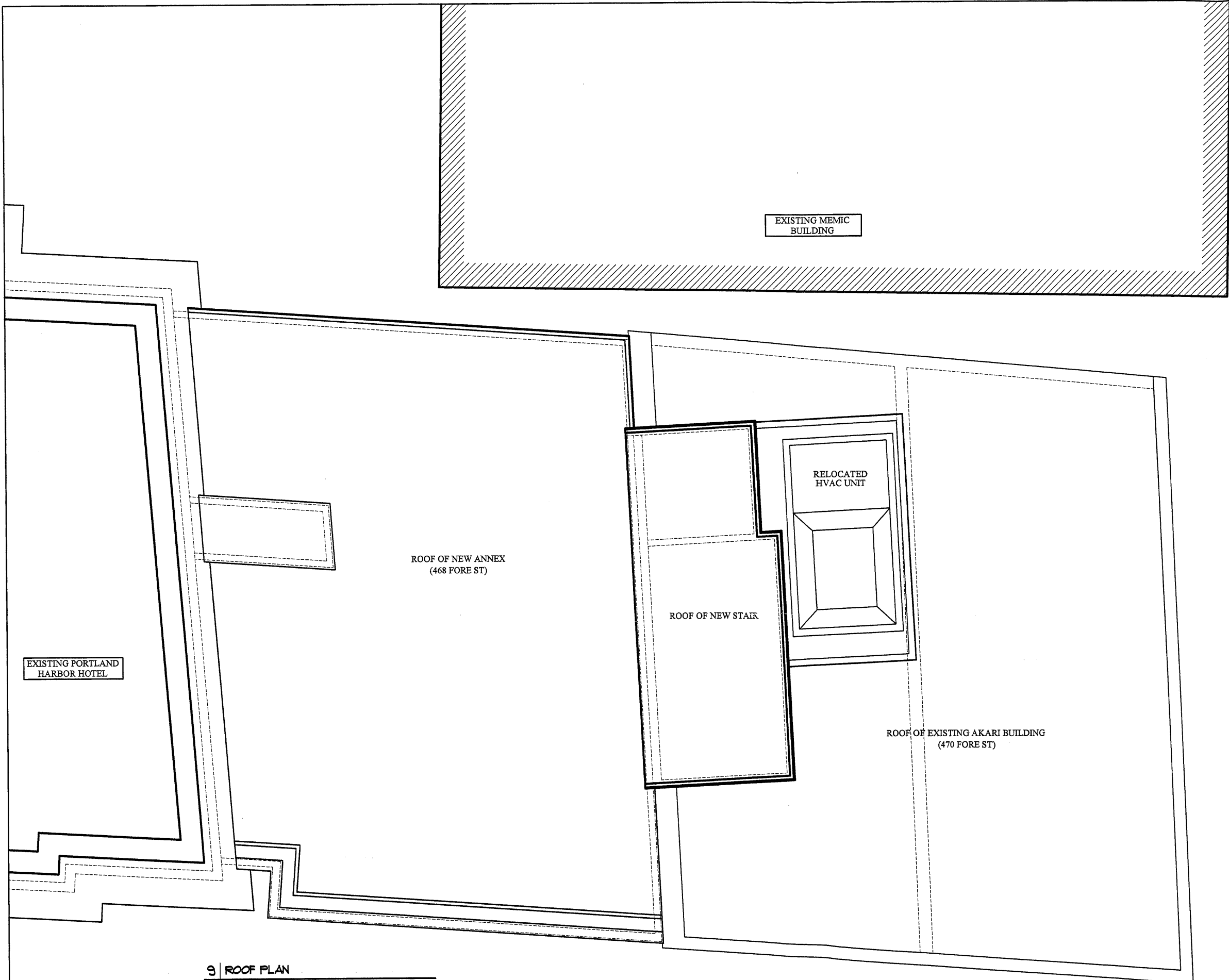


8 | THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



OWNER: <b>468 FORE STREET REALTY LLC</b> FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Project: <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE
Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007	Date: 23 May 2007
Scale: 1/8" = 1'-0"	THIRD FLOOR PLAN
<b>A08</b> 8 OF 11	

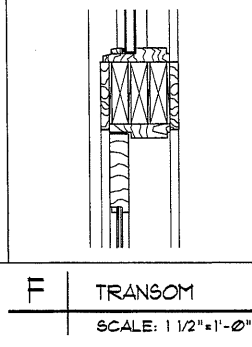
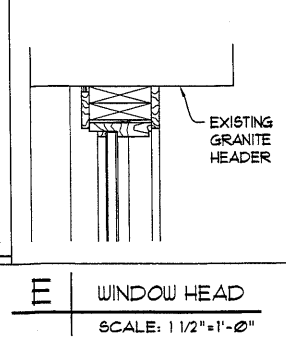
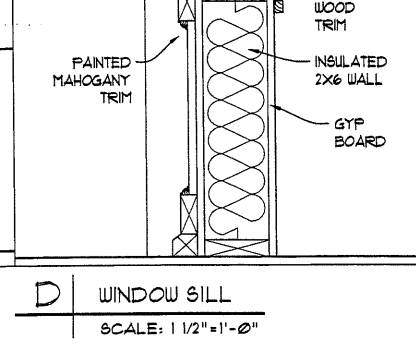
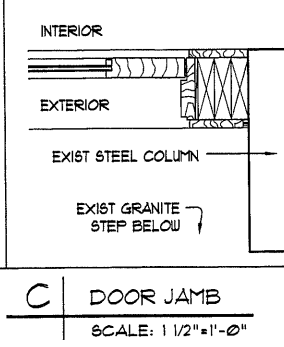
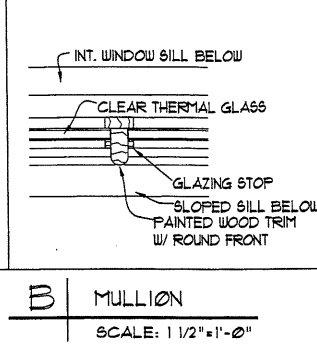
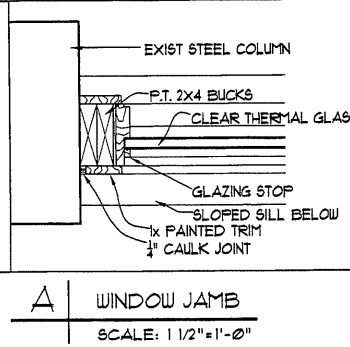
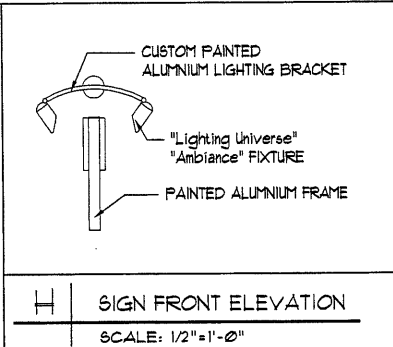
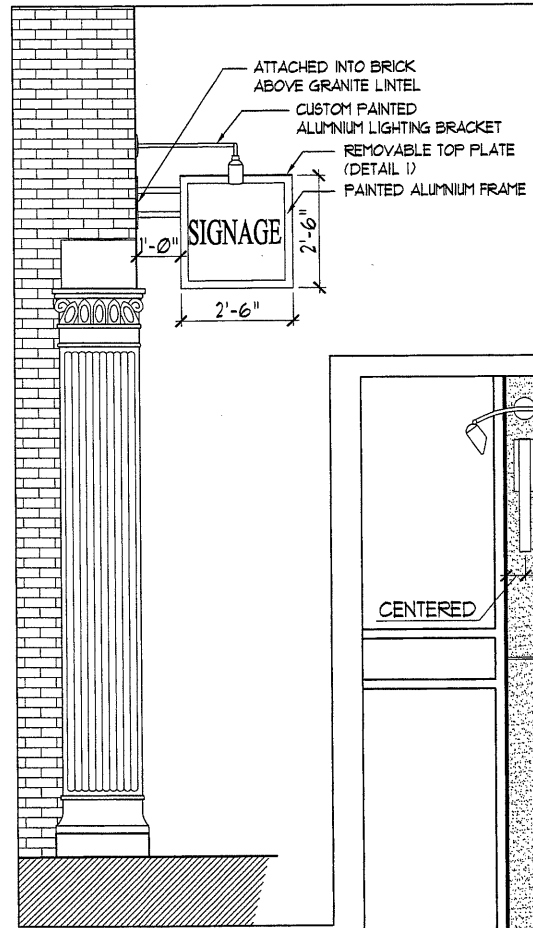




9 | ROOF PLAN  
 SCALE: 1/8" = 1'-0"



OWNER: <b>468 FORE STREET REALTY LLC</b> FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project: <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE	
Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007 Re-Submission - 24 August 2007	Date: 23 May 2007 Scale: 1/8" = 1'-0" <b>ROOF PLAN</b>
<b>A09</b> 9 OF 11	



H SIGN FRONT ELEVATION  
 SCALE: 1/2"=1'-0"

A WINDOW JAMB  
 SCALE: 1 1/2"=1'-0"

B MULLION  
 SCALE: 1 1/2"=1'-0"

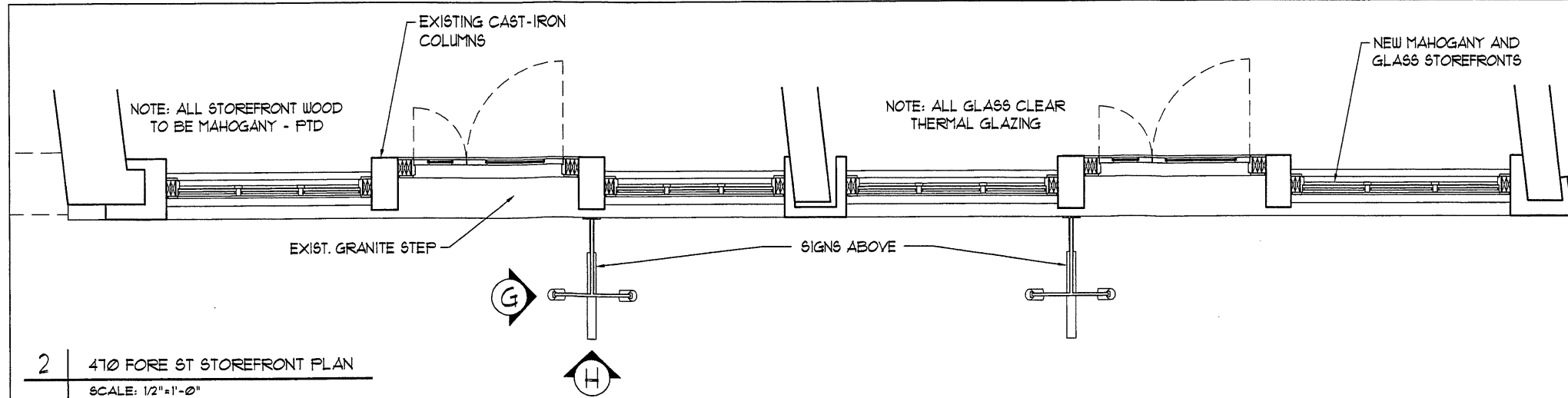
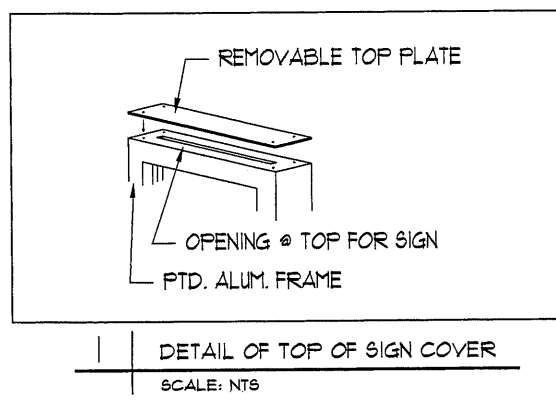
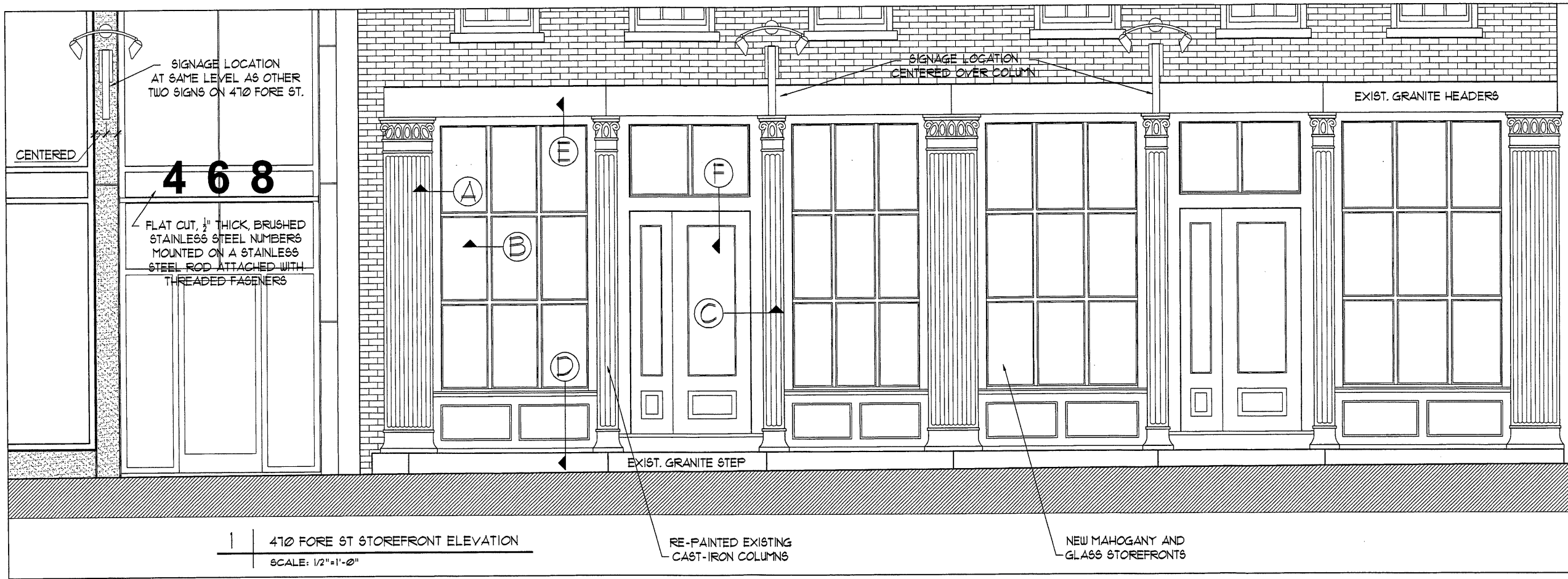
C DOOR JAMB  
 SCALE: 1 1/2"=1'-0"

