



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: CASCO VIEW HOLDINGS LLC NEW EMERGENCY GENERATOR

PROJECT ADDRESS: 261 COMMERCIAL STREET CHART/BLOCK/LOT: 30/F/0#9

APPLICATION FEE: 50.00 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

NEW SINGLE STORY 14' X 32'-0" EMERGENCY GENERATOR BUILDING

CONTACT INFORMATION:

OWNER/APPLICANT

Name: CASCO VIEW HOLDINGS LLC
 Address: 261 COMMERCIAL ST.
PORTLAND, MAINE 04104
 Work #: 207-791-3300
 Cell #: NA
 Fax #: 207-791-3469
 Home #: NA
 E-mail: jdobransky@memic.com
(JEROME DOBRANSKY)

CONSULTANT/AGENT

Name: MICHAEL F. HAYS (ARCHITECT)
 Address: P.O. BOX 6179
FALMOUTH, MAINE 04105
 Work #: 207-871-5900
 Cell #: 207-318-7972
 Fax #: NA
 Home #: N/A
 E-mail: mike@grant-hays.com

Criteria for an Administrative Authorizations:
 (see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division
 Y(yes), N(no), N/A

- | | | |
|---|----------|-------|
| a) Is the proposal within existing structures? | <u>Y</u> | _____ |
| b) Are there any new buildings, additions, or demolitions? | <u>Y</u> | _____ |
| c) Is the footprint increase less than 500 sq. ft.? | <u>Y</u> | _____ |
| d) Are there any new curb cuts, driveways or parking areas? | <u>N</u> | _____ |
| e) Are the curbs and sidewalks in sound condition? | <u>Y</u> | _____ |
| f) Do the curbs and sidewalks comply with ADA? | <u>Y</u> | _____ |
| g) Is there any additional parking? | <u>N</u> | _____ |
| h) Is there an increase in traffic? | <u>N</u> | _____ |
| i) Are there any known stormwater problems? | <u>N</u> | _____ |
| j) Does sufficient property screening exist? | <u>N</u> | _____ |
| k) Are there adequate utilities? | <u>Y</u> | _____ |
| l) Are there any zoning violations? | <u>N</u> | _____ |
| m) Is an emergency generator located to minimize noise? | <u>Y</u> | _____ |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>Y</u> | _____ |

Signature of Applicant: <u>Michael F. Hays</u>	Date: <u>5.4.12</u>
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Planning Division Use Only

Authorization Granted Partial Exemption Exemption Denied

*with 3 conditions - see cdt.
Barbara Garmydt, Dev Rev mgr 5/16/12*

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

a) Is the proposal within existing structures?	Yes	No - addition
b) Are there any new buildings, additions, or demolitions?	Yes	Yes
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	No	Yes, Jeff Tarling approved landscaping
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	Yes	Yes and it includes super critical muffler
n) Are there any noise, vibration, glare, fumes or other impacts?	Yes	No

The Administrative Authorization for an emergency generator within a building additions was approved by Barbara Barhydt, Development Review Services Manager on May 16, 2012 with the following condition(s) in addition to the required Standard Condition of Approval listed below:

1. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.
2. The applicant shall obtain a certificate of appropriateness under the City's Historic Preservation Ordinance prior to the issuance of a building permit.
3. The periodic testing of the emergency generator shall be programmed to occur during standard business hours of 9 a.m. to 5 p.m. , Monday through Friday.

Barbara Barhydt

5/16/12

GRANT HAYS ASSOCIATES

ARCHITECTURE ✚ INTERIOR DESIGN

May 8, 2012

Ms. Barbara Barhydt, Manager
City of Portland Development Review Services
Department of Planning & Urban Development
389 Congress Street
Portland, Maine 04101

Re: Administrative Authorization
New Emergency Generator Building
261 Commercial Street, Portland

Dear Ms. Barhydt,

On behalf of my client, MEMIC, please accept our application for consideration with regard to above referenced project. We have attached a copy of our proposal to build a new emergency generator building, as requested in the application requirements.

The proposed new building will be sited at the westerly edge of the existing 261 Commercial Street parking area mulch bed, abutting the existing five-story building at 245 Commercial Street. MEMIC owns both properties under subsidiary LLC's. The proposed new generator building will house a 450KW diesel generator, electrical transfer switch, and related electrical/mechanical equipment. Two existing light poles will be replaced, and one Linden tree will be removed. The Owner proposes to relocate an existing pad-mounted HVAC condensing unit to the roof of 245 Commercial Street (adjacent to existing roof-mounted HVAC units). The existing electrical transformer and switchgear in the mulch bed area will remain in their present location.

Attached are supporting documents depicting the existing site conditions, our proposed new landscaping and building concepts, descriptions of the plantings and exterior materials, as well as data regarding mechanical items which will be exposed to view on the exterior of the building. We have also included product cuts of the proposed light poles and building-mounted light fixtures, along with photometric data.


As the parcels sit in the Historic Overlay Zone as well as the B-3 Zone, we are scheduled to present the merits of the project to the Historic Preservation Commission on May 16th, and understand Administrative Authorization approval is contingent upon a favorable response from the HPC. We appreciate your guidance with this project. Please do not hesitate to contact me directly if I may be of assistance with any questions or comments that may arise.

Respectfully,



Michael F. Hays, Principal

GRANT HAYS ASSOCIATES

ARCHITECTURE  INTERIOR DESIGN

MEMO

DATE: May 4, 2012

TO: City of Portland Planning Department

FROM: Mike Hays

RE: Memic Generator Building – 261 Commercial Street
Site Criteria – City of Portland Ordinances

CC: file

Owner: Casco View Holdings II, LLC
 Map/Lot: Map 38/Block F/Lots 8 & 9
 Zones: B-3 (Business); DEOZ (Downtown Entertainment Overlay Zone)
 Historic Overlay Zone; PAD District

<u>Lot Criteria:</u>	<u>B-3</u>	<u>DEOZ</u>	<u>Historic</u>	<u>PAD</u>
Min Lot Size:	NONE	N/A	N/A	NONE
Min Street Frontage:	15'	N/A	N/A	40'
Min Lot Width:	NONE	N/A	N/A	NONE
Max Lot Coverage:	100%	N/A	N/A	100%
Max Blank Wall Length:	30'	N/A	N/A	15'
Max Building Height:	35'(*)	N/A	N/A	N/A
Front Setback:	NONE	N/A	N/A	NONE
Side Setback:	NONE	N/A	N/A	NONE
Rear Setback:	NONE	N/A	N/A	NONE

Additional Conditions/Allowed Uses:

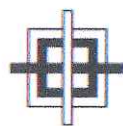
(*) If structure is within 50' of the street frontage; except if structure is an ancillary use.

Utility structures are defined as an Ancillary Use. They must be suitably located, screened and landscaped to ensure compatibility with the surrounding neighborhood.

The proposed utility structure will require approval from the Historic Preservation Board and the City of Portland Planning Department. Since the addition footprint is less than 500 sf, Planning Board approval is not required.

Since this property is not utilized for an Entertainment establishment, DEOZ conditions are not applicable (N/A).

PROPERTY DEEDS



Grant Hays Associates, Inc
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900

QUITCLAIM DEED WITH COVENANT

HARBOR PLAZA ASSOCIATES, a Maine limited partnership with a place of business in Portland, Maine ("HPA"), and DICTAR ASSOCIATES II, a Maine general partnership with a place of business in Portland, Maine ("DA II"), and (HPA and DA II hereinafter collectively referred to as "Grantors"), for consideration paid, grant to CASCO VIEW HOLDINGS II, LLC, a Maine limited liability company with a place of business in Portland, Maine, and an address of P.O. Box 1137, Portland, ME 04104-7409 ("CVH II"), with Quitclaim Covenant, certain real property, together with the buildings and all improvements thereon, located on Commercial and Cross Streets, in the City of Portland, Cumberland County and State of Maine, being more particularly bound and described in Schedule A attached hereto and made a part hereof (the "Premises").

The Premises is a portion of the real property conveyed to DA II by deed from P & P Leasing Co. dated June 24, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6204, Page 344. For interests included herewith, further reference is made to the following documents recorded at the Cumberland County Registry of Deeds:

1. Deed from Harbor Plaza Associates II ("HPA II") to DA II of even or near date hereto.
2. Release of Rights and Easements from 468 Fore Street Realty, LLC, a Maine limited liability company, to DA II of even or near date hereto.
3. Releases of rights and easements by Portland Harbor Hotel Associates, LLC, a Maine limited liability company, 468 Fore Street Realty, LLC, and HPA II set forth or referred to in a First Amended and Restated Reciprocal Easement and Use Agreement (the "Amended REA") executed by HPA, DA II, HPA II and others, of near or even date hereto.

The Premises includes the building and improvements located thereon, and all air space located above said building and above the Premises, however acquired. The Premises does not include that portion of the air space parcel conveyed to DA II in the above referenced deed from HPA II as is located above adjacent premises of DA II. The within deed does not include a grant of any appurtenant rights in, under, through, over and to land retained by DA II, shown as the Harbor Plaza Parcel and the 468 Realty Parcel on the Easement Plan described in the attached Schedule A.

HPA and DA II hereby convey and assign all their respective interests, fee and leasehold, however acquired, in, under, through, over and to the land, building, improvements and air space within the boundaries of Tracts A and B as described on the attached Schedule A, subject to rights and easements set forth in the Amended REA.

(Signature page follows)

MAINE REAL ESTATE TAX PAID

WITNESS

[Signature]

HARBOR PLAZA ASSOCIATES

By: Harbor Plaza Portland, LLC

Its General Partner

By: [Signature]

David H. Bateman

Its Member Manager

WITNESS

ball

DICTAR ASSOCIATES II

By: Bateman Partners, LLC

Its: General Partner

By: [Signature]

David H. Bateman

Its Member Manager

By: [Signature]

David H. Bateman

Its General Partner

State of Maine
County of Cumberland

Feb. 25, 2011

Personally appeared before me the above named David H. Bateman, as General Partner of Dictar Associates, II, a General Partner of Harbor Plaza Associates, and as President of Dictar Associates, Inc., a General Partner of Harbor Plaza Associates, and acknowledged the foregoing instrument to be his free act and deed in his said capacities and the free act and deed of said Harbor Plaza Associates.

[Signature]

Notary Public/Attorney at Law

Print Name _____

My Commission Expires _____

RONALD N. WARD
Notary Public, Maine

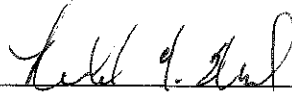
My Commission Expires September 23, 2015

State of Maine
County of Cumberland

Feb. 25, 2011

Personally appeared before me the above named David H. Bateman, General Partner of Dictar Associates II, and Member Manager of Bateman Partners, LLC, a General Partner of

Dictar Associates II, and acknowledged the foregoing to be his free act and deed in his said capacities and the free act and deed Dictar Associates II.