D WINDOW SILL  
 SCALE: 1 1/2"=1'-0"

E WINDOW HEAD  
 SCALE: 1 1/2"=1'-0"

F TRANSOM  
 SCALE: 1 1/2"=1'-0"

G SIGN SIDE ELEVATION  
 SCALE: 1/2"=1'-0"



OWNER: 468 FORE STREET REALTY LLC  
 468 FORE STREET PORTLAND, ME 04101

ARCHETYPE, P.A. ARCHITECTS  
 48 Union Wharf Portland, Maine 04101  
 (207) 772-6022 Fax (207) 772-4056

PROJECT: PORTLAND HARBOR HOTEL ANNEX  
 468-470 FORE STREET PORTLAND, MAINE

Revisions:  
 Planning Submission - 23 May 2007  
 Planning Submission - 05 July 2007  
 Re-Submission - 24 August 2007

Date: 23 May 2007  
 Scale: NOT TO SCALE

STOREFRONT DETAILS

A10  
 10 OF 11



EXISTING HOTEL  
AND PARKING  
-GARAGE-

NEW RETAIL  
-ANNEX-

RETAIL  
-RENOVATION-

GRANITE VESTIBULE WALL

EXISTING CAST-IRON  
COLUMNS

NEW MAHOGANY AND  
GLASS STOREFRONT

GRANITE STEP

SIDEWALK LIGHTING

*FORE STREET*

BRICK PAVING - RUNNING  
BOND PERPENDICULAR  
TO BUILDING

RESET AND RE-GRADED  
GRANITE CURB



*FORE STREET*



OWNER:  
468 FORE STREET  
REALTY LLC  
FORE STREET  
PORTLAND, MAINE

ARCHETYPE, P.A.  
ARCHITECTS  
48 Union Wharf Portland, Maine 04101  
(207) 772-6022 Fax (207) 772-4056

Project:  
PORTLAND HARBOR  
HOTEL ANNEX  
FORE STREET  
PORTLAND, MAINE

Revisions:  
Planning Submission - 23 May 2007  
Planning Submission - 05 July 2007  
Re-Submission - 24 August 2007

Date  
23 May 2007

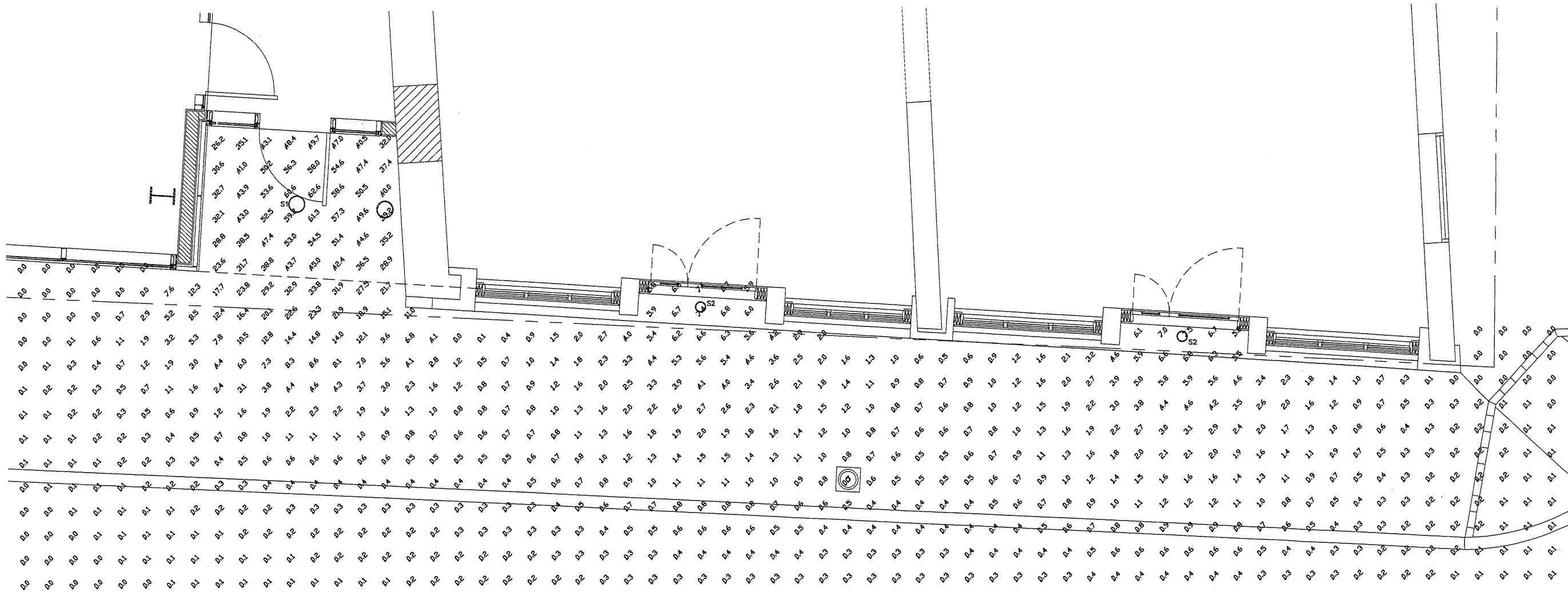
Scale  
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STREET STUDY

A11  
11 OF 11

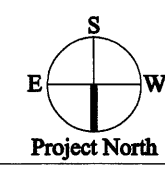
TYPE: S1  
 DESCRIPTION: SURFACE CEILING CYLINDER WITH CLEAR DIFFUSE REFLECTOR AND CLEAR GLASS LENS. FIXTURE FINISH SHALL BE WHITE. FIXTURE SHALL BE UL LISTED FOR DAMP LOCATIONS.  
 LAMP: MP100/U/MED  
 MANUFACTURER: LIGHTOLIER #C7CS10MHE1-C7P38MHCCD

TYPE: S2  
 DESCRIPTION: SURFACE CEILING FIXTURE WITH STAINLESS STEEL HOUSING AND CLEAR GLASS LENS. FIXTURE FINISH SHALL BE NATURAL ALUMINUM. FIXTURE SHALL BE UL LISTED FOR DAMP LOCATIONS.  
 LAMP: 75PAR30/CAP/SPL/FL40  
 MANUFACTURER: HESS AMERICA #BR130A-75-H-2-A-AA

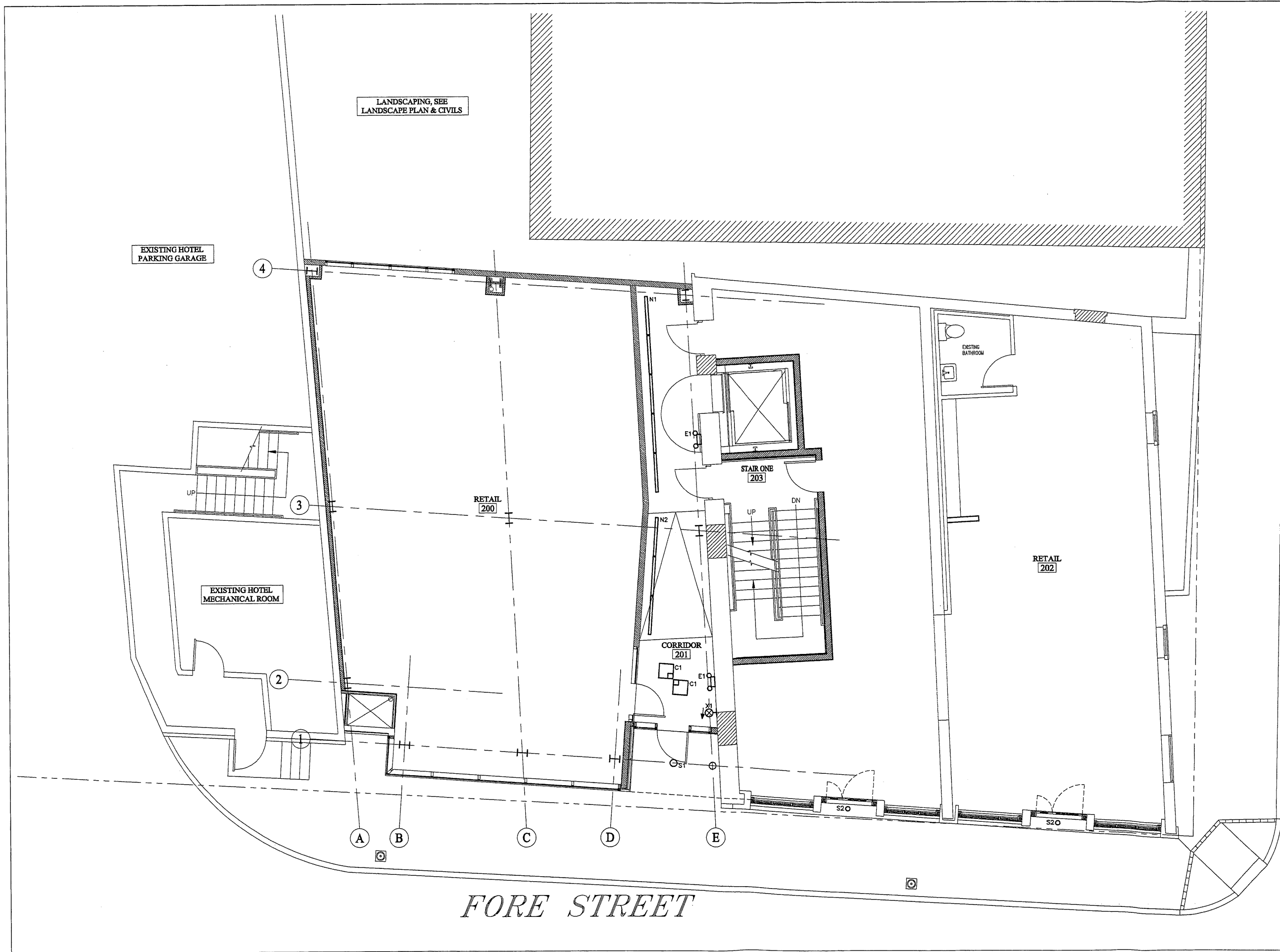


*FORE STREET*

NOTES:  
 1. ILLUMINANCE LEVELS REPRESENT MAINTAINED FOOTCANDLE LEVELS AT GRADE.  
 2. LIGHT LOSS FACTOR USED IN CALCULATION WAS 0.62 FOR METAL HALIDE AND 0.75 FOR HALOGEN.



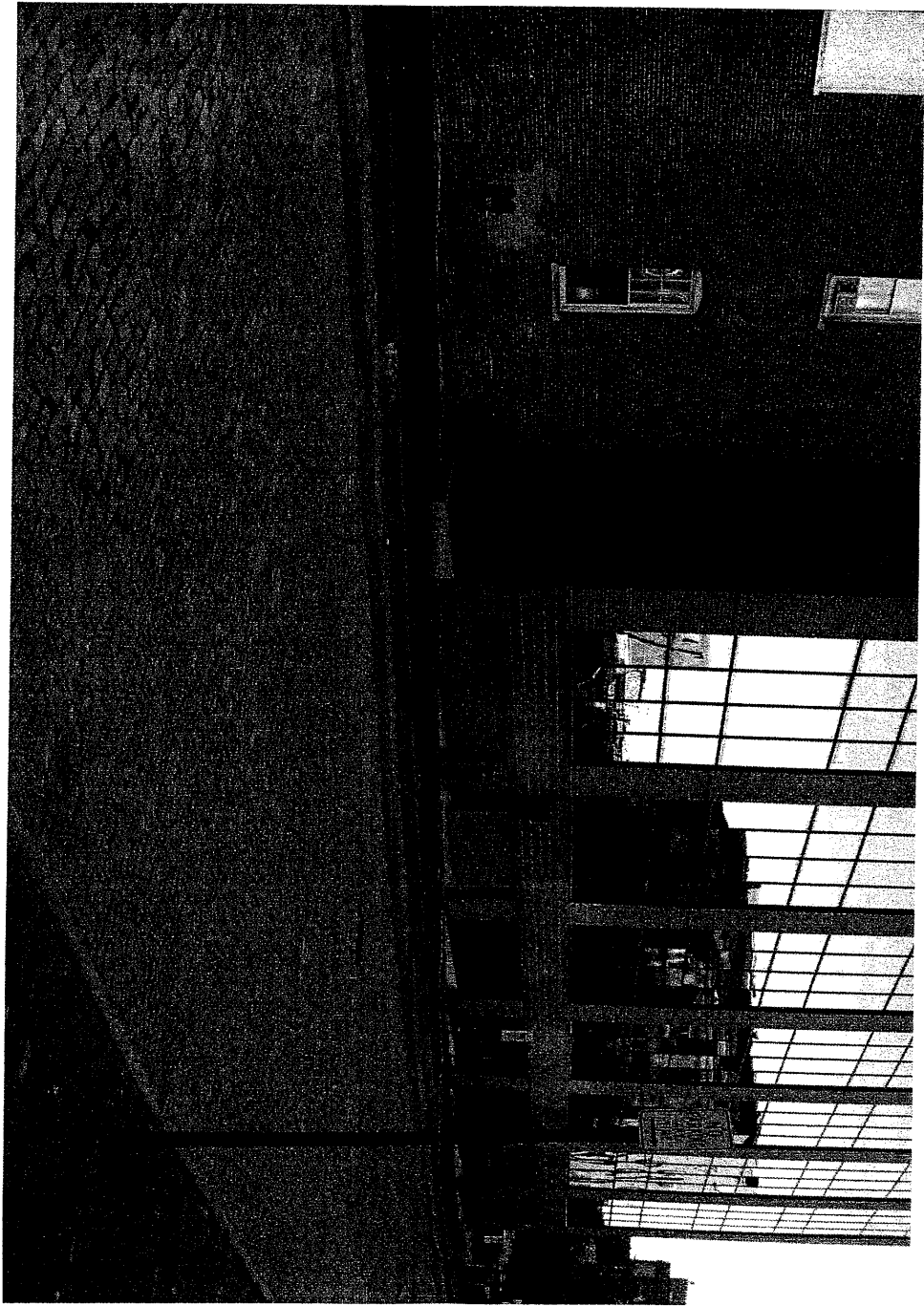
OWNER: <b>468 FORE STREET REALTY LLC</b> 468 FORE STREET PORTLAND, ME 04101	
PROJECT: <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf, Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Date	Scale
AUG 21, 2007	1/2" = 1'-0"
PHOTOMETRIC PLAN	
<b>E0.1</b>	

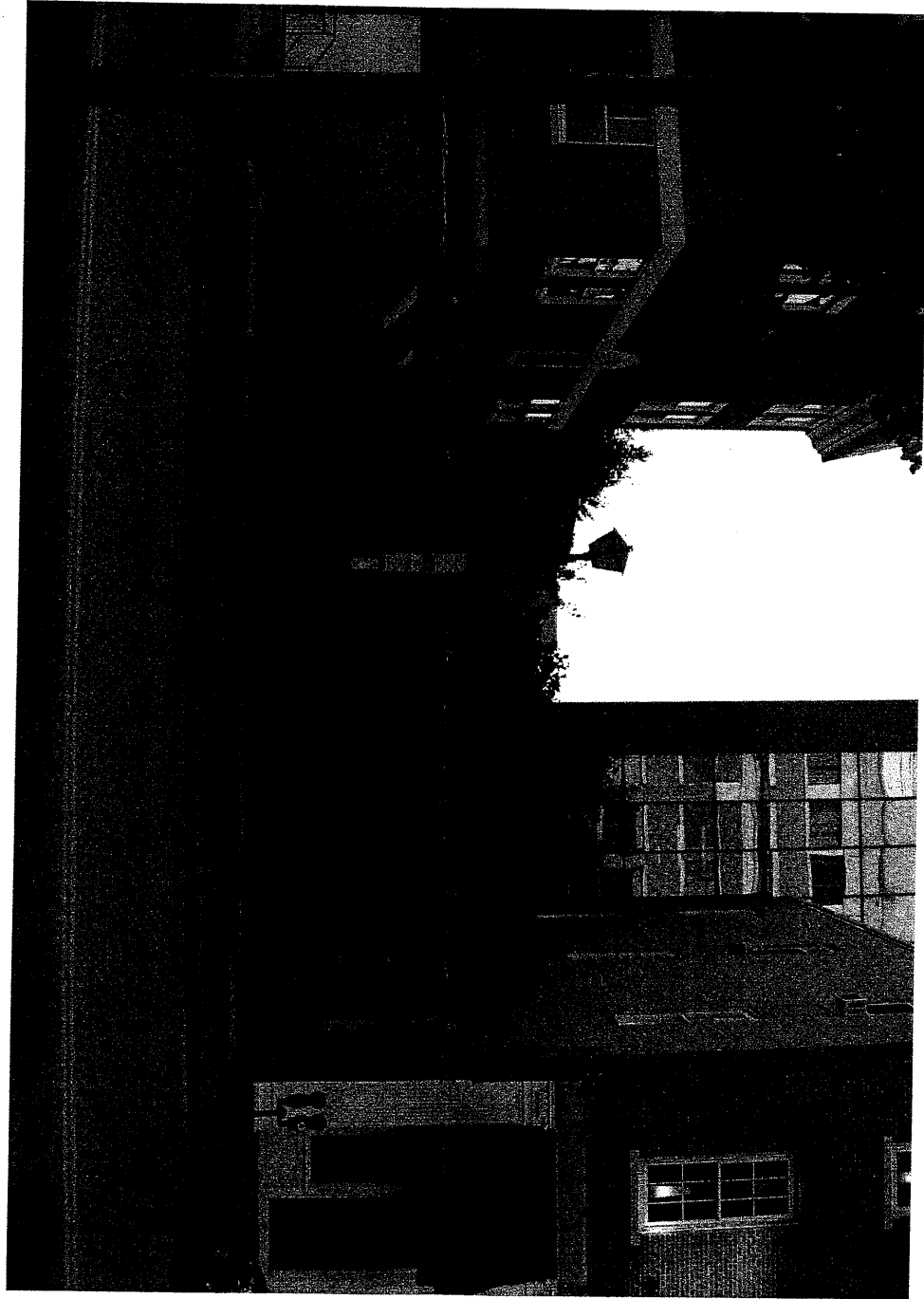


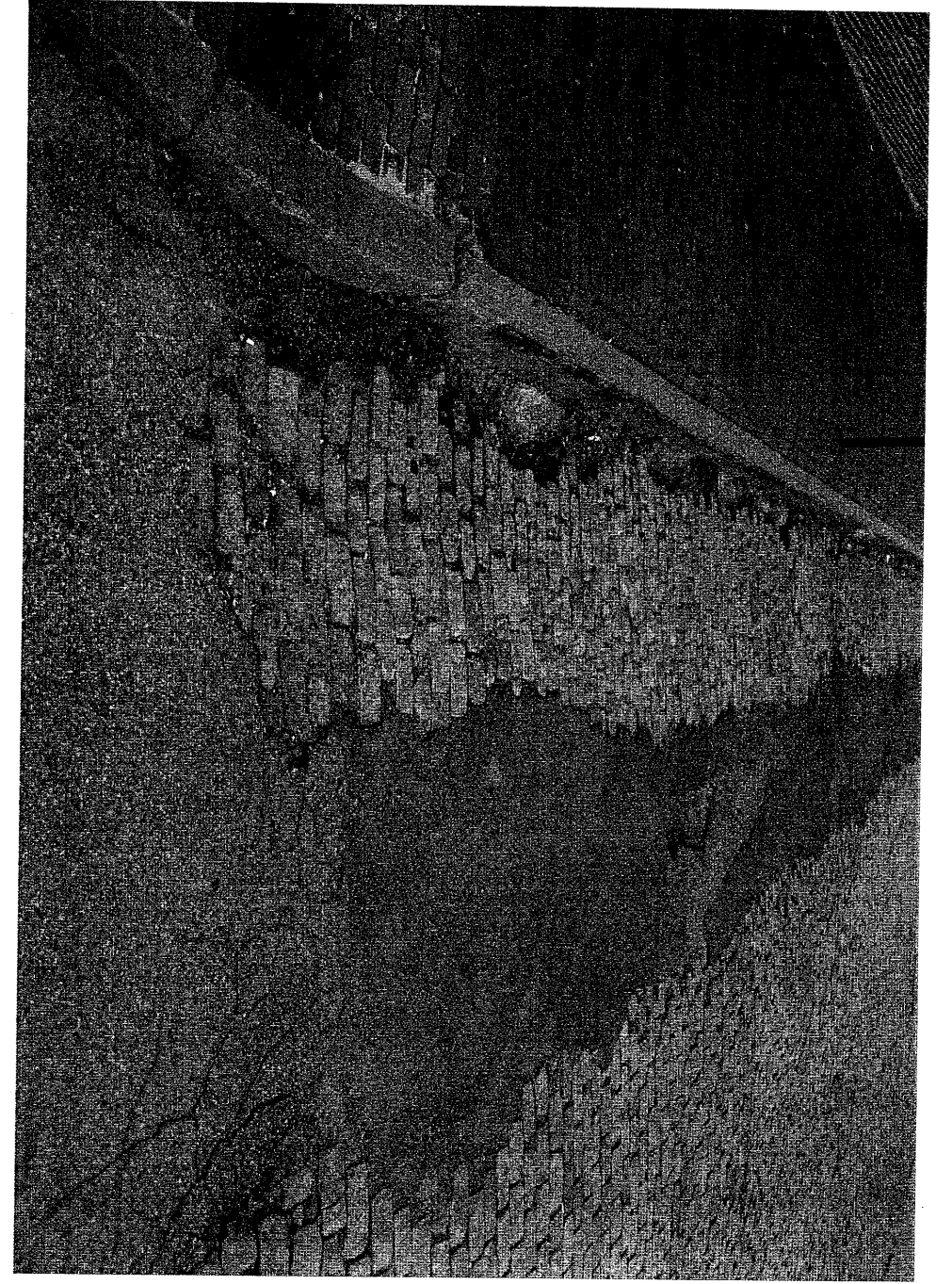
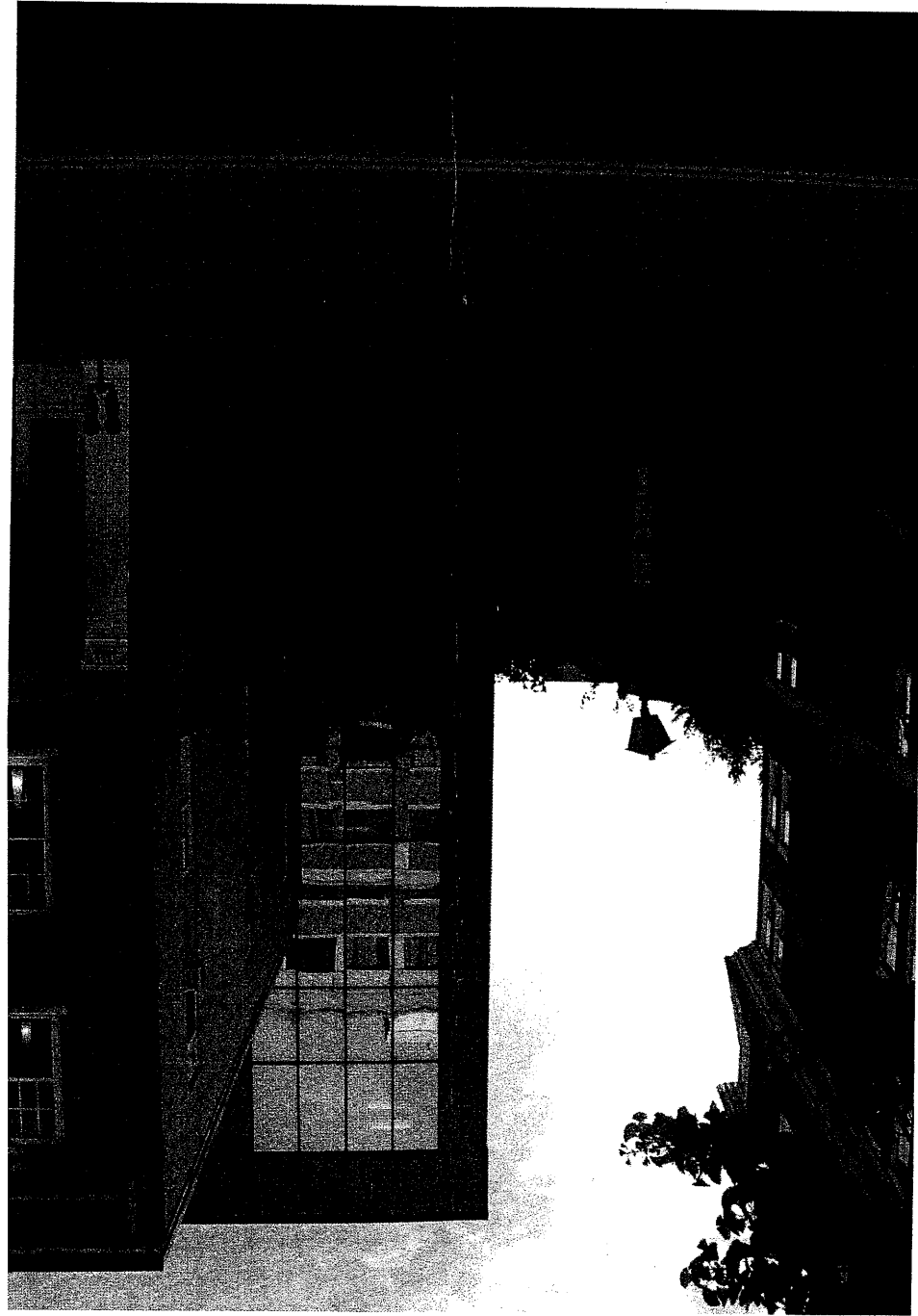
FORE STREET