Notary Public/Attorney at Law
Print Name _____
My Commission Expires _____

RONALD N. WARD
Notary Public, Maine
My Commission Expires September 23, 2015

SCHEDULE A

LEGAL DESCRIPTION OF TRACTS A AND B OF THE
261 COMMERCIAL STREET PARCEL

Certain lots or parcels of land, together with the buildings and improvements located thereon, on Commercial Street and Cross Street, in the City of Portland, Cumberland County, State of Maine, being more particularly bound and described as follows:

Tract A

A certain lot or parcel of land, together with the buildings and improvements thereon, situated on the easterly side of Cross Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

Beginning at a point on the easterly sideline of Cross Street, said point being 124.77 feet from the northeast corner of Cross and Commercial Street on a course of N 29° 11' 39" W;

Thence, N 29° 11' 39" W along the easterly sideline of said Cross Street a distance of 162.27 feet to a parcel of land owned by Dictar Associates II and leased to 468 Fore Street Realty, LLC as described in a Certificate of Ground Lease Assignment, Bill of Sale and Consent dated June 16, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26163, Page 302;

Thence, N 60° 55' 35" E along land leased to 468 Fore Street Realty, LLC a distance of 74.68 feet;

Thence S 29° 07' 54" E along other land now or formerly of Dictar Associates II a distance of 167.11 feet;

Thence S 60° 48' 21" W along other land now or formerly of Dictar Associates II, being the northerly line of Tract B below, a distance of 74.50 feet to the easterly sideline of said Cross Street and the point of beginning. Containing 12,471 Sq. Ft.

Being Tract A as shown on an "Easement Plan on Commercial, Cross, Fore and Union Streets, Portland, Maine made for Dictar Associates II & Casco View Holdings II, LLC" dated December 7, 2010, signed on December 8, 2010, by Owen Haskell, Inc. Job # 96286 P and recorded in said Registry of Deeds, to which reference is made for a more particular description.

Tract B

A certain lot or parcel of land situated on the northerly side of Commercial Street in the City of Portland, County of Cumberland and State of Maine bounded and described as follows:

Beginning at the intersection of the northerly sideline of Commercial Street and the northeasterly sideline of Cross Street;

Thence N 29° 11' 39" W along the easterly sideline of said Cross Street a distance of 124.77 feet to other land now or formerly of Dictar Associates II, being Tract A above;

Thence, N 60° 48' 21" E along other land now or formerly of Dictar Associates II a distance of 74.50 feet;

Thence N 49° 22' 08" E along other land now or formerly of Dictar Associates II a distance of 5.55 feet to land now or formerly of 245 Commercial Street Partners;

Thence S 34° 14' 37" E along land of said 245 Commercial Street Partners a distance of 98.86 feet to the northerly sideline of said Commercial Street;

Thence S 43° 37' 48" W along the northerly sideline of said Commercial Street a distance of 92.78 feet to the point of beginning. Containing 9,430 Sq. Ft.

Being Tract B as shown on a "Easement Plan on Commercial, Cross, Fore and Union Streets, Portland, Maine made for Dictar Associates II & Casco View Holdings II, LLC" dated December 7, 2010, signed December 8, 2010, by Owen Haskell, Inc. Job # 96286 P and recorded in said Registry of Deeds, to which reference is made for a more particular description.

Received
Recorded Register of Deeds
Mar 01, 2011 04:10:33P
Cumberland County
Pamela E. Lovley

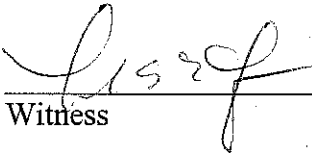
**QUITCLAIM DEED
With Covenant
[Statutory Short Form]**

KNOW ALL PERSONS BY THESE PRESENTS, that **245 COMMERCIAL STREET PARTNERS, LLP**, a Maine limited liability partnership, having a place of business in Portland, Maine, for consideration paid, the receipt whereof is hereby acknowledged, does hereby **GRANT**, to **MAINE EMPLOYERS' MUTUAL INSURANCE COMPANY**, a Maine corporation with a place of business in Portland, Maine, , and having a mailing address of: P.O. Box 11409 Portland 04104, **WITH QUITCLAIM COVENANT**, the following described real estate located in Portland, Cumberland County, Maine:

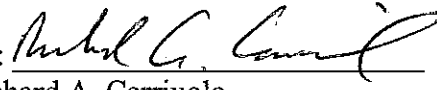
A certain lot or parcel of land on Commercial Street, in the City of Portland, Maine, being more particularly bounded and described as Parcel One and Parcel Two on Exhibit A, attached hereto and made a part hereof.

IN WITNESS WHEREOF, the said 245 Commercial Street Partners LLP has caused this deed to be signed and sealed in its partnership name by Richard A. Carriuolo, its Managing Partner, on January 31, 2008.

**245 COMMERCIAL STREET
PARTNERS, LLP**



Witness


By: 

Richard A. Carriuolo,
Its Managing Partner

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

January 31, 2008

Then personally appeared the above-named Richard A. Carriuolo, as Managing Partner of 245 Commercial Street Partners LLP, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said partnership.

Before me,


Notary Public/Attorney-at-Law
Print name: _____

**LESLIE E. LOWRY, III
ATTORNEY AT LAW**

MAINE REAL ESTATE TAX PAID

EXHIBIT A TO DEED
245 Commercial Street, Portland, Maine

Parcel One:

A certain lot or parcel of land, together with all buildings and improvements thereon and rights appurtenant thereto, situated in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point on the north side of Commercial Street, said point being located ninety-two and seventy-eight hundredths (92.78) feet from the intersection formed by the easterly sideline of Cross Street and the northerly sideline of Commercial Street; thence N. $34^{\circ} 14' 37''$ W. and maintaining a distance of two (2) feet, more or less, from the southwesterly face of the building on the within described parcel, for a distance of ninety-eight and sixty-six hundredths (98.66) feet to a point on the southerly border of land sold by Hannaford Bros. Co. to Buckfield Packing Co.; thence N. $49^{\circ} 22' 11''$ E, and parallel to the northwesterly face of said building on the within described premises, for a distance of forty-five and eighty-nine hundredths (45.89) feet to land formerly of Samuel B. Weisman, et al., now of 245 Commercial Street Partners, adjoining this lot on the east; thence S. $34^{\circ} 27' 24''$ E. along said land formerly of Weisman, and now of 245 Commercial Street Partners, for a distance of ninety-three and thirty-seven (93.37) feet, more or less, to the northerly sideline of Commercial Street; thence S. $43^{\circ} 37' 49''$ W. along Commercial Street for a distance of forty-seven and twelve hundredths (47.12) feet to the point of beginning.

Also conveying a right of way, in common with others who may enjoy similar rights, across a certain "passageway" running southwesterly from Union Street to the above described premises and adjoining the southeasterly side of those premises described in a deed from W. Spencer, Inc. to the Dictar Associates II dated May 19, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6173, Page 115.

Also conveying to the Grantee herein, its successors and assigns, a perpetual easement across land now or formerly of Dictar Associates II, and of Harbor Plaza Associates, as ground lessee thereof, located along the northerly and westerly boundary lines of the above-described premises as reasonably required for repair and maintenance of the above-described building; provided, however, that Grantee shall promptly repair any damage caused to said land now or formerly of Dictar Associates II, and of Harbor Plaza Associates, as ground lessee thereof, in the exercise of said easement rights and shall indemnify Dictar Associates II, or its successors or assigns, and of Harbor Plaza Associates, as ground lessee thereof, for any losses sustained in the exercise of said rights.

For reference to the title of 245 Commercial Street Partners as to Parcel One, see deeds recorded in said Registry in Book 6700, Page 19 and Book 6700, Page 22.

Parcel Two:

A certain lot or parcel of land, with the buildings thereon, situated on the northwesterly side of Commercial Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning on said northwesterly side of Commercial Street at the southwesterly corner

of the store, formerly owned by William McGilvery, said point being fifty-five (55) feet southwesterly from the corner of Union Street and opposite the center of the partition wall between said McGilvery store and the premises herein conveyed; thence southwesterly by said Commercial Street, fifty-one and one-half (51-1/2) feet, more or less, to a point opposite the center of the westerly wall of the premises hereby conveyed and to land formerly of John Mussey, now or formerly of Hannaford Bros. Co., said point being about one hundred six and fifty-three hundredths (106.53) feet southwesterly from Union Street; thence running northwesterly through the center of said wall, ninety-three (93) feet, more or less, to the passageway in the rear of said stores; thence northeasterly by said passageway, fifty-one and one-half (51-1/2) feet, more or less, to a point opposite the center of the partition wall first herein mentioned; thence southeasterly through the center of said wall to said Commercial Street at the point of beginning; hereby conveying the stores formerly 163-165 and now numbered 245-247 on said Commercial Street, together with a right in common in said passageway twenty-five (25) feet wide, more or less, extending southwesterly from said Union Street in the rear of the herein conveyed premises.

For reference to the title of 245 Commercial Street Partners as to Parcel Two, see a deed recorded in said Registry in Book 6700, Page 17.

The foregoing Parcel One and Parcel Two are conveyed together with the benefit of the easement, covenants and restrictions, as the "Benefited Property," as more specifically set forth in the Indenture of Negative Easement dated March 4, 1985, recorded in said Registry in Book 6957, Page 207.

The premises are conveyed subject to and with the benefits of any common law "party wall rights" of the easterly abutter.

Received
Recorded Register of Deeds
Jan 31, 2008 11:31:21A
Cumberland County
Pamela E. Lovley

**CORRECTIVE AND CONFIRMATORY
QUITCLAIM DEED WITHOUT COVENANT**

KNOW ALL BY THESE PRESENTS That **MAINE EMPLOYERS'**

MUTUAL INSURANCE COMPANY, a Maine corporation, with a mailing address of P.O. Box 11409, Portland, Maine, 04104 ("Grantor"), for consideration paid, release to **CASCO VIEW HOLDINGS, LLC**, a Maine limited liability company, with a mailing address of P.O. Box 11409, Portland, Maine ("Grantee"), the real property in the City of Portland, in the County of Cumberland and State of Maine, and more particularly described in **Exhibit A** attached hereto and made a part hereof. The purpose of this deed is to correct and confirm that the conveyance from Grantor to Grantee in deed dated January 4, 2010 and recorded in the Cumberland County Registry of Deeds includes the appurtenant easement in the Easement Agreement by and between Grantor and Dictar Associates II dated March 4, 2008 and recorded in said Registry in Book 25894, Page 274.

IN WITNESS WHEREOF the said Maine Employers' Mutual Insurance Company has caused this deed to be signed and sealed in its corporation name by

Daniel J. McGarvey, its SVP, CFO & Treasurer, on March 1, 2011.

**MAINE EMPLOYERS' MUTUAL
INSURANCE COMPANY**

By: Daniel J. McGarvey

Its: SVP, CFO & Treasurer

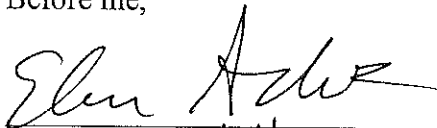
Printed Name: Daniel J. McGarvey

STATE OF MAINE
COUNTY OF CUMBERLAND, SS.

On March 1, 2011, personally appeared the above-named

Daniel J. McGarray, its SVP, CFO & Treasurer of MAINE
EMPLOYERS' MUTUAL INSURANCE COMPANY, and acknowledged the
foregoing to be his/her free act and deed in his/her said capacity and the free act and deed
of said corporation.

Before me,



Notary Public Attorney at law

Printed Name: Eben Adams

EXHIBIT A

Parcel One:

A certain lot or parcel of land, together with all buildings and improvements thereon and rights appurtenant thereto, situated in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at a point on the north side of Commercial Street, said point being located ninety-two and seventy-eight hundredths (92.78) feet from the intersection formed by the easterly sideline of Cross Street and the northerly sideline of Commercial Street;

Thence N 34° 14' 37" W and maintaining a distance of two (2) feet, more or less, from the southwesterly face of the building on the within described parcel, for a distance of ninety-eight and sixty-six hundredths (98.66) feet to a point on the southerly border of land sold by Hannaford Bros. Co. to Buckfield Packing Co. and now or formerly of Dictar Associates II;

Thence N 49° 22' 11" E and parallel to the northwesterly face of said building on the within described premises for a distance of forty-five and eighty-nine hundredths (45.89) feet to land formerly of Samuel B. Weisman, et al., now of 245 Commercial Street Partners, LLP, adjoining this lot on the east;

Thence S 34° 27' 24" E along said land of 245 Commercial Street Partners, LLP for a distance of ninety-three and thirty-seven (93.37) feet, more or less, to the northerly sideline of Commercial Street;

Thence S 43° 37' 49" W along Commercial Street for a distance of forty-seven and twelve hundredths (47.12) feet to the point of beginning.

Also conveying a right of way, in common with others who may enjoy similar rights, across a certain passageway running southwesterly from Union Street to the above described premises and adjoining the southeasterly side of those premises described in a deed from W. Spencer, Inc. to Dictar Associates II dated May 19, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6173, Page 115.

Also conveying a perpetual easement across land now or formerly of Dictar Associates II and leased by Harbor Plaza Associates located along the northerly and westerly boundary lines of the above-described premises as reasonably required for repair and maintenance of the above-described building; provided, however, that Grantee shall promptly repair any damage caused to said land now or formerly of Dictar Associates II, and of Harbor Plaza Associates, as ground lessee thereof, in the exercise of said easement rights and shall indemnify Dictar Associates II, or its successors or assigns, and of Harbor Plaza Associates, as ground lessee thereof, for any losses sustained in the exercise of said rights.

Parcel Two:

A certain lot or parcel of land, with the buildings thereon, situated on the northwesterly side of Commercial Street in the City of Portland, County of Cumberland and State of

Maine, bounded and described as follows:

Beginning on said northwesterly side of Commercial Street at the southwesterly corner of the store, formerly owned by William McGilvery, said point being fifty-five (55) feet southwesterly from the corner of Union Street and opposite the center of the partition wall between said McGilvery store and the premises herein conveyed;

Thence southwesterly by said Commercial Street, fifty-one and one-half (51 1/2) feet, more or less, to a point opposite the center of the westerly wall of the premises hereby conveyed and to land formerly of John Mussey, later of Hannaford Bros. Co. and now of 245 Commercial Street Partners, LLP, said point being about one hundred six and fifty-three hundredths (106.53) feet southwesterly from Union Street;

Thence running northwesterly through the center of said wall, ninety-three (93) feet, more or less, to the passageway in the rear of said stores;

Thence northeasterly by said passageway, fifty-one and one-half (51 1/2) feet, more or less, to a point opposite the center of the partition wall first herein mentioned;

Thence southeasterly through the center of said wall to said Commercial Street at the point of beginning.

Hereby conveying the stores formerly 163-165 and now numbered 245-247 on said Commercial Street, together with a right in common in said passageway twenty-five (25) feet wide, more or less, extending southwesterly from said Union Street in the rear of the herein conveyed premises.

The above two parcels are conveyed together with the benefit of the rights and easements set forth in an Indenture of Negative Easement from Dictar Associates II and Harbor Plaza Associates to 245 Commercial Street Partners dated March 4, 1985 and recorded in the Cumberland County Registry of Deeds in Book 6957, Page 207.

The above two parcels are conveyed subject to and together with the benefits of any common law "party wall rights" of the easterly abutter.

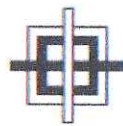
Being the same premises conveyed to Grantor in a deed from 245 Commercial Street Partners, LLP and recorded in the Cumberland County Registry of Deeds in Book 25784, Page 133.

Parcel Three:

Together with and subject to the rights, easements and obligations set forth in the Easement Agreement by and between Grantor and Dictar Associates II dated March 4, 2008 and recorded in said Registry in Book 25894, Page 274.

Received
Recorded Register of Deeds
Mar 01, 2011 04:20:38P
Cumberland County
Pamela E. Lovley

PRODUCT DATA



Grant Hays Associates, Inc.
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900

CASCO VIEW HOLDINGS LLC
PLANT PALETTE

SHRUBS



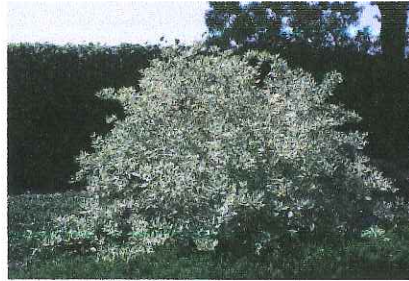
©2010 Horticipia, Inc.
Aronia melanocarpa 'Autumn Magic'



©2010 Horticipia, Inc.
Aronia melanocarpa 'Autumn Magic'



©2010 Horticipia, Inc.
Cornus alba 'Bailhalo (Ivory Halo®)'



©2010 Horticipia, Inc.
Cornus stolonifera 'Silver and Gold'



Oso Easy Rose 'Paprika'

CASCO VIEW HOLDINGS LLC
PLANT PALETTE

PERENNIALS



Cimicifuga simplex 'Hillside Black Beauty'



Polygonatum commutatum
Giant Solomon's Seal



©2010 Hortycopia, Inc.
Astilbe x arendsii 'Bridal Veil
(Brautschleir)'



©2010 Hortycopia, Inc.
Geranium macrorrhizum 'Bevan's
Variety'



Hemerocallis
Berti Feris Daylily



©2010 Hortycopia, Inc.
Nepeta subsessilis
Japanese Catmint



Oenothera Tetragona 'Fireworks'
Sundrops



Veronica spicata 'Royal Candles'
Dwarf Purple Speedwell

ALED™

LED AREA LIGHTS



SPECIFICATIONS

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

Finish:

Bronze chip and fade resistant polyester powder coat finish.

LED Light Engine:

Multi-chip 10 and 13W high-output, long-life LED.

10W Driver: Constant Current, Class 2, 100V-240V, 50/60 Hz, 1kv Surge Protection, 350mA, 0.3 Amps., Power Factor: 57.1%

13W Driver: Constant Current, Class 2, 100V-277V, 50/60 Hz, 4kv Surge Protection, 720mA, 100-240VAC: 0.3-0.15 Amps 277VAC: 0.15 Amps., THD ≤ 20% Power Factor: 97.5%

20W Driver: Constant Current, Class 2, 100V-277V, 50/60 Hz, 4kv Surge Protection, 1000mA, 100-240VAC: 0.5 Amps 277VAC: 0.125 Amps., THD ≤ 10% Power Factor: 98.4%

26W Driver: Constant Current, Class 2, 100V-277V, 50/60 Hz, 6kv Surge Protection, 720mA, 100-277VAC: 4 Amps., THD ≤ 20%, Power Factor: 99.2%

ALED52: Two 26W drivers. See 26W Driver for details.

ALED78: Three 26W drivers. See 26W Driver for details.

California Title 24: ALED complies with California Title 24 building and electrical codes.

Heatsink:

Die-cast aluminum thermal management system for optimal heat dissipation.

Cold Weather Starting:

The minimum starting temperature is -40°C (40°F).

Green Technology:

ALEDs are Mercury and UV free, and are RoHS compliant.

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 50,000 hours of operation.

Gaskets:

High temperature silicone.

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved all ALED products as full cutoff, fully shielded luminaires except for the ALED52 Standard (15°).

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows ANSI Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Color Stability:

RAB LEDs exceed industry standards for chromatic stability.

Ambient Temperature:

ALED10, 26, 52 & 78: Suitable for use in 40°C (104°F) ambient temperatures.
ALED13 & ALED20: Suitable for use in 50°C (122°F) ambient temperatures.

Patents:

The ALED is protected by U.S. patent and patents pending in U.S., Canada, China, Taiwan and Mexico.

Round Pole Adapter:

ALED 10, 13, 20 & 26W
Catalog#: RPA3L; RPA3.5L; RPA4L; RPA5L; RPA6L
ALED 52 & 78W
Catalog#: RPA3; RPA3.5; RPA4; RPA5 & RPA6

Pole Size for each Adapter:

RPA3; RPA3L = 3" Diameter Round Pole
RPA3.5; RPA3.5L = 3.5" Diameter Round Pole
RPA4; RPA4L = 4" Diameter Round Pole
RPA5; RPA5L = 5" Diameter Round Pole
RPA6; RPA6L = 6" Diameter Round Pole

Affordable, Energy-Saving, LED Area Lights

PERFORMANCE COMPARISON

						
	ALED10	ALED13	ALED20	ALED26	ALED52	ALED78
Delivered Lumens	547	1064	1401	1816	3429	4959
Equivalent MH Area Light	35 Watts	50 Watts	50 Watts	70 Watts	150 Watts	250 Watts
Replacement Range	30-50W	35-70W	35-70W	42-100W	175-275W	200-400W
Weight	3.2 LB	3.3 LB	5.1 LB	6.5 LB	16.45 LB	32 LB
EPA	≤ 20%	≤ 20%	≤ 20%	≤ 20%	≤ 20%	≤ 20%

Pole Configuration: For Pole Configurations, go to www.rabweb.com.

SPECIFICATION-GRADE OPTICS (ALED78)

Type II: The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. Meant for lighting larger areas and usually located near the roadside, this type of lighting is commonly found on smaller side streets or jogging paths.

Type III: The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Type IV: The Type IV distribution (also known as a "Forward Throw") is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

For assistance in choosing the distribution to match your application, please contact RAB Application Engineering by emailing applications@rabweb.com or calling 888 722-1000.