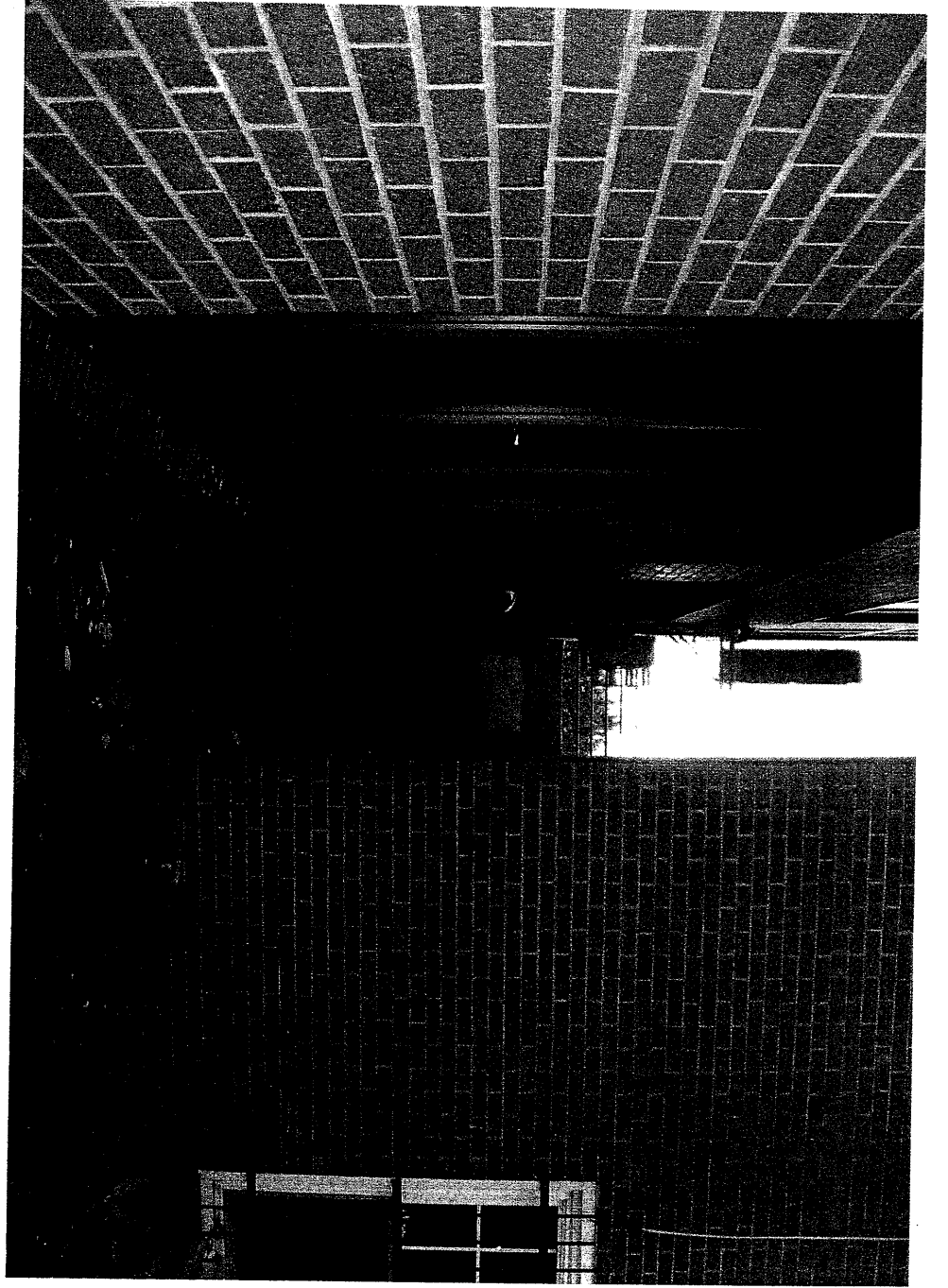
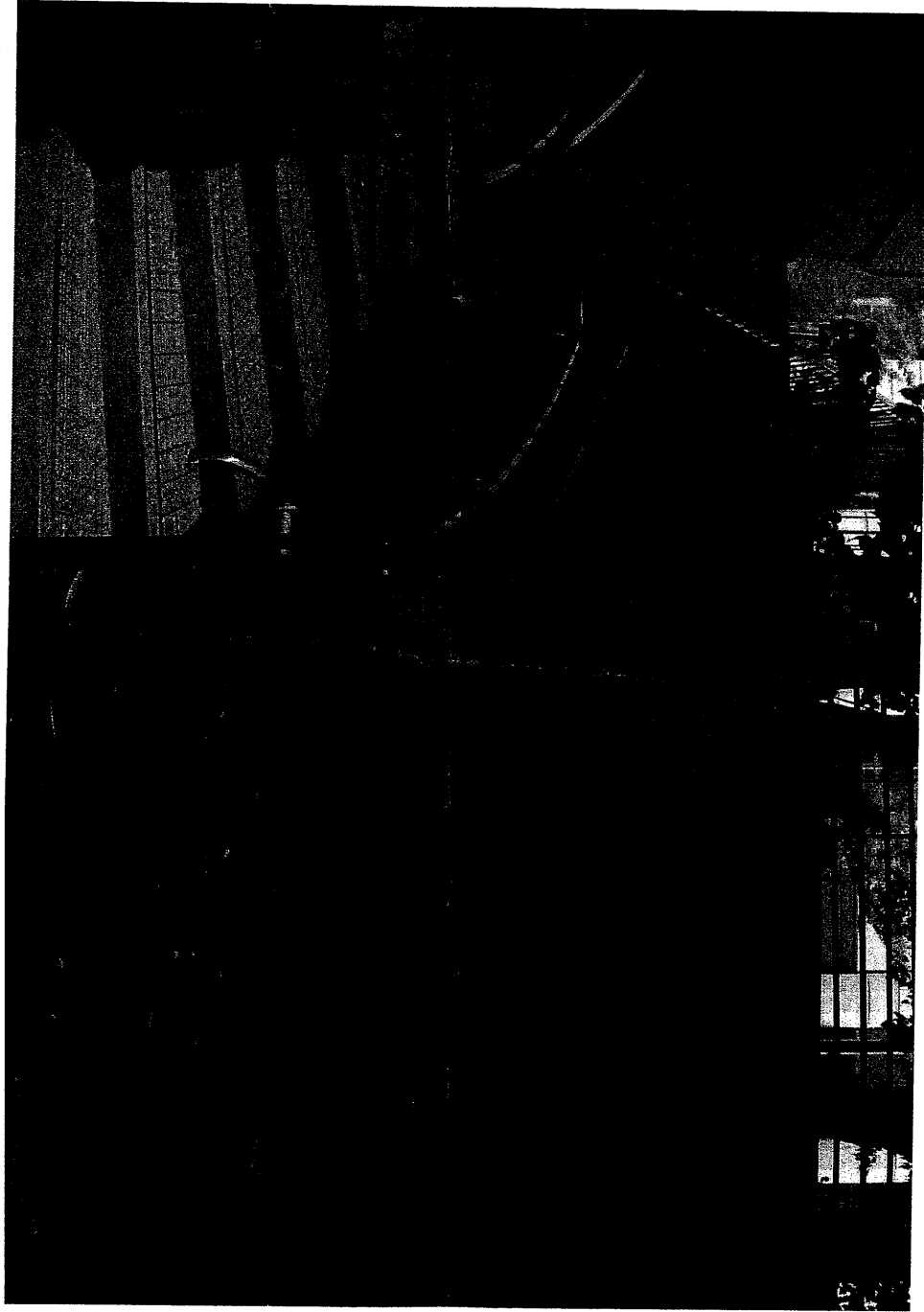


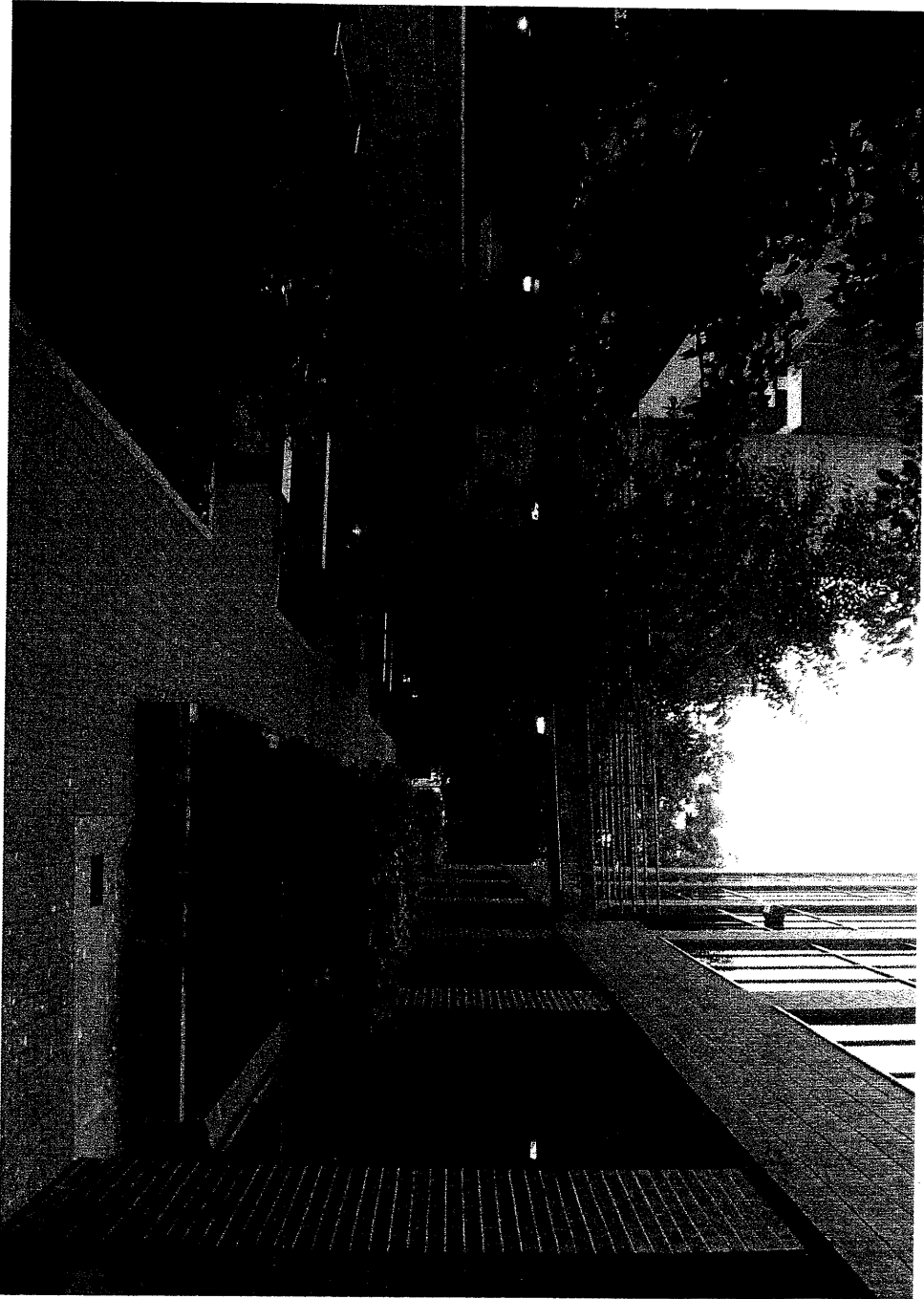
Date AUG 21, 2007	Scale 1/4" = 1'-0"	Project <b>PORTLAND HARBOR HOTEL ANNEX</b> FORE STREET PORTLAND, MAINE	OWNER: <b>468 FORE STREET REALTY LLC</b> FORE STREET PORTLAND, ME 04101
			ARCHITECTS: <b>ARCHETYPE, P.A. ARCHITECTS</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Revisions:		Project	
GROUND FLOOR PLAN		E1.1	