CATALOG NUMBERS

Catalog Number	LED Watts	Input Watts	Color Temp	BUG Rating B U G	Color Accuracy	Lumen Output	Lumens per Watt	Mounting Height	Voltage
ALED10	10	13.2	Cool	0 0 0	92CRI	547	41	10-15'	100-240V
ALED13	13	14.9	Cool	1 0 0	66CRI	1064	71	10-20'	100-277V
ALED20	20	21.7	Cool	1 0 0	70CRI	1401	65	10-25'	100-277V
ALED26	26	30	Cool	0 1 0	66CRI	1816	61	15-25'	100-277V
ALED52	52	60	Cool	0 1 1	67CRI	3429	57	20-35'	100-277V
ALEDC52	52	60	Cool	0 1 1	67CRI	3434	57	20-35'	100-277V
ALEDFC52	52	60	Cool	0 1 1	67CRI	3435	57	20-35'	100-277V
ALED2T78	78	90	Cool	1 0 1	68CRI	4959	58	20-35'	100-277V
ALED3T78	78	91	Cool	1 0 1	68CRI	4959	55	20-35'	100-277V
ALED4T78	78	91	Cool	1 0 2	68CRI	5456	60	20-35'	100-277V

For Neutral White Light - add "N" to Catalog Number (Example: ALED26N) for all wattages except ALED10.

For Warm Light - add "Y" to Catalog Number (Example: ALED26Y).

BUY WITH CONFIDENCE



Fully Shielded
Full Cutoff Optics



For use on LEED
buildings to attain
Light Pollution
Reduction Credit

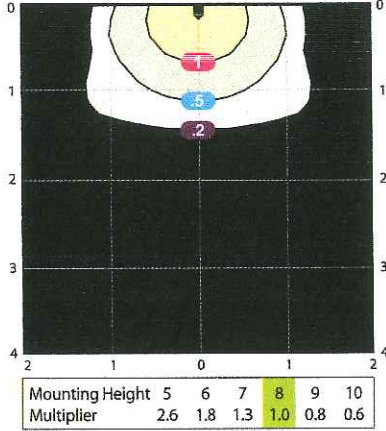


Photometrics

Layout grid represents Multiples of Mounting Height. Values shown in Footcandles.

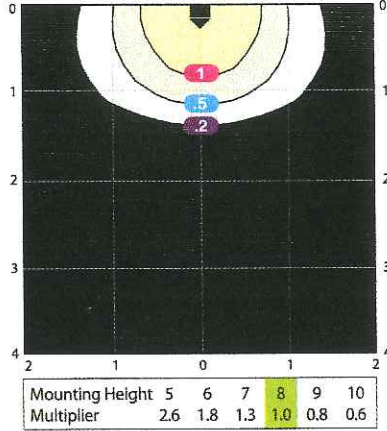
WPLED5

5W LED Square Fixture at 8' Mounting Height



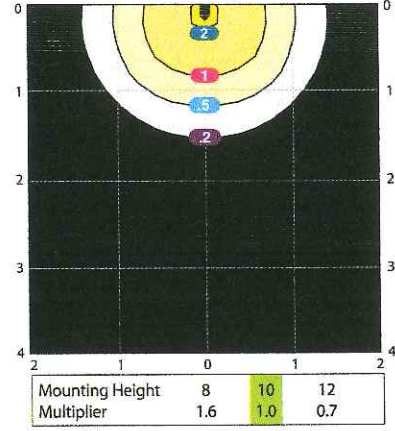
WPLEDR5

5W LED Round Fixture at 8' Mounting Height



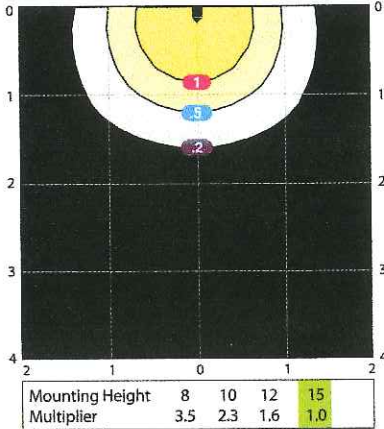
WPLED10

10W LED at 10' Mounting Height



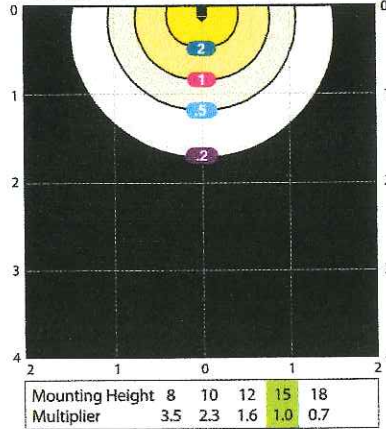
WPLED13

13W LED at 15' Mounting Height



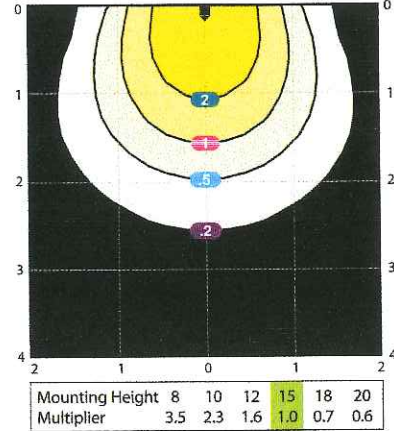
WPLED20

20W LED at 15' Mounting Height



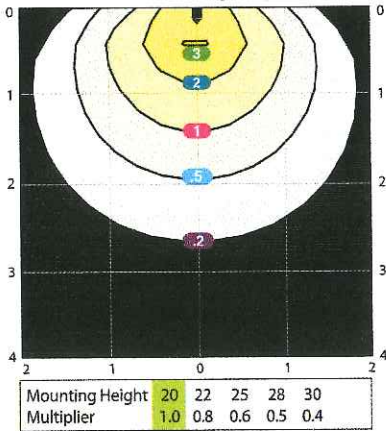
WPLED26

26W LED at 15' Mounting Height



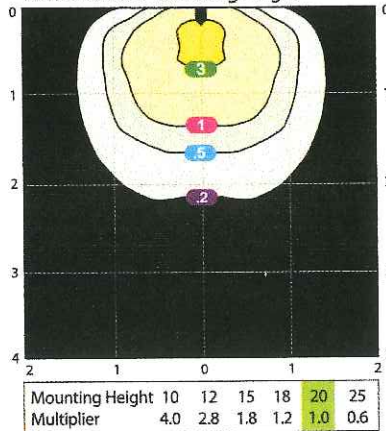
WPLED52

52W LED at 20' Mounting Height



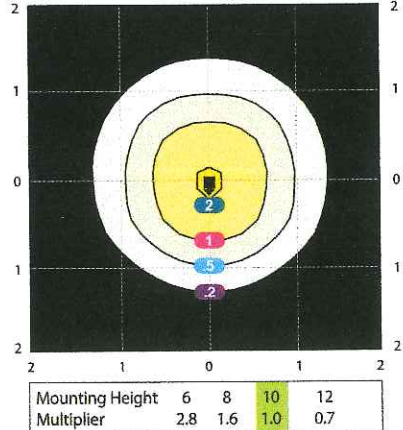
WPLED4T78 (Type IV)

78W LED at 20' Mounting Height



ALED10

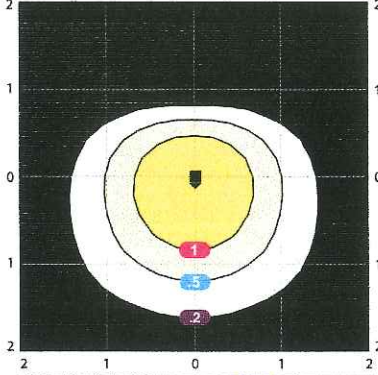
10W LED at 10' Mounting Height



Values shown are for cool light only. For neutral and warm IES Photometric files, visit www.rabweb.com.
 Search for the product and click "IESFile".

ALED13

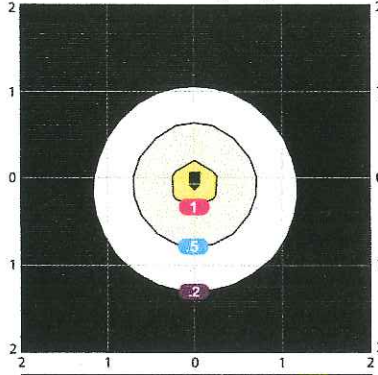
13W LED at 15' Mounting Height



Mounting Height	10	12	15	18	20
Multiplier	2.3	1.6	1.0	0.7	0.6

ALED20

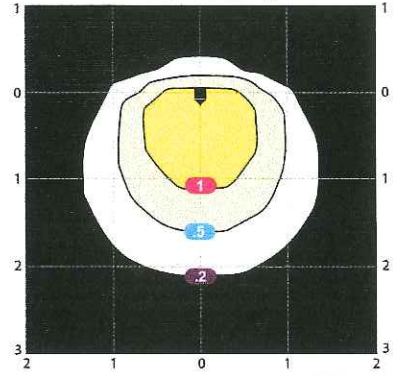
20W LED at 20' Mounting Height



Mounting Height	10	12	15	18	20	25
Multiplier	4.0	2.8	1.8	1.2	1.0	0.6

ALED26

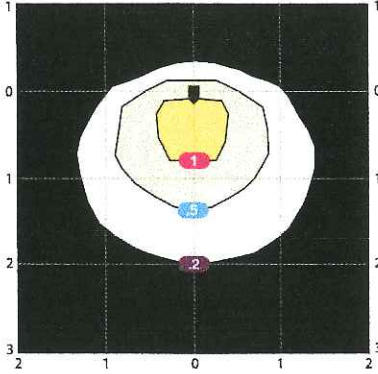
26W LED at 20' Mounting Height



Mounting Height	10	12	15	18	20	25
Multiplier	4.0	2.8	1.8	1.2	1.0	0.6

ALED52

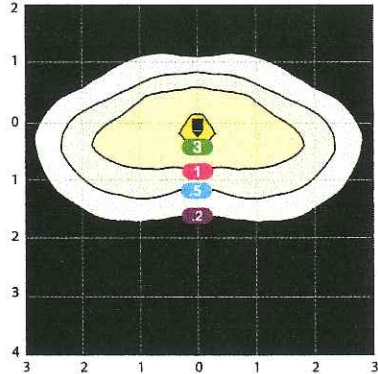
52W LED at 30' Mounting Height



Mounting Height	20	22	25	28	30	35
Multiplier	2.3	1.9	1.4	1.2	1.0	0.8

ALED2T78 (Type II)

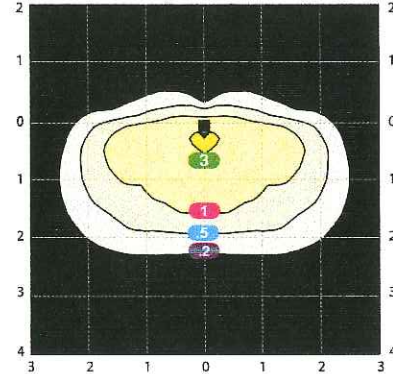
78W LED at 20' Mounting Height



Mounting Height	10	12	15	18	20	25
Multiplier	4.0	2.8	1.8	1.2	1.0	0.6

ALED3T78 (Type III)