**GENERAL NOTES**

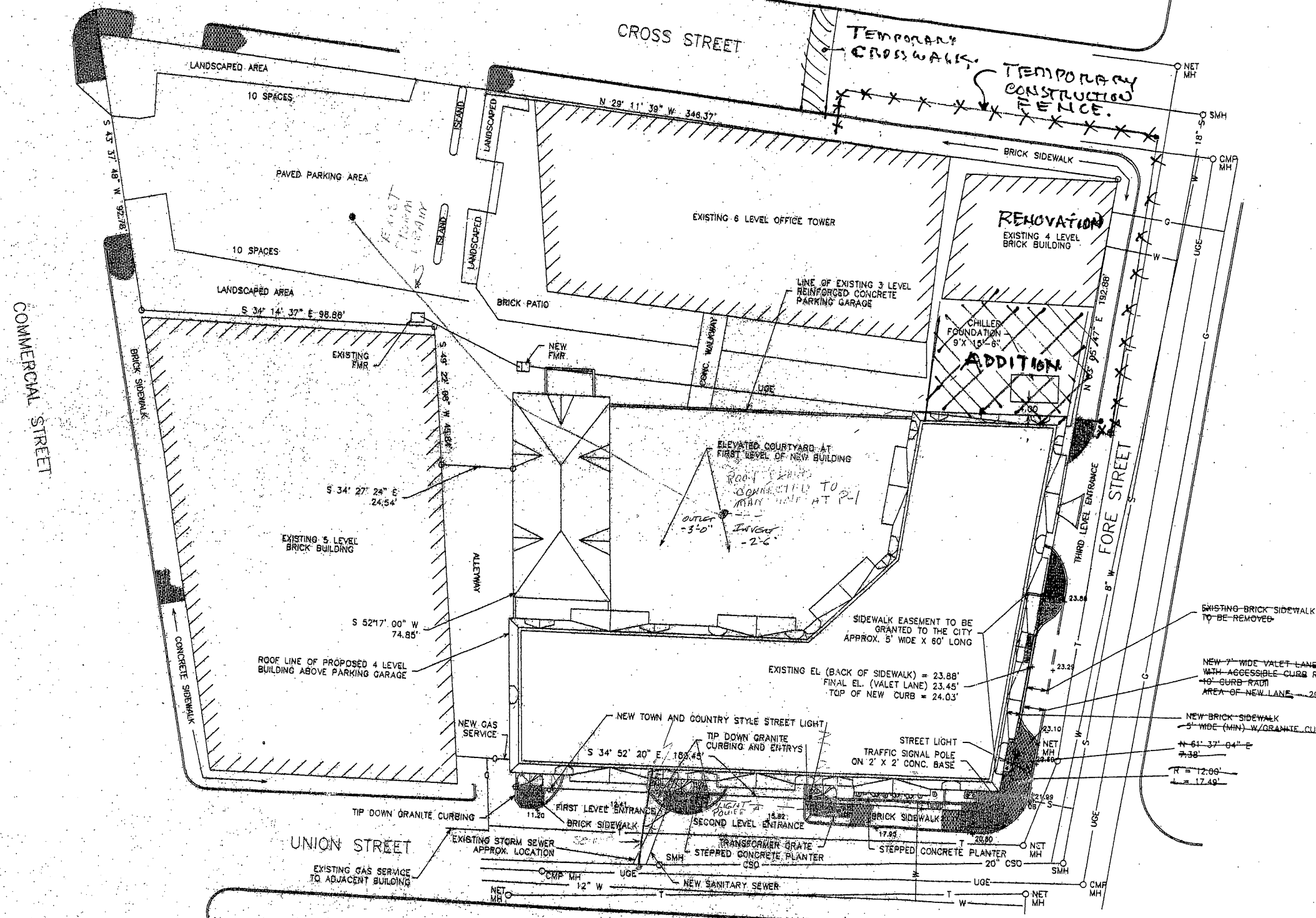
1. ALL UTILITIES TO BE UNDERGROUND AS SHOWN.
2. EROSION AND SEDIMENTATION CONTROLS, IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SHALL BE EMPLOYED IN ANY AREAS OF DISTURBED SOILS. EROSION AND SEDIMENT BMP'S SHOULD CONSIST, AT A MINIMUM, OF THE FOLLOWING:
  - A. SITUATION FENCE OR HAY BALE BARRIERS WILL BE INSTALLED DOWNSLOPE OF ALL STRIPPING OR CONSTRUCTION OPERATIONS. A SILT FENCE WILL ALSO BE INSTALLED AROUND ANY SOIL MATERIAL STOCKPILES. SILT FENCES SHALL BE INSPECTED AFTER EACH RAIN EVENT AND DAILY DURING PROLONGED RAIN. SILT AND SOIL PARTICLES ACCUMULATING BEHIND THE FENCE SHALL BE REMOVED AFTER EACH RAIN EVENT AND IN NO INSTANCE SHOULD ACCUMULATION EXCEED 1/2 THE HEIGHT OF THE FENCE. TORN OR DAMAGED AREAS SHALL BE REPAIRED. A SILT FENCE SHALL ALSO BE STAKED UPSTREAM OF EACH CULVERT.
  - B. ALL DISTURBED AREAS AND ANY SOIL MATERIAL STOCKPILES SHALL BE SEEDING WITH ANNUAL RYEGRASS AT A RATE OF 40#/ACRE. SEEDING SHALL BE ACCOMPLISHED AFTER APRIL 1. THESE AREAS SHALL ALSO BE MULCHED WITH HAY AT A RATE OF 70-90#/1000 S.F. (2 BALES).
3. REFERENCE 2. SHEET 5 PROVIDES ADDITIONAL CAPACITY OF EXISTING GARAGE FOUNDATION PIERS TO ACCOMMODATE THE NEW CONSTRUCTION.
4. NEW CONSTRUCTION OF SIDEWALKS, CURB RAMPS, VALET LANES AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE PROJECT SITE. THE DEVELOPER, DEVELOPMENT CONSULTANT, RESPONSIBLE GENERAL CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE, PROJECT ENGINEER AND THE OWNER SHALL ATTEND THE AND REVIEW THE SEQUENCE OF CONSTRUCTION, THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE WORK. THE GENERAL SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE UPDATED COPIES OF THE CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVES.
6. EXISTING GRANITE CURB TO BE RESET IN PROPOSED LOCATIONS, IF POSSIBLE. ANY GRANITE CURB REMOVED FROM THE PROJECT SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND. THE CONTRACTOR WILL DISPOSE OF ANY SUCH CURB AT AN APPROVED CITY STOCKYARD.
7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING UTILITY COMPANY. THE METHOD OF INSTALLATION TO BE DETERMINED PRIOR TO THE PRE-CONSTRUCTION MEETING.

**REFERENCES**

1. "PLAN OF PROPERTY, PORTLAND, MAINE" PREPARED BY LAND USE CONSULTANTS, 966 RIVERSIDE STREET, PORTLAND, MAINE 04103. SHEETS 1 AND 2 OF 2. JOB NO. 1283.
2. "SITE PLAN, HARBOR PLAZA PARKING FACILITY," PREPARED BY JOHN FUJIWARA, ARCHITECT P.C., NEW YORK, NEW YORK, DRAWING NO. SD-1, DATED 07/12/83.
3. "ALTA/CSM LAND TITLE SURVEY ON COMMERCIAL, CROSS, FORE, AND UNION STREETS PORTLAND, MAINE MADE FOR HARBOR PLAZA ASSOCIATES," PREPARED BY OWEN HASKELL INC. 16 CASCO STREET, PORTLAND, ME 04101, JOB NO. 96286P SHEETS 1 AND 2, DATED 12/23/98.

**LEGEND**

- PROPERTY LINE
- UTILITY POLE
- WATER LINE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- GAS LINE
- TELEPHONE LINE
- SEWER LINE
- SPOT ELEVATION



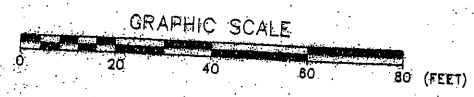
RECEIVED  
AUG 28 2001  
ALLIED CONSTRUCTION

**L-3**

**MOBILIZATION PLAN 1**  
PORTLAND HARBOR HOTEL ANNEX  
PORTLAND, MAINE

FOR: PORTLAND HARBOR HOTEL LLC  
P.O. BOX 3572  
PORTLAND, MAINE 04104

G.	INCREASED NUMBER OF ROOMS	08/27/01
F.	REVISED UTILITIES	01/09/01
E.	CHANGES TO BUILDING AND SITE	06/01/00
D.	CHANGED ENTRANCES	



GENERAL NOTES

1. ALL UTILITIES TO BE UNDERGROUND AS SHOWN.
2. EROSION AND SEDIMENTATION CONTROLS, IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES, SHALL BE EMPLOYED IN ANY AREAS OF DISTURBED SOILS. EROSION AND SEDIMENT BMP'S SHOULD CONSIST, AT A MINIMUM, OF THE FOLLOWING:
  - A. SILTATION FENCE OF HAY BALE BARRIERS WILL BE INSTALLED DOWNSLOPE OF ALL STRIPPING OR CONSTRUCTION OPERATIONS. A SILT FENCE WILL ALSO BE INSTALLED AROUND ANY SOIL MATERIAL STOCKPILES. SILT FENCES SHALL BE INSPECTED AFTER EACH RAIN EVENT AND DAILY DURING PROLONGED RAIN. SILT AND SOIL PARTICLES ACCUMULATING BEHIND THE FENCE SHALL BE REMOVED AFTER EACH RAIN EVENT AND IN NO INSTANCE SHOULD ACCUMULATION EXCEED 1/2 THE HEIGHT OF THE FENCE. TORN OR DAMAGED AREAS SHALL BE REPAIRED. A SILT FENCE SHALL ALSO BE STAKED UPSTREAM OF EACH CULVERT.
  - B. ALL DISTURBED AREAS AND ANY SOIL MATERIAL STOCKPILES SHALL BE SEEDED WITH ANNUAL RYEGRASS AT A RATE OF 40#/ACRE. SEEDING SHALL BE ACCOMPLISHED AFTER APRIL 1. THESE AREAS SHALL ALSO BE MULCHED WITH HAY AT A RATE OF 70-90#/1000 S.F. (2 BALES).
3. REFERENCE 2, SHEET 5 PROVIDES ADDITIONAL CAPACITY OF EXISTING GARAGE FOUNDATION PIERS TO ACCOMMODATE THE NEW CONSTRUCTION.
4. NEW CONSTRUCTION OF SIDEWALKS, CURB RAMPS, VALET LANES AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE PROJECT SITE. THE DEVELOPER, DEVELOPMENT CONSULTANT, RESPONSIBLE GENERAL CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE, PROJECT ENGINEER AND THE OWNER SHALL ATTEND THE AND REVIEW THE SEQUENCE OF CONSTRUCTION, THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE WORK. THE GENERAL SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE UPDATED COPIES OF THE CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVES.
6. EXISTING GRANITE CURB TO BE RESET IN PROPOSED LOCATIONS, IF POSSIBLE. ANY GRANITE CURB REMOVED FROM THE PROJECT SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND. THE CONTRACTOR WILL DISPOSE OF ANY SUCH CURB AT AN APPROVED CITY STOCKYARD.
7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING UTILITY COMPANY. THE METHOD OF INSTALLATION TO BE DETERMINED PRIOR TO THE PRE-CONSTRUCTION MEETING.

REFERENCES

1. "PLAN OF PROPERTY, PORTLAND, MAINE" PREPARED BY LAND USE CONSULTANTS, 966 RIVERSIDE STREET, PORTLAND, MAINE 04103. SHEETS 1 AND 2 OF 2, JOB NO. 1283.
2. "SITE PLAN, HARBOR PLAZA PARKING FACILITY" PREPARED BY JOHN FUJIWARA, ARCHITECT, P.C., NEW YORK, NEW YORK, DRAWING NO. SD-1, DATED 07/12/83.
3. "ALTA/CSM LAND TITLE SURVEY ON COMMERCIAL, GROSS, FORE AND UNION STREETS PORTLAND, MAINE MADE FOR HARBOR PLAZA ASSOCIATES," PREPARED BY OWEN HASKELL INC. 16 CASCO STREET, PORTLAND, ME 04101, JOB NO. 96266P SHEETS 1 AND 2, DATED 12/23/96.

LEGEND

- PROPERTY LINE ————
- UTILITY POLE ————
- WATER LINE ———— W ————
- UNDERGROUND ELECTRIC ———— UGE ————
- OVERHEAD ELECTRIC ———— OHE ————
- GAS LINE ———— G ————
- TELEPHONE LINE ———— T ————
- SEWER LINE ———— S ————
- SPOT ELEVATION + XX.XX

\* FOR 1. PILE DRIVING  
2. STEEL/PLANK ERECTION

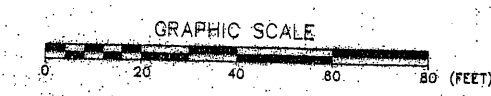
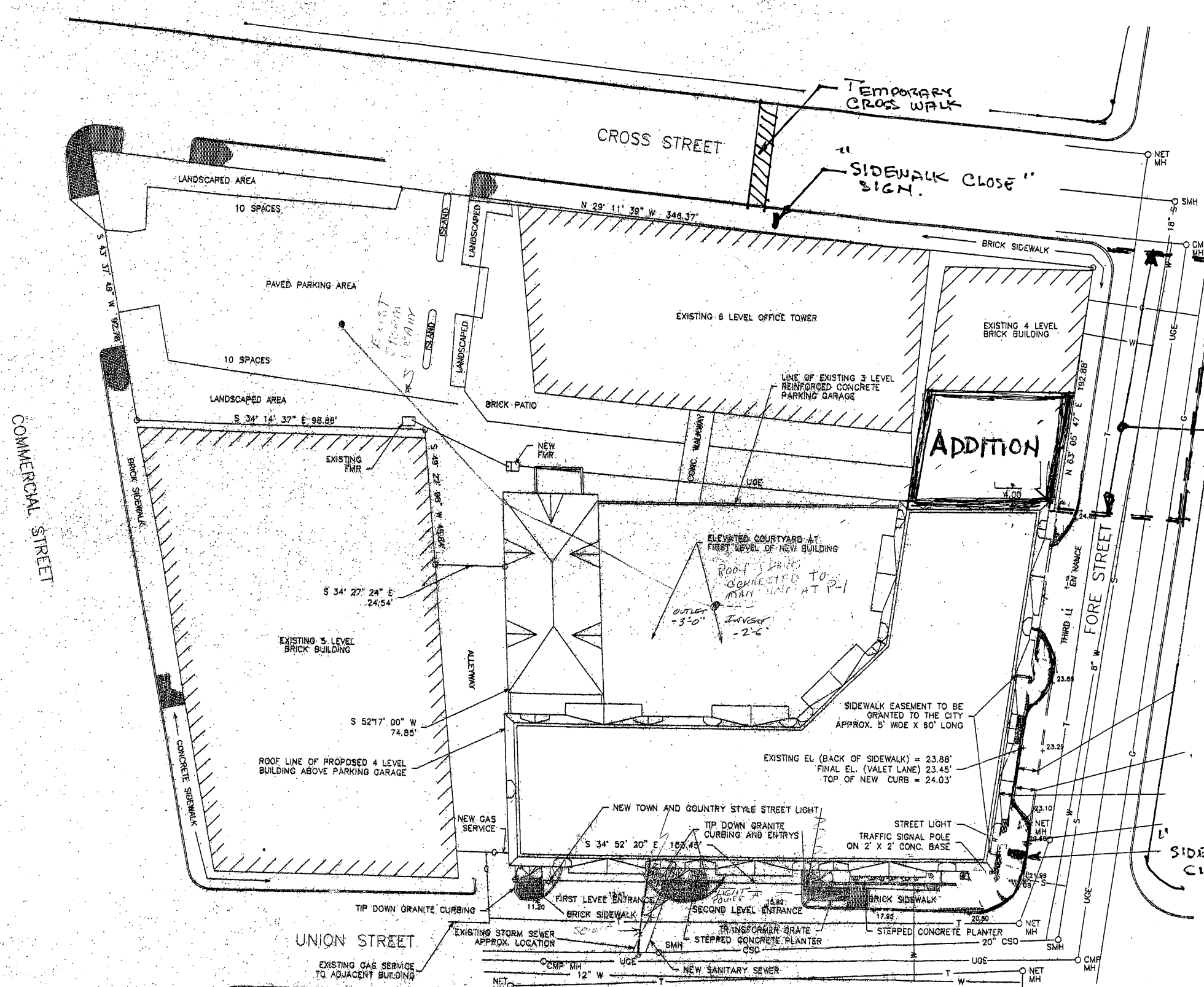
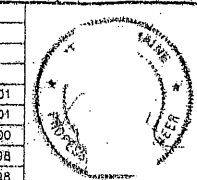
RECEIVED  
AUG 28 2001  
ALLIED CONSTRUCTION

L-3 MOBILIZATION PLAN 2  
PORTLAND HARBOR HOTEL ANNEX  
PORTLAND, MAINE

FOR: PORTLAND HARBOR HOTEL LLC  
P.O. BOX 3572  
PORTLAND, MAINE 04104

CIVIL - STRUCTURAL - MECHANICAL  
3 BRANNEN LANE - ELIOT, MAINE 03903  
SCALE: 1" = 20'  
APPROVED BY: \_\_\_\_\_  
DRAWN BY: LSC

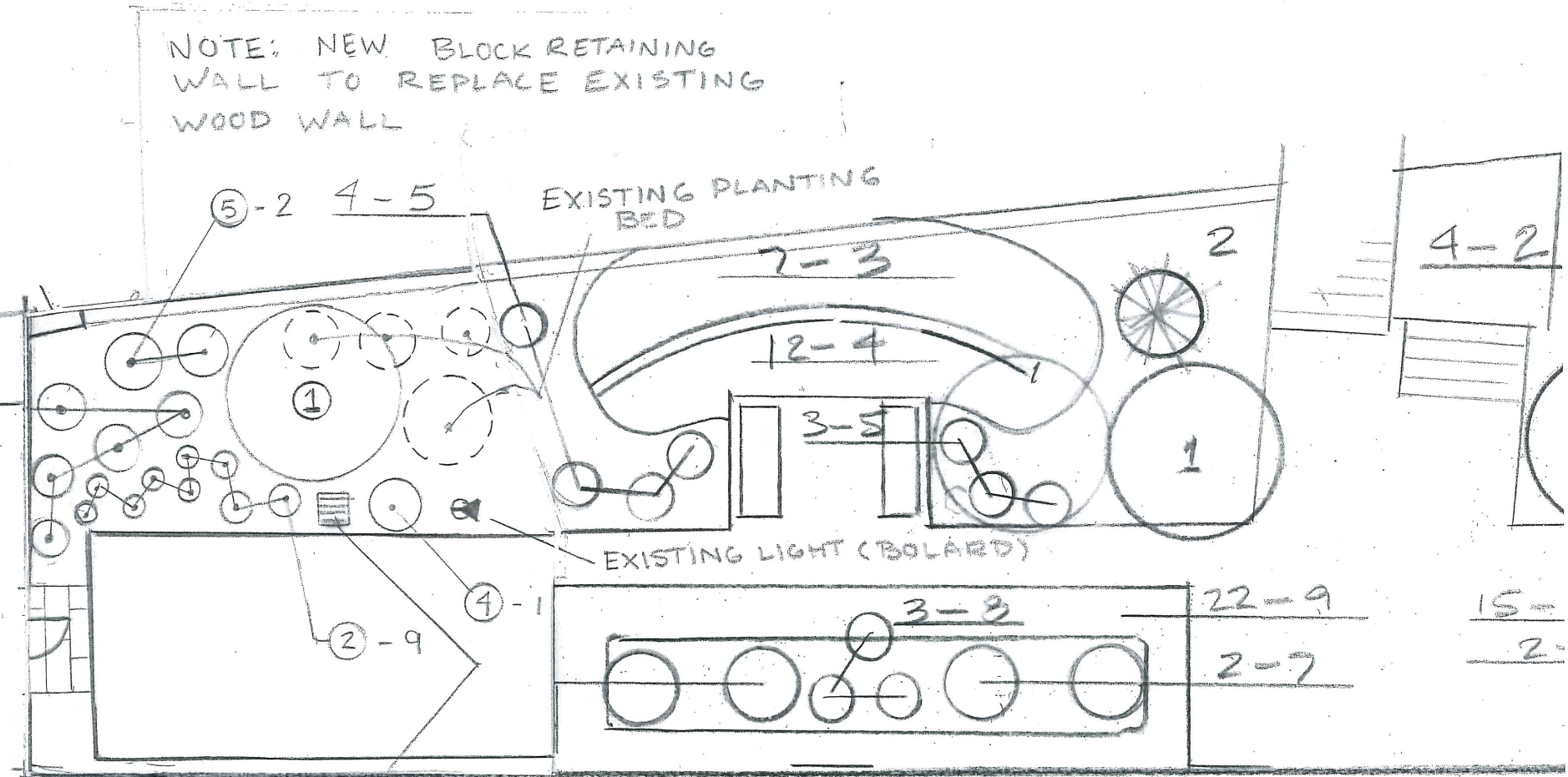
G.	INCREASED NUMBER OF ROOMS	06/27/01
F.	REVISED UTILITIES	01/09/01
E.	CHANGES TO BUILDING AND SITE	06/01/00
D.	CHANGED ENTRANCE	08/15/98
C.	SHORTENED VALET LANE. ADDED NOTE 7.	06/21/98
B.	ADDED GRADE INFORMATION	04/23/98



Refer to sheet 2 vs. L100

(GAR.)

NOTE: NEW BLOCK RETAINING WALL TO REPLACE EXISTING WOOD WALL



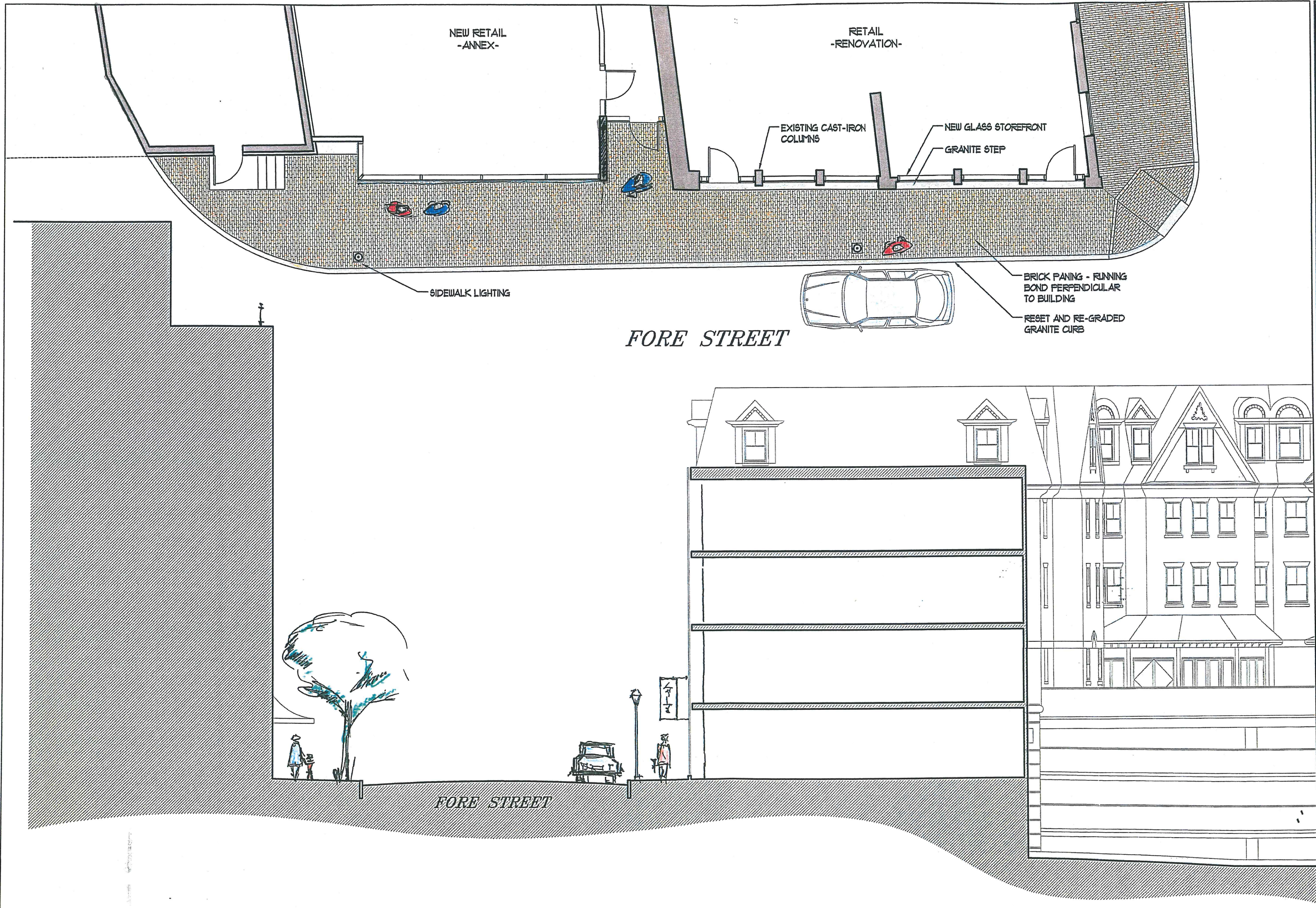
PROPOSED NEW CONSTRUCTION

NOTE: IF EXISTING RHODODENDRON SHRUBS ① MAY BE TRANSPLANTED TO ADJACENT PLAZA (SEE KEY)

NEW YARD DRAIN (RAISE COVER TO NEW GRADE)

HARBOR PLAZA - EXISTING

NO.	PLANT TYPE	QUANTITY
1	DECIDUOUS TREE	
2	CONIFERUS TREE	
3	DECD. SHRUB	
4	" "	
5	BROADLEAF SHRUB	



NEW RETAIL  
-ANNEX-

RETAIL  
-RENOVATION-

EXISTING CAST-IRON  
COLUMNS

NEW GLASS STOREFRONT  
GRANITE STEP

SIDEWALK LIGHTING

FORE STREET

BRICK PAVING - RUNNING  
BOND PERPENDICULAR  
TO BUILDING  
RESET AND RE-GRADED  
GRANITE CURB

FORE STREET

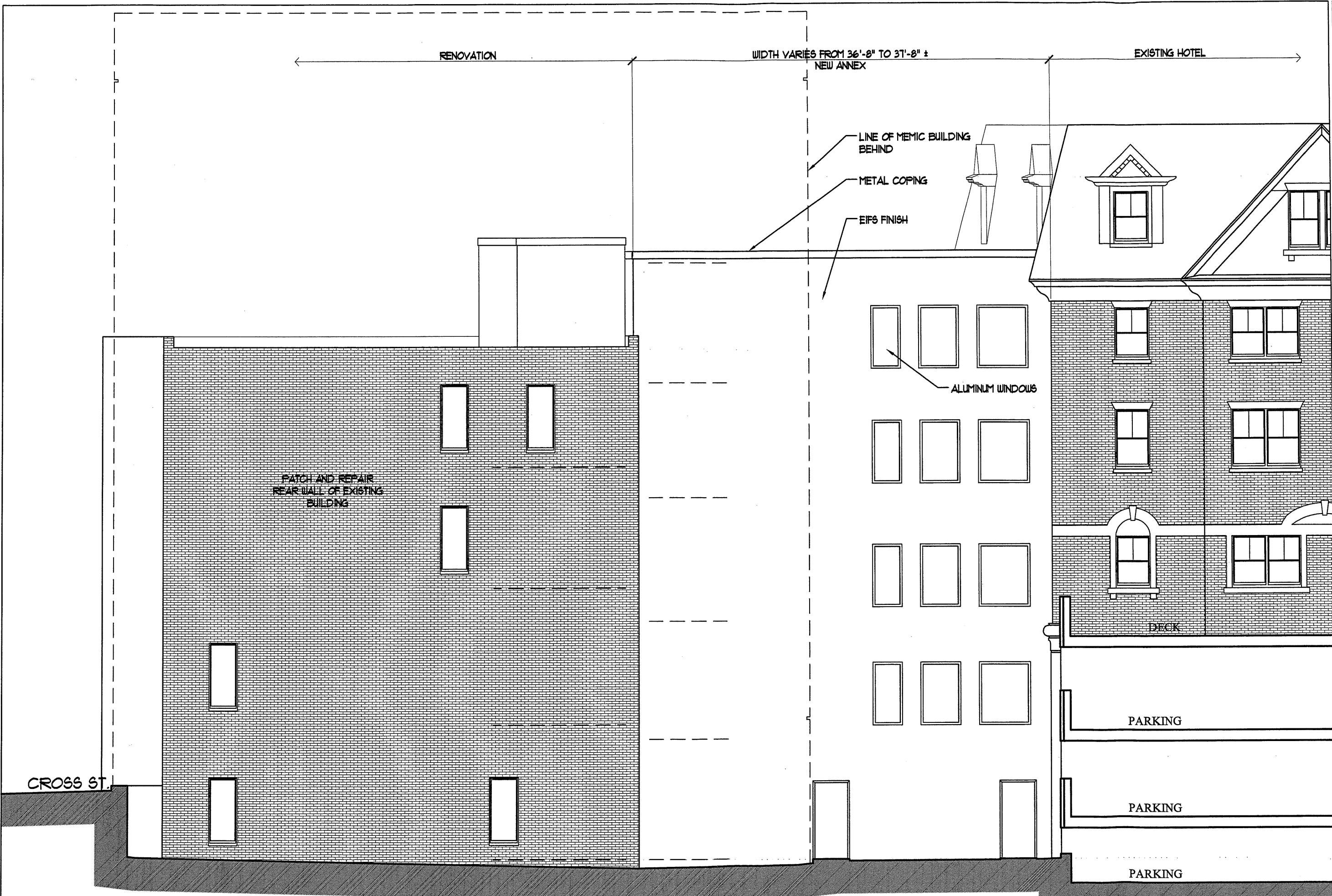
OWNER:		468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		PROJECT:	
PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE		REVISIONS:	
DATE	SCALE	STREET STUDY	
24 April 2007	Not to Scale		
A			





PROJECTING SIGNAGE  
 3 WEST ELEVATION - CROSS STREET  
 SCALE: 1/8" = 1'-0"

	OWNER: 468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Project: PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE
Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007	Scale: 1/8" = 1'-0" Date: 23 May 2007 WEST ELEVATION A03



2 SOUTH ELEVATION - REAR COURTYARD  
SCALE: 1/8" = 1'-0"

OWNER: 468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project: PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE	
Revisions:	Planning Submission - 23 May 2007
	Planning Submission - 05 July 2007
Date	23 May 2007
Scale	1/8" = 1'-0"
SOUTH ELEVATION	
A02	

NOTE:  
 ALLOWABLE HEIGHT DETERMINATION IS BASED UPON THE DISTANCE TO TOP OF STRUCTURE (BEAM) FROM AVERAGE GRADE. DEFINITION OF AVERAGE GRADE IS THE SUM OF THE ELEVATIONS AT EACH OF THE FOUR CORNERS, DIVIDED BY FOUR (92.14' + 103.00' + 102.41' + 91.71') / 4 = 97.32'.