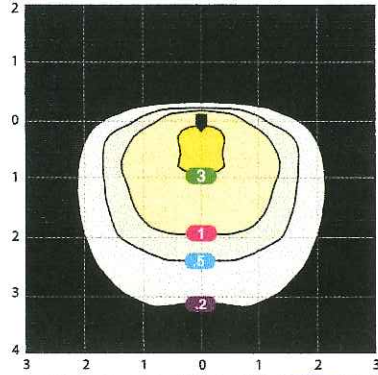
78W LED at 20' Mounting Height



Mounting Height	10	12	15	18	20	25
Multiplier	4.0	2.8	1.8	1.2	1.0	0.6

ALED4T78 (Type IV)

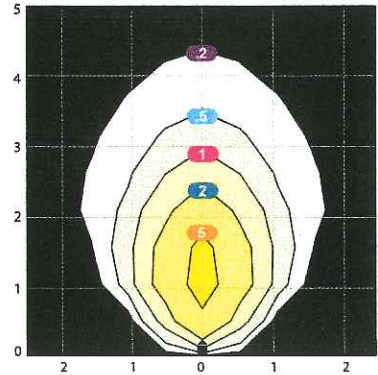
78W LED at 20' Mounting Height



Mounting Height	10	12	15	18	20	25
Multiplier	4.0	2.8	1.8	1.2	1.0	0.6

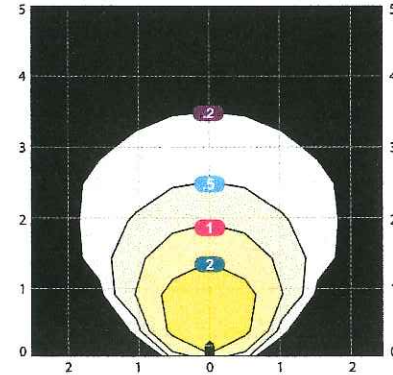
HBLED10 (Spot)

10W LED at 5' Setback - 60° Above Horizon



HBLED10 (Flood)

10W LED at 5' Setback - 60° Above Horizon



City of Portland
 Development Review Application
 Planning Division Transmittal form

Application Number: 2012-497 **Application Date:** 5/8/2012 12:00:00 AM
CBL: 38-F-8
Project Name: Generator Building
Address: 245 Commercial Street

Project Description: 14' x 32'-8" new single story emergency generator building
Zoning:
Other Reviews Required:
Review Type: Administrative Authorization

Distribution List:

<input type="checkbox"/> Planner		<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Senus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later):



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: MEMIC, Check Number: 72569

Tender Amount: 50.00

Receipt Header:

Cashier Id: jyeaton

Receipt Date: 5/8/2012

Receipt Number: 43717

Receipt Details:

Referance ID:	1612	Fee Type:	PEZ-ADAUTH
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Project ID: 2012-497 - 261 Commercial Street			
Additional Comments: 261 Commercial St.			

Thank You for your Payment!

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION COMMISSION
SUBMISSION FOR

**NEW EMERGENCY
GENERATOR
BUILDING**

261 COMMERCIAL STREET

PREPARED BY:


Grant Hays Associates, Inc.
ARCHITECTURE & INTERIOR DESIGN

MAY 4, 2012

GRANT HAYS ASSOCIATES

ARCHITECTURE # INTERIOR DESIGN

May 4, 2012

Ms. Deborah G. Andrews, Manager
City of Portland Historic Preservation Program
Department of Planning & Urban Development
389 Congress Street
Portland, Maine 04101

Re: New Emergency Generator Building
261 Commercial Street, Portland

Dear Ms. Andrews,

On behalf of my client, MEMIC, please accept our application for consideration with regard to above referenced project. We have attached 15 copies of our proposal to build a new emergency generator building, as requested in the application requirements.

The proposed new building will be sited at the westerly edge of the existing 261 Commercial Street parking area mulch bed, abutting the existing five-story building at 245 Commercial Street. MEMIC owns both properties under subsidiary LLC's. The proposed new generator building will house a 450KW diesel generator, electrical transfer switch, and related electrical/mechanical equipment. Two existing light poles will be replaced, and one Linden tree will be removed. The Owner proposes to relocate an existing pad-mounted HVAC condensing unit to the roof of 245 Commercial Street (adjacent to existing roof-mounted HVAC units). The existing electrical transformer and switchgear in the mulch bed area will remain in their present location.

Attached are supporting documents depicting the existing site conditions, our proposed new building concepts, descriptions of the exterior materials, as well as data regarding mechanical items which will be exposed to view on the exterior of the building. We have also included product cuts of the proposed light fixtures, along with photometric data.

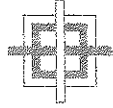
We hope you find the information presented in this application suitable for review, and look forward to discussing the merits of this project with the Historic Preservation Commission on May 16th. Please do not hesitate to contact me directly if I may be of assistance with any questions or comments that may arise.

Respectfully,

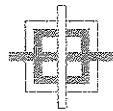


Michael F. Hays, Principal

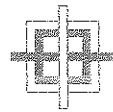
CONTENTS



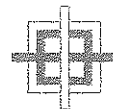
INTRODUCTION



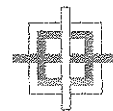
PHOTOS OF EXISTING CONDITIONS



PROPOSED BUILDING



PRODUCT DATA



INTRODUCTION



Grant Hays Associates, Inc
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900

INTRODUCTION

In March 2011 MEMIC made a long-term commitment to the City of Portland by purchasing the property located at 261 Commercial Street. MEMIC was involved in a long-term lease on the property since 1993 and ultimately negotiated a purchase agreement with the owners, thus allowing MEMIC to secure its home on the Portland peninsula. The operations at 261 Commercial serves as the primary operations center for all of MEMIC, which necessitates the need to keep the facility operational 24 hours per day and 365 days per year. Even during holidays the MEMIC computer systems continue to process information, perform critical systems back-ups, and provide continuous information to our customers and agents.

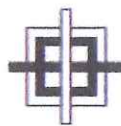
Over the past several years MEMIC has experienced numerous electrical service interruptions resulting in the shutdown of our operations. Some of the interruptions were only momentary, however several of them shut down all of MEMIC for hours at a time. Long duration outages directly affect our customers and agents who need to utilize our systems to run their own operations. Outages also directly affect claimants who receive their benefits from our systems, as well as safety personnel who use our systems to perform their daily duties. All outages create major problems for our operations and for all of our customers and have a very negative effect on the integrity of the MEMIC worker compensation system. The need for an emergency power generator has become a critical priority.

In evaluating the scope of work for the generator project all potential options were analyzed to determine the best possible solution. In order for MEMIC to function effectively during a utility power outage and to support all of its customers and agents all departments need to be fully operational. This criterion helped dictate the size of the generator that will allow full operational capability for MEMIC. The resulting package is a 450KW generator, large enough to support all MEMIC operations in the event of a utility power outage.

The real estate for the location of the generator project is owned by MEMIC, through Casco View Holdings, LLC and Casco View Holdings II, LLC, both wholly owned subsidiaries of MEMIC. The entire site was evaluated to determine what options exist for the placement of the generator. Security of the generator is a necessary priority and a secure building was chosen as the best solution to house the unit and associated electrical equipment. An attached building, versus a stand-alone building, would also enhance the design solution by minimizing security risks as well as blind spots, to help mitigate vandalism and transient activity. The MEMIC building roof was evaluated as a potential location, however major structural design changes to the building would be required that would directly impact MEMIC operations on multiple floors. Placing the generator on the roof would also prevent MEMIC from adding additional floors to the building for any future expansion. Significant consideration was also given to historical impact of the project and the overall look of the building and the design options reflects those concerns. In an effort to minimize the overall impact to the entire plaza, and giving due consideration to historical impact and other the complexities involved, the land alongside 245 Commercial was selected as the best location that could support the footprint for the building, generator and all associated equipment, without compromising future development of the remainder of the parcel.

The proposed generator design package would include a 450KW diesel generator with a fuel tank of approximately 950 gallons. The generator would utilize ultra-low sulfur diesel as the standard fuel source and due to the sensitive coastal location. The 950 gallon supply tank will hold approximately 36 hours supply for a full load condition at MEMIC, which will allow refueling on a daily basis as needed. The unit also includes an EPA certified diesel engine exhaust design with a super critical exhaust muffler that cuts the projected noise levels to approximately 75 dB. Regular monthly testing of the generator would also be done during standard weekday business hours to minimize the noise impact to abutting businesses and neighbors. Overall, the best available technology has been utilized in the generator design package to achieve minimal impact to the business district, historical architecture, and coastal concerns at the location.

PHOTOS OF EXISTING CONDITIONS



Grant Hays Associates, Inc
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900

INDEX OF PHOTOS

- P1 COMMERCIAL STREET VIEW OF 261 (LEFT) AND 245 (RIGHT) PARCELS

- P2 VIEW OF PROPOSED EMERGENCY GENERATOR BUILDING LOCATION FROM THE CORNER OF CROSS STREET AND COMMERCIAL STREET – SPRING CONDITIONS

- P3 SAME VIEW AS P2 – WINTER CONDITIONS

- P4 SAME VIEW AS P2 – SUMMER CONDITIONS

- P5 EXISTING MAILBOXES AT MULCH BED / SIDEWALK

- P6 EXISTING TRANSFORMER & SWITCHGEAR AT NORTHERN END OF MULCH BED

- P7 VIEW OF THE TRANSFORMER, SWITCHGEAR, AND THE REAR ALLEY AT 245 COMMERCIAL STREET

- P8 VIEW OF THE PROPOSED GENERATOR BUILDING LOCATION

- P9 VIEW OF REMOVAL ITEMS – HVAC CONDENSING UNIT, DAMAGED LIGHT POLE, AND LINDEN TREE

- P10 FENESTRATION ELEMENTS AND BRICK CORBEL DETAIL AT 245 COMMERCIAL STREET

- P11 REPOINTED MASONRY AT 245 COMMERCIAL STREET



261-245 COMMERCIAL

P1



P2

CURRENT VIEW - CORNER OF CROSS/COMM.



WINTER VIEW - CORNER CROSS / COMM.