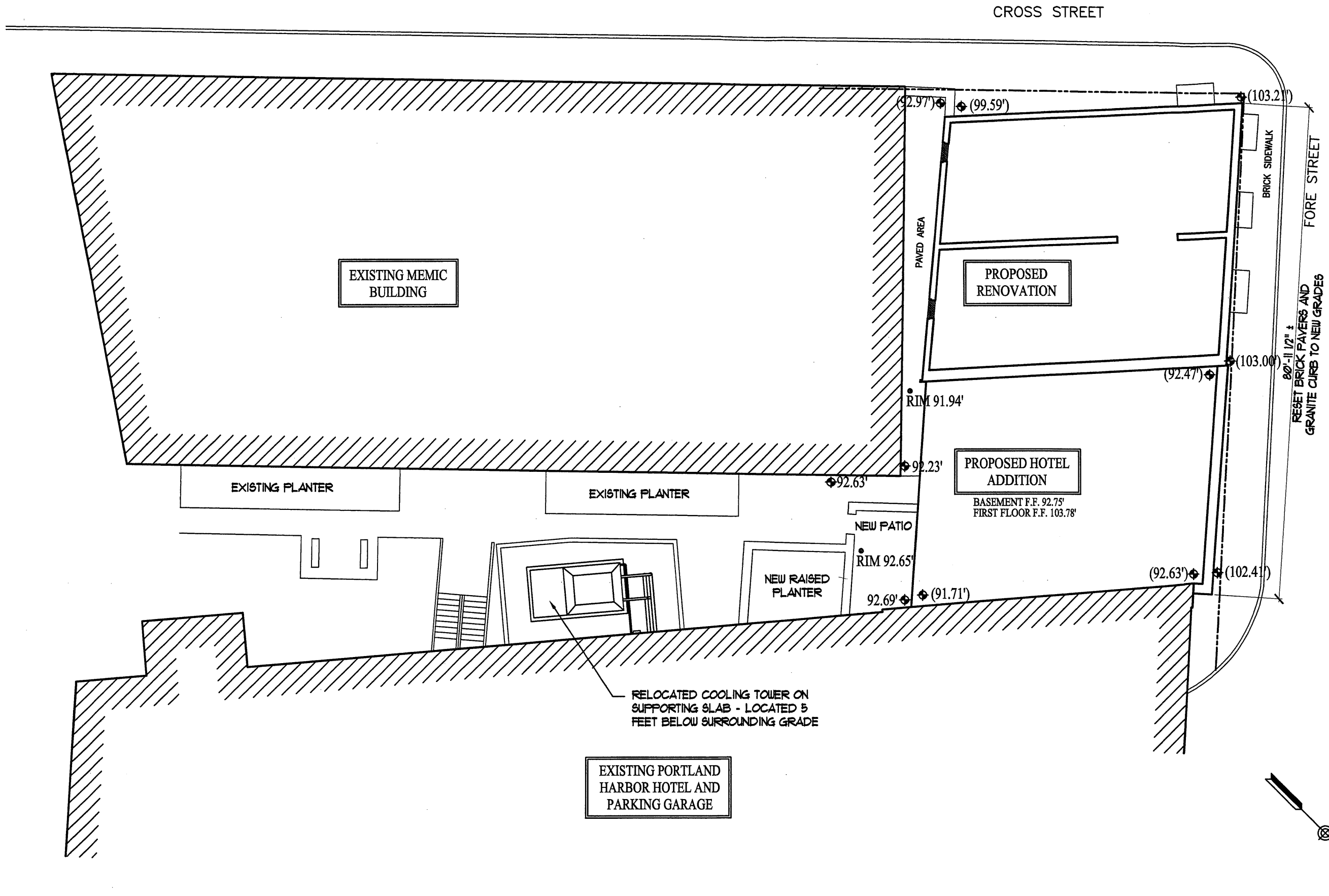
KEY NOTES:

- 01 NEW STOREFRONT
- 02 NEW WINDOWS
- 03 GRANITE BASE
- 04 GRANITE VESTIBULE WALL
- 05 BUTT-GLAZED CLEAR GLASS CURTAIN WALL
- 06 LEAD-COATED COPPER SPANDREL PANEL
- 07 BUTT-GLAZED SPANDREL GLASS
- 08 LEAD-COATED COPPER CORNICE
- 09 PROJECTING SIGNAGE
- 10 SUSPENDED POLISHED STEEL LETTERING
- 11 PAINTED WOOD PANEL

1 | NORTH ELEVATION - FORE STREET  
 SCALE: 1/8" = 1'-0"

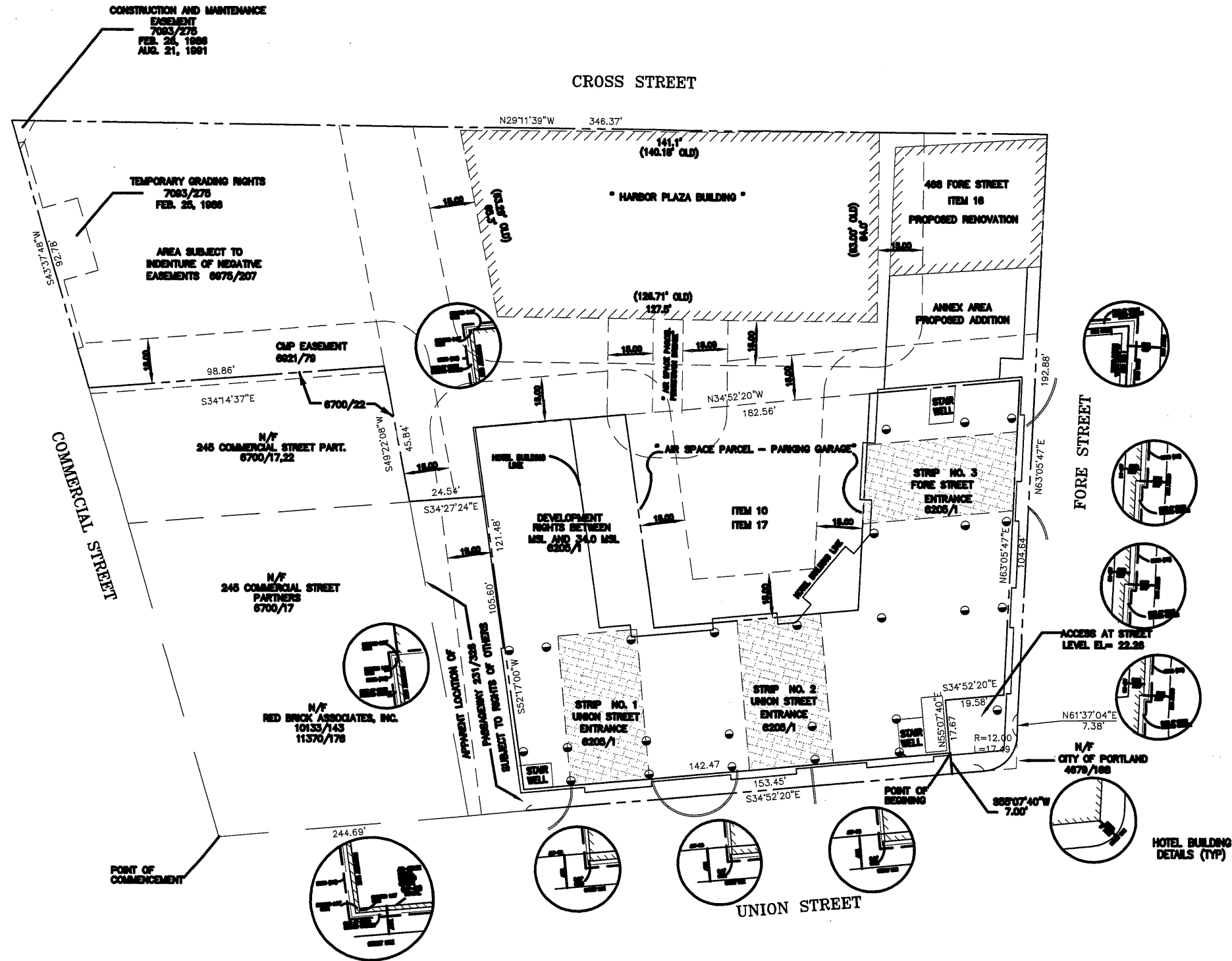
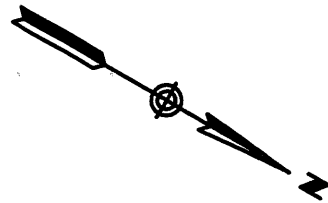
	<b>468 FORE STREET          REALTY LLC</b>	<b>468 FORE STREET          PORTLAND, MAINE</b>
OWNER:	<b>ARCHETYPE, P.A.          ARCHITECTS</b>	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	<b>PORTLAND HARBOR          HOTEL ANNEX</b>	FORE STREET PORTLAND, MAINE
Revisions:	Planning Submission - 23 May 2007 Planning Submission - 05 July 2007	
Scale:	1/8" = 1'-0"	<b>NORTH ELEVATION</b>
Date:	23 May 2007	<b>A01</b>





2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"

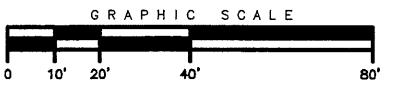
OWNER: 468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Project: PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE	
Date: 23 May 2007	Scale: 1/8" = 1'-0"
Revisions: Planning Submission - 23 May 2007 Planning Submission - 05 July 2007	
SITE PLAN	
SD1	



1. SCHEDULE B - SECTION 2 EXCEPTIONS (SEE NOTE 9 SHEET 1 OF 2)

1. NON SURVEY ITEM
2. NON SURVEY ITEM
3. AS SHOWN
4. NON SURVEY ITEM
5. ADJACENT STREETS, ROADS AND WAYS AS SHOWN
6. RIGHTS AND EASEMENTS BOOK 6305 PAGE 1 AS AFFECTED BY CONFIRMATORY EASEMENT DEED BOOK 12837 PAGE 24 AS SHOWN (SEE NOTE 4)
7. TERMS AND PROVISIONS OF GROUND LEASE BOOK 6305 PAGE 9 AND SECOND AMENDMENT TO GROUND LEASE BOOK 12837 PAGE 11 AS SHOWN (SEE NOTE 4)
8. RIGHTS AND EASEMENTS BOOK 6700 PAGE 19 (17) RIGHTS IN PASSAGEWAY AS SHOWN
9. RIGHTS AND EASEMENTS BOOK 6700 PAGE 22 AS SHOWN
10. TERMS AND PROVISIONS OF A MEMORANDUM OF LEASE AND OPTION BOOK 6700 PAGE 41-REGARDING PARKING SPACES IN PARKING GARAGE-NOT FLOTTABLE
11. UTILITY EASEMENT BOOK 6821 PAGE 79 AS SHOWN
12. EASEMENTS ETC BOOK 6875 (6887) PAGE 207-AS SHOWN (SEE SHEET 1)
13. RIGHTS AND EASEMENTS BOOK 7083 PAGE 275 AS SHOWN
14. RIGHTS ETC -NOT FLOTTABLE ITEM
15. RIGHTS ETC BOOK 14481 PAGE 284
17. TERMS AND PROVISIONS BOOK 16748 PAGE 203
18. RIGHTS AND INTEREST ETC BOOK 16748 PAGE 203 NON FLOTTABLE
19. RIGHTS AND EASEMENTS BOOK 16802 PAGE 74 AS SHOWN

LEGEND:  
 --- HOTEL LIMIT LINE



NOTES:

1. EASEMENTS AND ENCUMBRANCES (SEE SHEET 1 OF 2 FOR NOTES AND CERTIFICATIONS)
2. NO OBSERVABLE FEATURES HAVE BEEN CONSTRUCTED WITHIN THE PUMP EASEMENT AREAS DENOTED STRIPS ONE THRU THREE.
3. THE SUPPORT SYSTEM FOR THE HOTEL AND COURTYARD AREA RESTS ON COLLARS ASSOCIATED WITH THE PARKING GARAGE. ELEVATION CITED IN NOTE 18 IS THE LOWEST SPOT ON THE 3RD FLOOR OF THE GARAGE. CONCRETE PIERS WERE CONSTRUCTED AT OR BELOW THIS ELEVATION TO FORM THE SUPPORT FOR THE HOTEL PROJECT. APPROXIMATE COLLAR LOCATIONS DENOTE .
4. DETAILS SHOWING BUILDING CORNER LOCATIONS TAKEN FROM PLAN ENTITLED "AS-BUILT ALTA/ACSM LAND TITLE SURVEY ON COMMERCIAL, CROSS, FORE AND UNION STREETS PORTLAND, MAINE MADE FOR PORTLAND HARBOR HOTEL ASSOCIATES, LLC" DATED SEPT. 27, 2002 SHEET 2 OF 2 BY OWEN HASKELL, INC. (SEE BOOK 12837 PAGE 24).
5. SEE SHEET 1 OF 2 FOR ADDITIONAL NOTES.
6. 488 FORE ST. BUILDING AND PROPOSED ANNEX ADDITION TO BE OWNED BY 488 FORE STREET LLC LOCATED ON LAND LEMED FROM DICOR ASSOCIATES L.
7. EXISTING PORTLAND HARBOR PLAZA HOTEL OWNED BY PORTLAND HARBOR HOTEL ASSOCIATES LLC. IN AIR SPACE OWNED BY DICOR ASSOCIATES L.