SUMMER VIEW - CROSS / COMM. CORNER



EXISTING MAILBOXES @ COMM. (SOUTH)

5d



EXISTING TRANSFORMERS (NORTH)



REAR OF 245 COMM (NORTH)

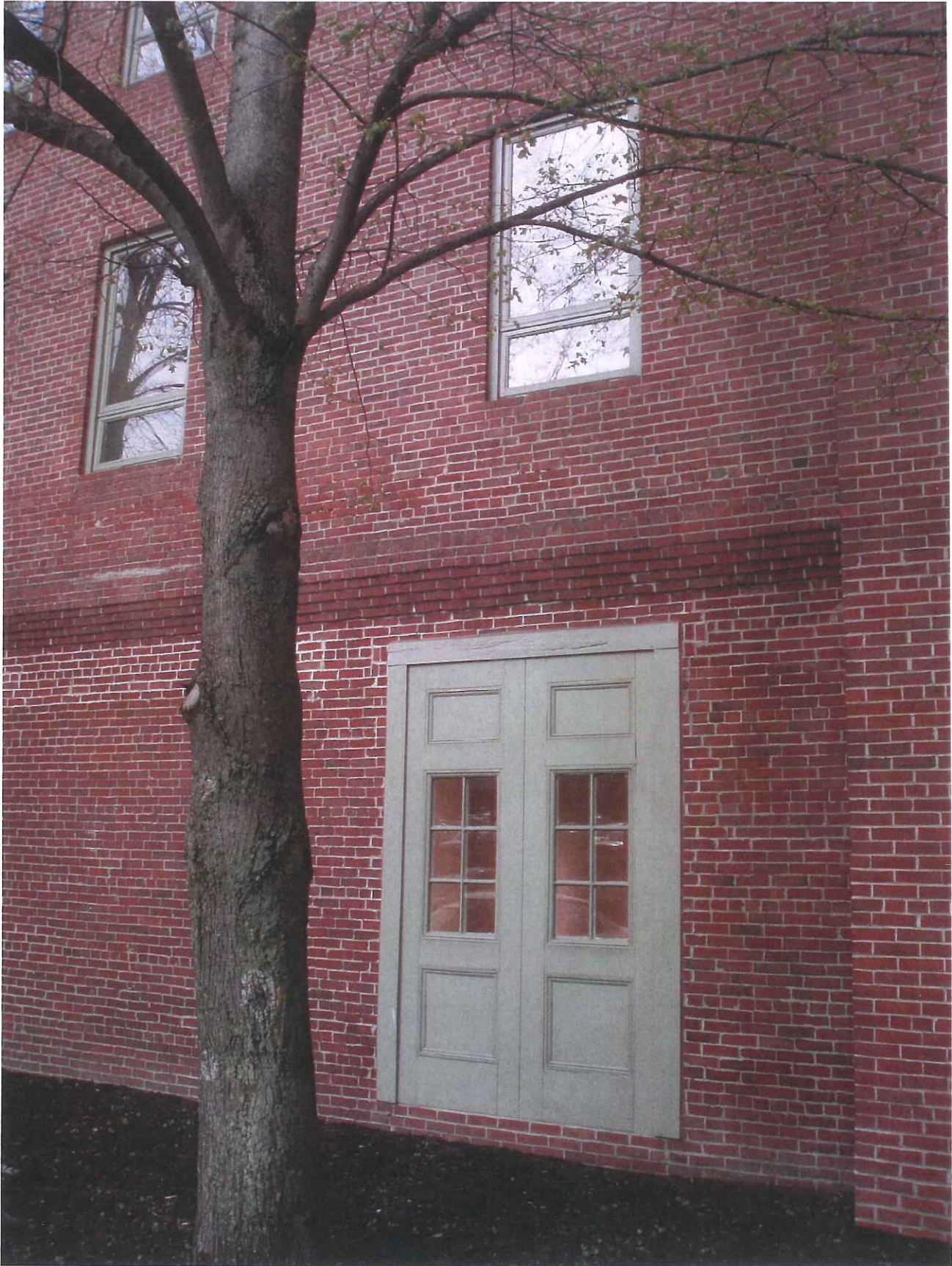


PROPOSED BUILDING LOCATION



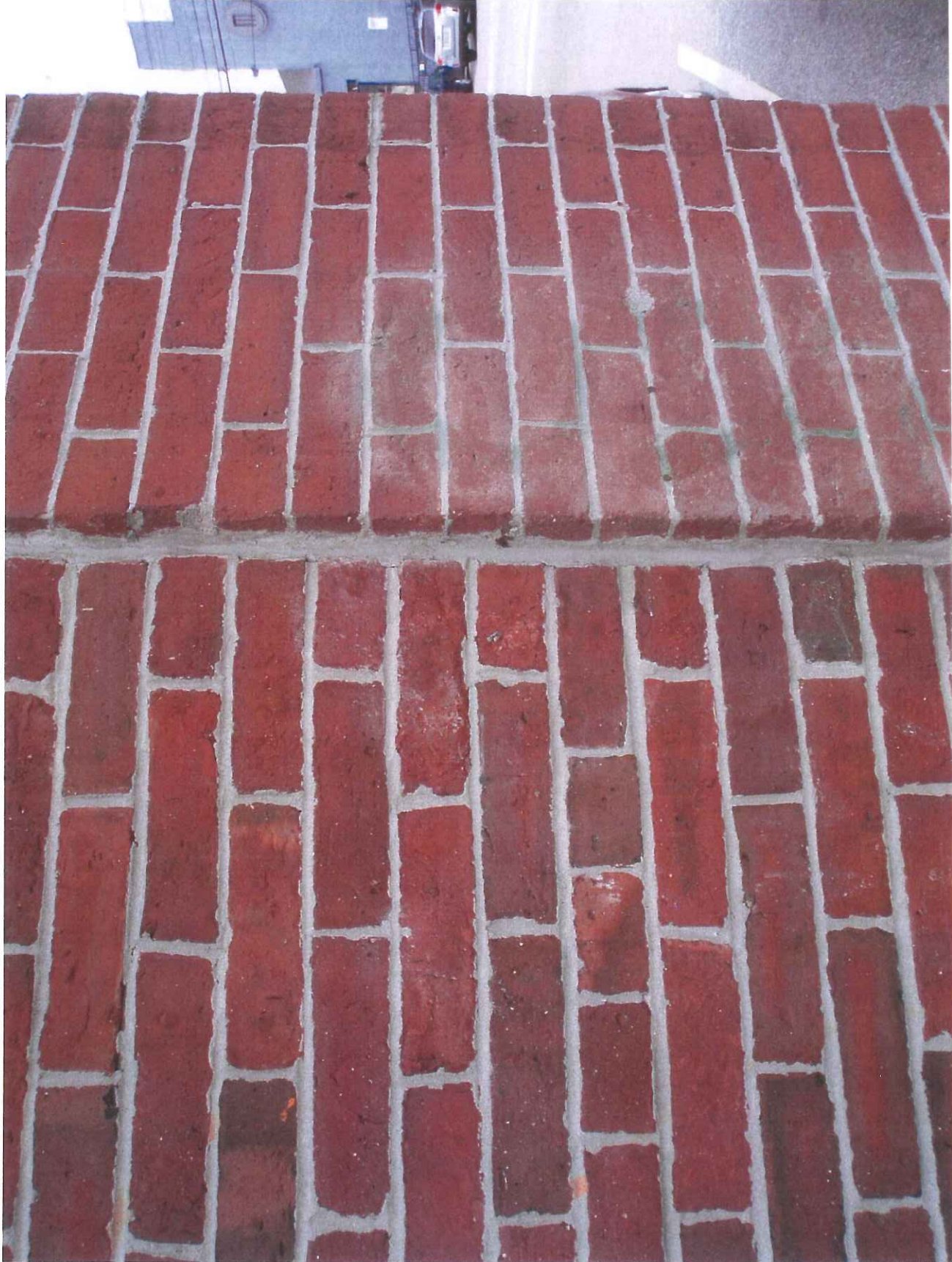
REMOVAL ELEMENTS

P9



245 COMM FENESTRATION

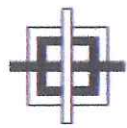
P10



P11

245 COMMERCIAL MASONRY

PROPOSED BUILDING



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PROPOSED BUILDING

The proposed ancillary emergency generator building is a single-story masonry veneer flat roof structure measuring 14'-0" deep by 32'-8" long. The location depicted on the site drawings (Survey & S-2) represents the best placement due to the size required to house the equipment, optimal access for fuel replenishment, and Owner access for operations and maintenance, as well as minimized impact on existing parking and development of the parcel for future structures. Additionally, the proposed location is a symmetrical placement between the two existing fenestration elements on the West façade of 245 Commercial Street. The proposed new building is structurally independent of the existing five story building, and is located approximately 33' back from the Commercial Street sidewalk. The proposed landscaping plan (L-1) depicts an effort to properly screen the new building, as well as the existing transformer and switchgear equipment with a mix of shrubs and flowering perennials appropriate for the climate and location.

The new structure's foundation will be constructed of 12" thick concrete frost walls with continuous spread footings below the frost line, and a 4" thick concrete slab suitably thickened and reinforced at the generator bearing points. The exterior walls will be constructed of 8" thick reinforced concrete masonry units, with brick veneer at the three elevations exposed to view. The roof will be constructed of steel framing members with metal decking. A parapet wall will be incorporated to hide view of rooftop equipment from grade. The building envelope will be insulated to meet IECC standards for semi-heated, non-occupied structures in the 6A exposure zone.

Exterior fenestration elements (A-1) are proposed in locations meeting egress requirements per IBC and NFPA Life Safety Codes, as well as the National Electric Code. Additionally, the proposed door location on the West façade facilitates compliance with the City's ordinance regarding expanses of exterior walls in excess of 30' in length. The incorporation of double doors allows MEMIC the room necessary to service the oversized equipment during its lifespan.

Concept "A" (A-2) depicts an attempt to pick up various exterior design elements at 245 Commercial Street within the proposed new generator building. The proposed masonry veneer corbel detail in this concept would align with the existing, wrapping the new structure on all three exposed facades. The proposed doors would be detailed to match the existing west façade faux doors, with non-view glazing elements. It should be noted the existing faux door closest to Commercial Street on the west façade of 245 has been overlaid with plywood at the interior finish. The proposed door colors would match the existing elements. The brick veneer at the new building would match 245 Commercial Street, which has been previously repaired and repointed by Haskell & Hall in previous years. The exterior lighting would be full cut-off gooseneck profile LED fixtures above the doors and the rear façade for security purposes. The exterior wall louver at the rear façade would be painted to match the brick color.

Concept "B" (A2.1) depicts a more utilitarian approach to the exterior appearance of the new generator building. A departure from incorporating details from 245 Commercial Street include the incorporation of a different brick, similar to Old Port Red by Lachance Brick, dark green painted flush metal doors, and more modern profiles of wall pack full cut-off LED light fixtures. The rear wall louver in this scheme would be mill-finished aluminum.

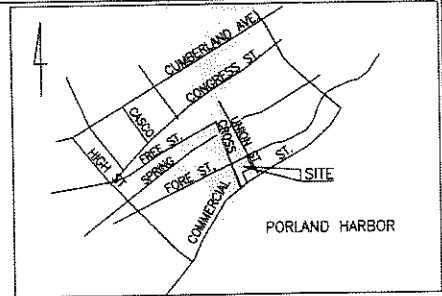
As previously indicated, the proposed new generator building will be structurally independent of 245 Commercial Street, yet abut the existing exterior wall and foundation (A-3). The existing building has a basement with a footing elevation approximately 6 feet below grade. The new building foundation footing abutting the existing wall will be excavated the same level or less, as necessary to protect the integrity of the existing building bearing conditions.