REV. 4 05-15-07	ADDED PROPOSED ADDITION
REV. 3 11-28-05	ADD 15' EASEMENT
REV. 2 11-14-05	LMSC CHANGES
REV. 1 8-31-05	SCHEDULE B SECTION 2 ITEMS NOTES 4 & 5, DETAILS

**AS-BUILT  
ALTA/ACSM LAND TITLE SURVEY**  
ON  
COMMERCIAL, CROSS, FORE AND UNION STREETS  
PORTLAND, MAINE  
MADE FOR  
HARBOR PLAZA ASSOCIATES  
DICTAR ASSOCIATES, II

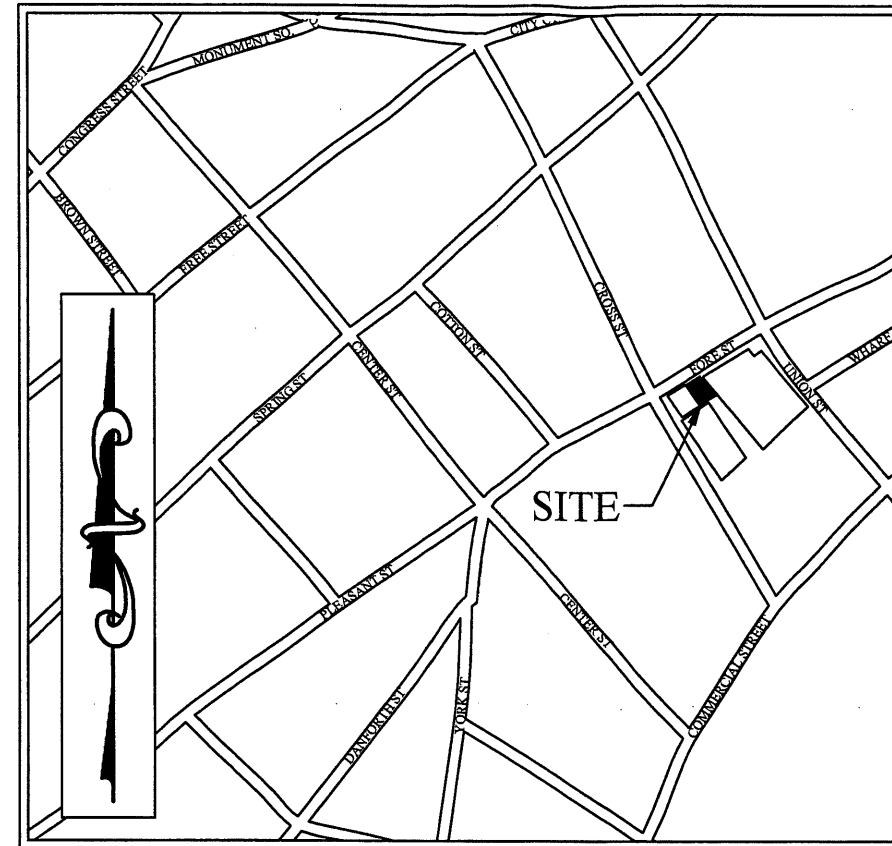
**OWEN HASKELL, INC.**  
38 CHASE CENTER, PORTLAND, ME 04101 (207)776-0484  
PROFESSIONAL LAND SURVEYORS

Drawn By	WCS	Date	AUGUST 31, 2005	Job No.	98288P
Trace By	WCS	Scale	1" = 20'	Drwg. No.	
Check By	WCS				
Book No.	821				2 OF 2



## RELEVANT CODES – ADDITION TO PORTLAND HARBOR HOTEL

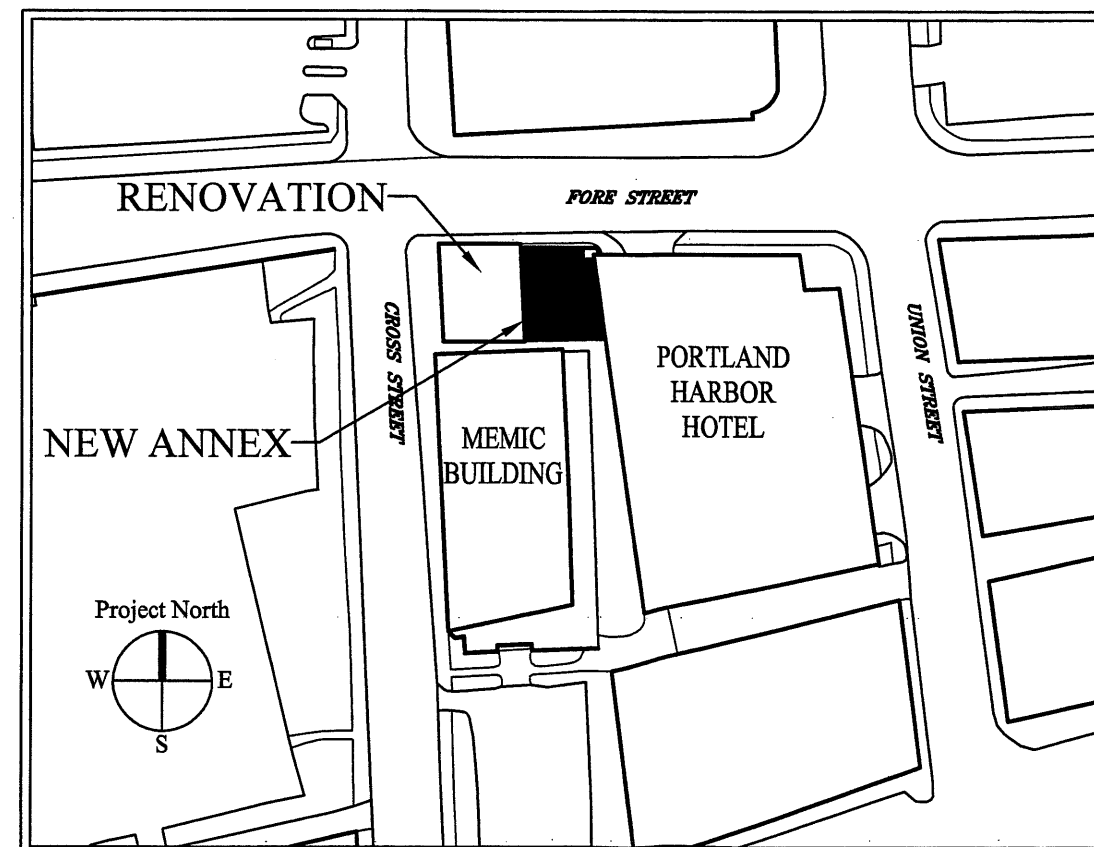
IBC-2003	CODE REFERENCE	FIRE PARTITIONS	
USE GROUP R-1 (HOTEL)	310.1	CORRIDOR FIRE PARTITION (NONBEARING) - 1/2 HR	708.1
USE GROUP S-2 (STORAGE)	311.3	DWELLING UNIT SEPARATION - 1 HR	T-1016.1
USE GROUP M (MERCANTILE)	309.1	4-STORY SHAFT - 2 HOURS	708.3
CONSTRUCTION TYPE 1-B (Protected non-combustible)	T-503	DRAFTSTOPPING - N/A	707.4
R-1 Sprinkled W/NFPA 13	903.3.1.1	STANDPIPE REQUIRED	717.3.2 exception 2
79,000sf. ALLOWED WITHOUT INCREASES		FIRE DEPT. CONNECTION REQUIRED	905.3.1
1,790sf. PROPOSED		ALARM REQUIRED	903.3.7 (AS DIRECTED BY FIRE)
ALLOWABLE HGT. WITH SPRINKLER 180'	504.2	SMOKE DETECTORS REQUIRED	907.2.8.1 exception 2
12 STORIES ALLOWED WITH SPRINKLER	504.2	3' ELEVATOR VENT REQUIRED	907.2.10.1.1
4 STORIES PROPOSED		FIREWALL REQUIRED BETWEEN USES - 3 HOURS	3007.3
<b>FIRE RESISTANCE FOR TYPE 1-B</b>		FIREWALL - ANY NON-COMBUSTIBLE MATERIAL	T-705.4
COLUMNS AND FLOOR/CEILING - 2 HOURS	T-601	FIREWALL HAS NO 18" EXTENSION	705.3
ROOF - 2 HOURS	T-601	FIREWALL STOPS AT LOW ROOF OF STEPPED BLDG.	705.5 Exception 3
<b>MAINE HUMAN RIGHTS COMMISSION</b>		DOORS IN FIREWALL TO BE RATED 3 HOURS	705.6.1
ACCESSIBILITY CODE TO BE ANSI A117.1 - 2003		RATING OF BRICK FIREWALL 3 HOURS = 4.9 IN.	T-715.3
		RATING OF EXTERIOR WALLS - 1 HOUR < 5ft.	T-720.1(2)
		<b>MEANS OF EGRESS</b>	T-602
		USE GROUP M OCCUPANT LOAD 1450/30 = 49	1003
		ONE MEANS OF EGRESS ALLOWED	T-1004.1.2
		USE GROUP R-1 OCCUPANT LOAD 2,007/200 = 10	T-1014.1
		MINIMUM REQUIRED CORRIDOR WIDTH - N/A	T-1004.1.2
			1005.1



LOCATION MAP - NOT TO SCALE

## RELEVANT CODES – RENOVATION OF 470 FORE ST.

IBC-2003	CODE REFERENCE	FIRE PARTITIONS	
USE GROUP R-1 (HOTEL) AND M (MERCANTILE)	310.1 AND 309.1	CORRIDOR FIRE PARTITION (NONBEARING) - 1/2 HR	708.1
CONSTRUCTION TYPE 3-B	T-503	DWELLING UNIT SEPARATION - 1 HR	T-1016.1
R-1 Sprinkled W/NFPA 13	903.3.1.1		708.3
12,500sf. ALLOWED WITHOUT INCREASES		DRAFTSTOPPING - N/A	717.3.2 exception 2
2,077sf. PROPOSED		STANDPIPE REQUIRED	905.3.1
ALLOWABLE HGT. WITH SPRINKLER 75'	504.2	FIRE DEPT. CONNECTION REQUIRED	903.3.7 (AS DIRECTED BY FIRE)
5 STORIES ALLOWED WITH SPRINKLER	504.2	ALARM REQUIRED	907.2.8.1 exception 2
3 STORIES PROPOSED (EXISTING)		SMOKE DETECTORS REQUIRED	907.2.10.1.1
<b>FIRE RESISTANCE FOR TYPE 3-B</b>		FIREWALL REQUIRED BETWEEN USES - 3 HOURS	T-705.4
COLUMNS AND FLOOR/CEILING - 0 HOURS	T-601	FIREWALL - ANY NON-COMBUSTIBLE MATERIAL	705.3
BEARING WALLS - EXTERIOR - 2 HOURS	T-601	FIREWALL HAS NO 18" EXTENSION	705.5 Exception 3
BEARING WALLS - INTERIOR - 0 HOURS	T-601	FIREWALL STOPS AT LOW ROOF OF STEPPED BLDG.	705.6.1
FLOOR CONSTRUCTION - 0 HOURS	T-601	DOORS IN FIREWALL TO BE RATED 3 HOURS	T-715.3
ROOF CONSTRUCTION - 0 HOURS	T-601	RATING OF BRICK FIREWALL 3 HOURS = 4.9 IN.	T-720.1(2)
<b>MAINE HUMAN RIGHTS COMMISSION</b>		RATING OF EXTERIOR WALLS - 1 HOUR < 5ft.	T-602
ACCESSIBILITY CODE TO BE ANSI A117.1 - 2003		<b>MEANS OF EGRESS</b>	1003
		USE GROUP M OCCUPANT LOAD 1450/30 = 49	T-1004.1.2
		ONE MEANS OF EGRESS ALLOWED	T-1014.1
		USE GROUP R-1 OCCUPANT LOAD 2,007/200 = 10	T-1004.1.2
		MINIMUM REQUIRED CORRIDOR WIDTH - N/A	1005.1



KEY PLAN - NOT TO SCALE

OWNER:	468 FORE STREET REALTY LLC FORE STREET PORTLAND, MAINE
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	PORTLAND HARBOR HOTEL ANNEX FORE STREET PORTLAND, MAINE
Revisions:	Planning Submission - 23 May 2007
Date:	23 May 2007
Scale:	N.T.S.
	CODE ANALYSIS
<b>A00</b>	