Roof-mounted equipment (A4) will consist of an access hatch (30" x 36"), and exhaust fan unit (18" x 18"), and an air intake hood (132" x 180"), as well as an internal roof drain. The roofing material will be black 60 mil adhered EPDM. The three-sided parapet wall will be finished with brick veneer at the exterior, dark bronze metal cap flashing at the top, and black EPDM flashing at the interior vertical surface. The parapet wall height is sufficient to hide the rooftop equipment from view at grade, and maintain views from the second floor windows above the new generator building at 245 Commercial Street.

The new emergency generator, fuel tank, transformer, and related panels (E-1) within the proposed building will be protected from freezing by an electric heater. The building will also have emergency lighting, exit lights, and a fire suppression system in accordance with NFPA requirements. An internal roof ladder leading up to the roof hatch will allow the Owner to maintain the rooftop equipment as well as facilitated annual maintenance inspections of the roofing and flashing components.

The anticipated timeline for construction is as follows:

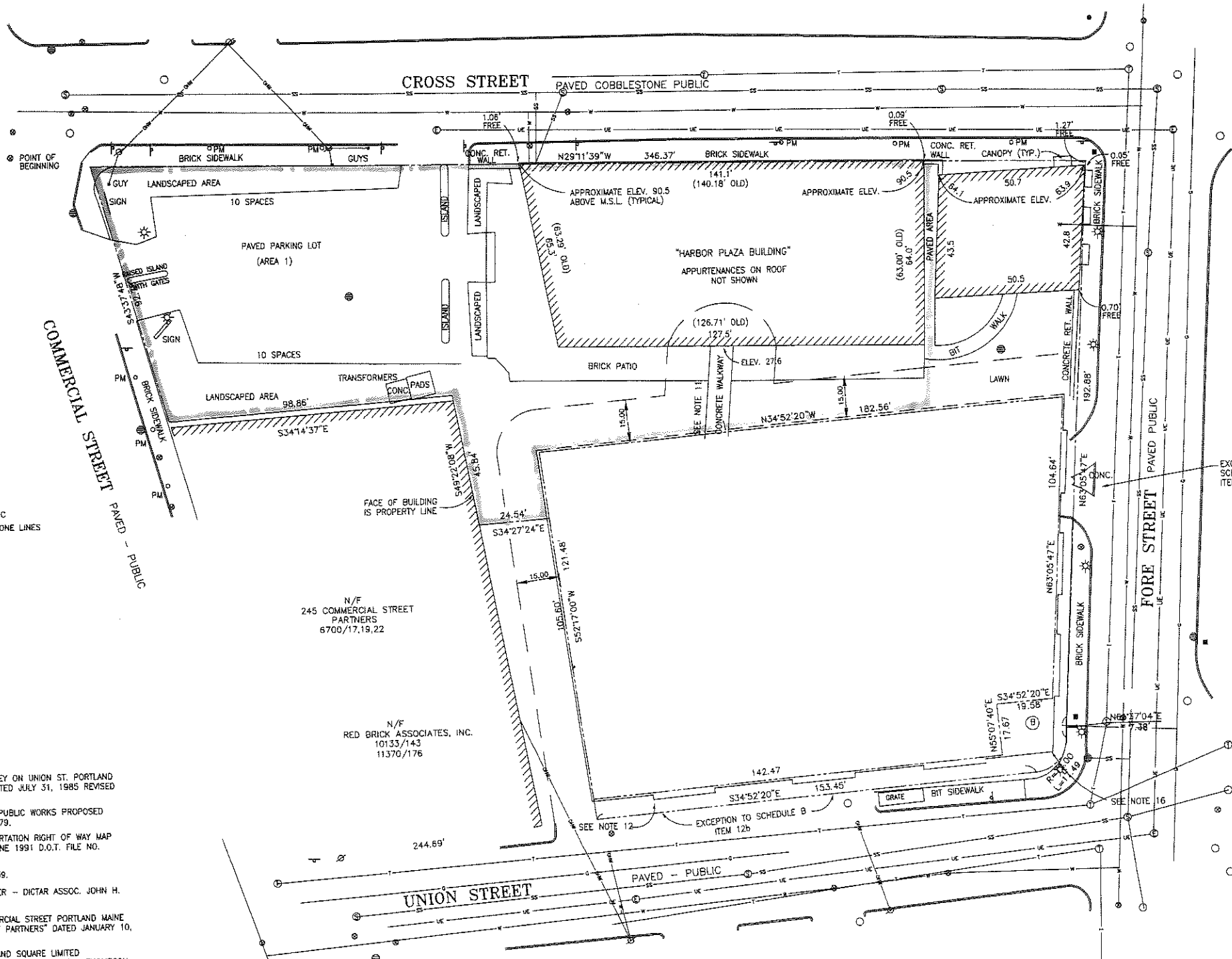
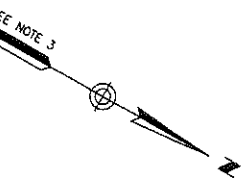
June 29, 2012	Secure City of Portland HPC approval and Administrative Authorization
July 31, 2012	Secure City of Portland Construction Permit
August 15, 2012	Commence construction
October 3, 2012	Install Generator (crane drop through the open roof structure)
November 3, 2012	Generator start-up & testing
November 9, 2012	Final Completion



LOCATION MAP N.T.S.

NOTES:

- OWNER OF RECORD: HARBOR PLAZA ASSOCIATES II E205/1
LEASSEE: FORE STREET REALTY, LLC
SUBLEASSEE: PORTLAND HARBOR HOTEL ASSOCIATES II
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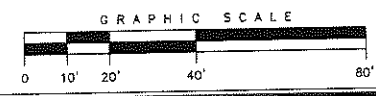


LEGEND

- IRON PIPE FOUND
- UTILITY POLE W/GUY
- LIGHT POLE
- HYDRANT
- WATER VALVE
- MANHOLE
- CATCH BASIN
- SIGN
- PARKING METER
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CERTIFICATION:

CERTIFICATION MADE TO: PORTLAND HARBOR HOTEL ASSOCIATES, LLC
PEOPLES HERITAGE BANK, N.A.
CLASSIC TITLE COMPANY
LAWYERS TITLE INSURANCE CORPORATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY 1 CONDITION 1 SURVEY WITH THE FOLLOWING EXCEPTIONS:

- NOT ALL CORNERS MARKED
- NO REPORT

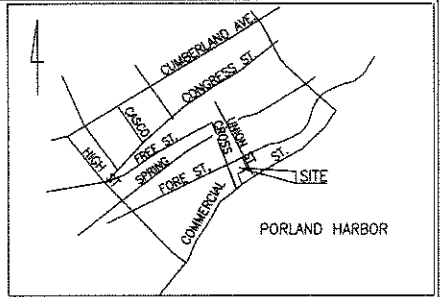
DATE _____

REV. 2 | 9-25-02 | BUILDING FEATURES ETC.
REV. 1 | 9-26-01 | MISC. CHANGES

**AS-BUILT
ALTA/ACSM LAND TITLE SURVEY**
ON
COMMERCIAL, CROSS, FORE AND UNION STREETS
PORTLAND, MAINE
MADE FOR
PORTLAND HARBOR HOTEL
ASSOCIATES, LLC

OWEN HASKELL, INC.
10 CASCO STREET, PORTLAND, ME 04101 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	WCS	Date	Job No.
Trace By	RWC	DECEMBER 23, 1996	98286P
Check By	WCS	Scale	Drwg. No.
Book No.	921	1" = 20'	1 OF 2



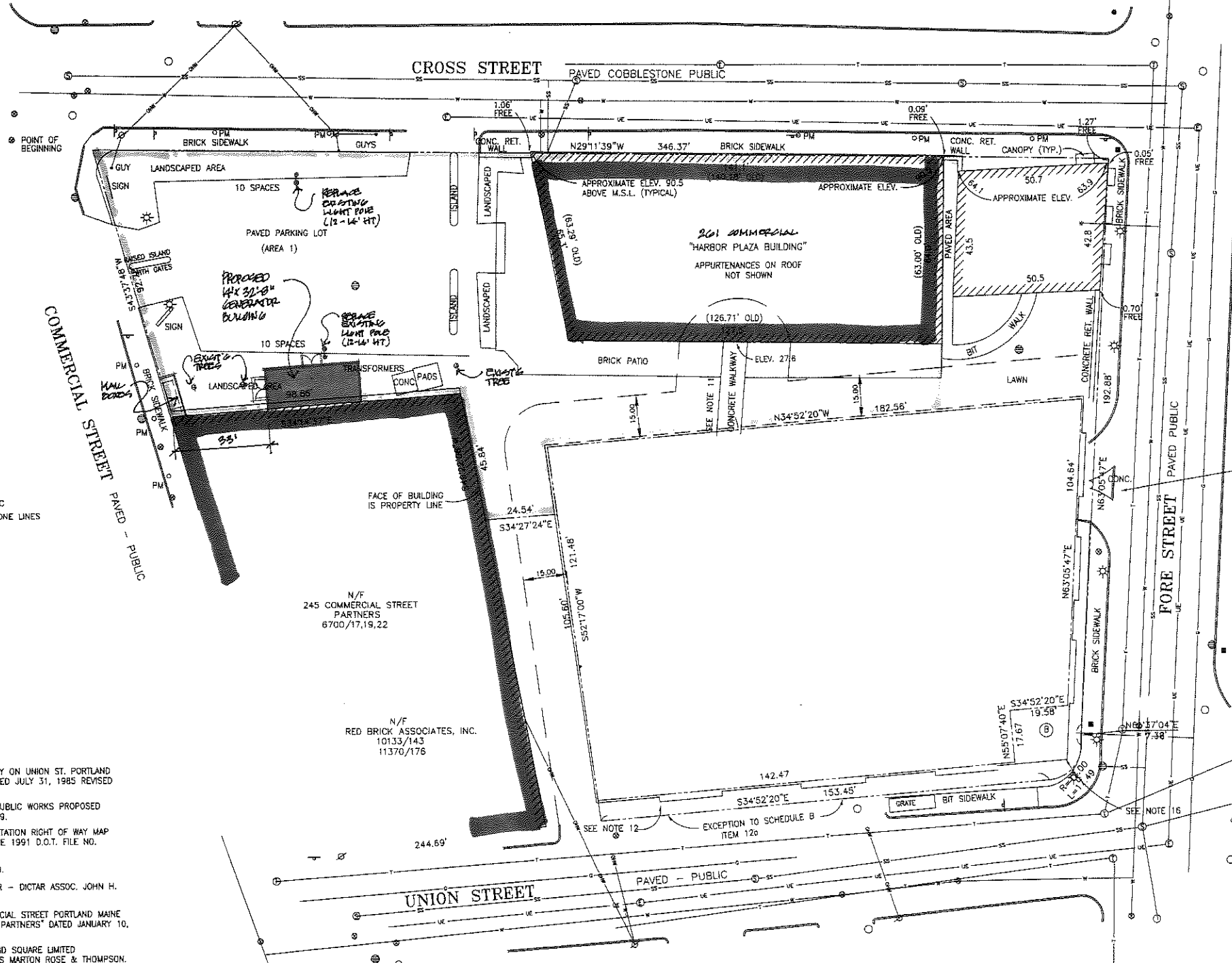
LOCATION MAP N.T.S.

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MIN WIDTH NONE
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EXCEPTION TO SCHEDULE B ITEM 12b

FORE STREET PAVED PUBLIC



LEGEND

- IRON PIPE FOUND
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- LIGHT POLE
- HYDRANT
- WATER VALVE
- MANHOLE
- CATCH BASIN
- SIGN
- FM PARKING METER
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4 MAY 12
52

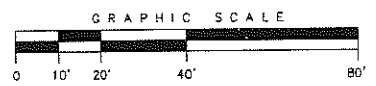
PROPOSED GENERATOR BUILDING SITE PLAN

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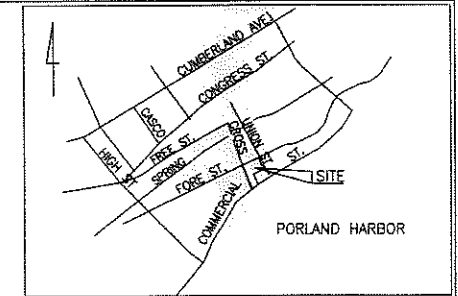
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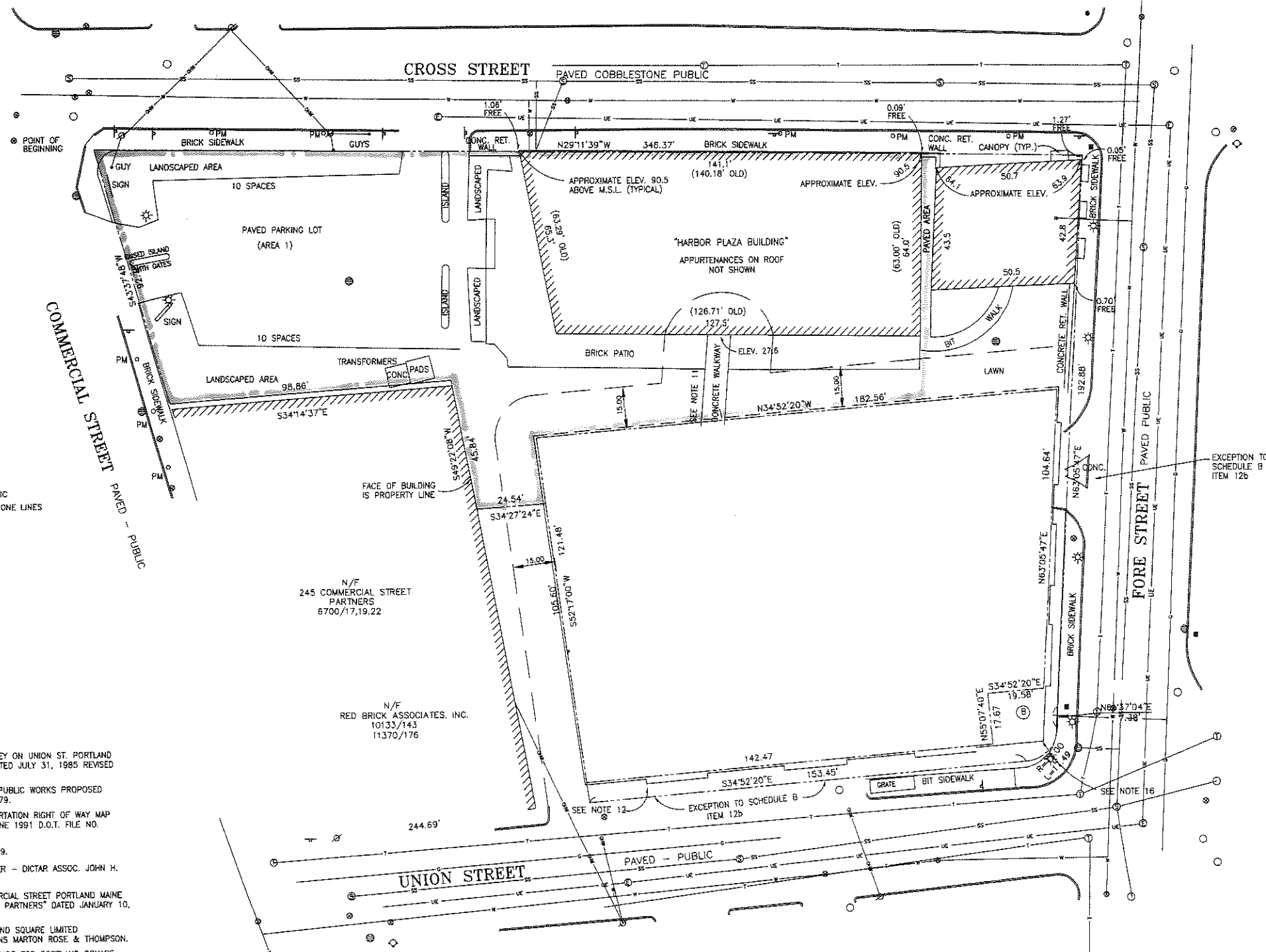
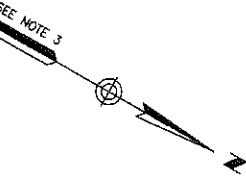
Grant Hays Associates, Inc.
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE, 04105 207.811.5900



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- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE COMMITMENT DATED AUGUST 08, 2001 LAWYER'S TITLE INSURANCE CORPORATION FILE NO. 908550A.
- ELEVATIONS SHOWN ARE REFERENCED TO MEAN SEA LEVEL.
- INFORMATION SHOWN IS BASED ON A LIMITED AMOUNT OF LOCATION (OUTER CORNERS OF BUILDING ALONG UNION AND FORE STREETS) ADDITIONAL LOCATION IS BASED ON DESIGN DRAWINGS AS RELATED TO THE FIELD LOCATION.
- THE BUILDING CORNERS AS LOCATED ARE BETWEEN 4.39 AND 4.56 FEET FROM THE SIDELINE OF UNION STREET WITH AN ADDITIONAL 2.0 FEET OF EAVES ETC.
- THE BUILDING CORNERS AS LOCATED ARE BETWEEN 2.74 AND 2.87 FEET FROM THE SIDELINE OF FORE STREET WITH AN ADDITIONAL 2.0 FEET OF EAVES ETC.
- THE LOCATION OF THE FACE OF THE BUILDING HAS BASED ON DESIGN PLANS, AN ADDITIONAL 2.0' OF EAVES/CORNICES AT ITS GREATEST EXTENSIONS.
- ELEVATIONS TAKEN 9-28-01. (B) DENOTES APPROXIMATE LOCATION
(A) BOTTOM FLOOR OF PARKING GARAGE - PROPOSED LOCATION OF ELEVATOR SHFT PILING EL=10.14
(C) STREET ENTRANCE FFE=22.25
(D) FIRST FLOOR OF HOTEL FFE=26.78
(E) COURT YARD (FLOOR ABOVE PARKING GARAGE) EL=35.25
- SEE SHEET 2 OF 2 FOR DIMENSIONS OF IMPROVEMENTS ETC.
- REFERENCE IS MADE TO DRAWINGS PROVIDED DURING CONSTRUCTION PHASE OF THIS PROJECT REVISION DATE 9-28-01.



- LEGEND**
- IRON PIPE FOUND
 - UTILITY POLE W/GUY
 - LIGHT POLE
 - HYDRANT
 - WATER VALVE
 - MANHOLE
 - CATCH BASIN
 - SIGN
 - PARKING METER
 - BIT
 - NOW OR FORMERLY
 - VOL./PG.
 - T.M./LOT
 - MONUMENT
 - CURB
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE LINES
 - SANITARY SEWER
 - WATER LINE
 - GAS LINES

PLAN REFERENCES:

- "PLAN OF LAND STANDARD BOUNDARY SURVEY ON UNION ST. PORTLAND MAINE FOR RAM MANAGEMENT COMPANY" DATED JULY 31, 1985 REVISED THRU 11-5-86 BY OWEN HASKELL, INC.
- CITY OF PORTLAND MAINE DEPARTMENT OF PUBLIC WORKS PROPOSED PARKING GARAGE SITE" DATED JUNE 18, 1979.
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- "PLAN OF LAND SHOWING 245-247 COMMERCIAL STREET PORTLAND MAINE RECORD OWNER: 245 COMMERCIAL STREET PARTNERS" DATED JANUARY 10, 1994 BY LAND USE CONSULTANTS.
- "STANDARD BOUNDARY SURVEY FOR PORTLAND SQUARE LIMITED PARTNERSHIP" DATED 10-22-87 BY STEVENS MARTON ROSE & THOMPSON.
- "PLAN OF PROPERTY IN PORTLAND MAINE MADE FOR PORTLAND SQUARE LIMITED PARTNERSHIP LAND TITLE SURVEY" DATED 15 NOV. 1989 REVISED THRU 24 MARCH 1995 BY HI & EC JORDAN AND OWEN HASKELL, INC.
- "ALTA/ACSM LAND TITLE SURVEY ON COMMERCIAL, CROSS, FORE AND UNION STREETS PORTLAND, MAINE FOR HARBOR PLAZA ASSOCIATES" DATED DEC. 23, 1996 REVISED THRU FEB 03, 1997 SHEETS 1 AND 2 OF 2 BY OWEN HASKELL, INC.

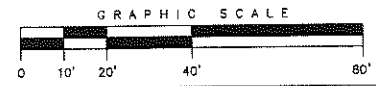
CERTIFICATION:

CERTIFICATION MADE TO: PORTLAND HARBOR HOTEL ASSOCIATES, LLC
PEOPLES HERITAGE BANK, N.A.
CLASSIC TITLE COMPANY
LAWYER'S TITLE INSURANCE CORPORATION

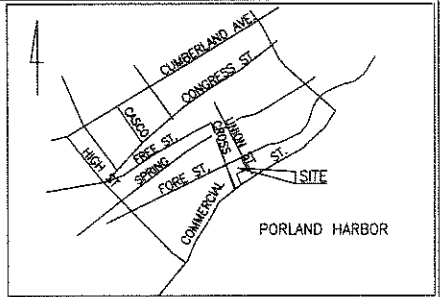
OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS FOR A CATEGORY I CONDITION I SURVEY WITH THE FOLLOWING EXCEPTIONS:

- NOT ALL CORNERS MARKED
- NO REPORT

DATE



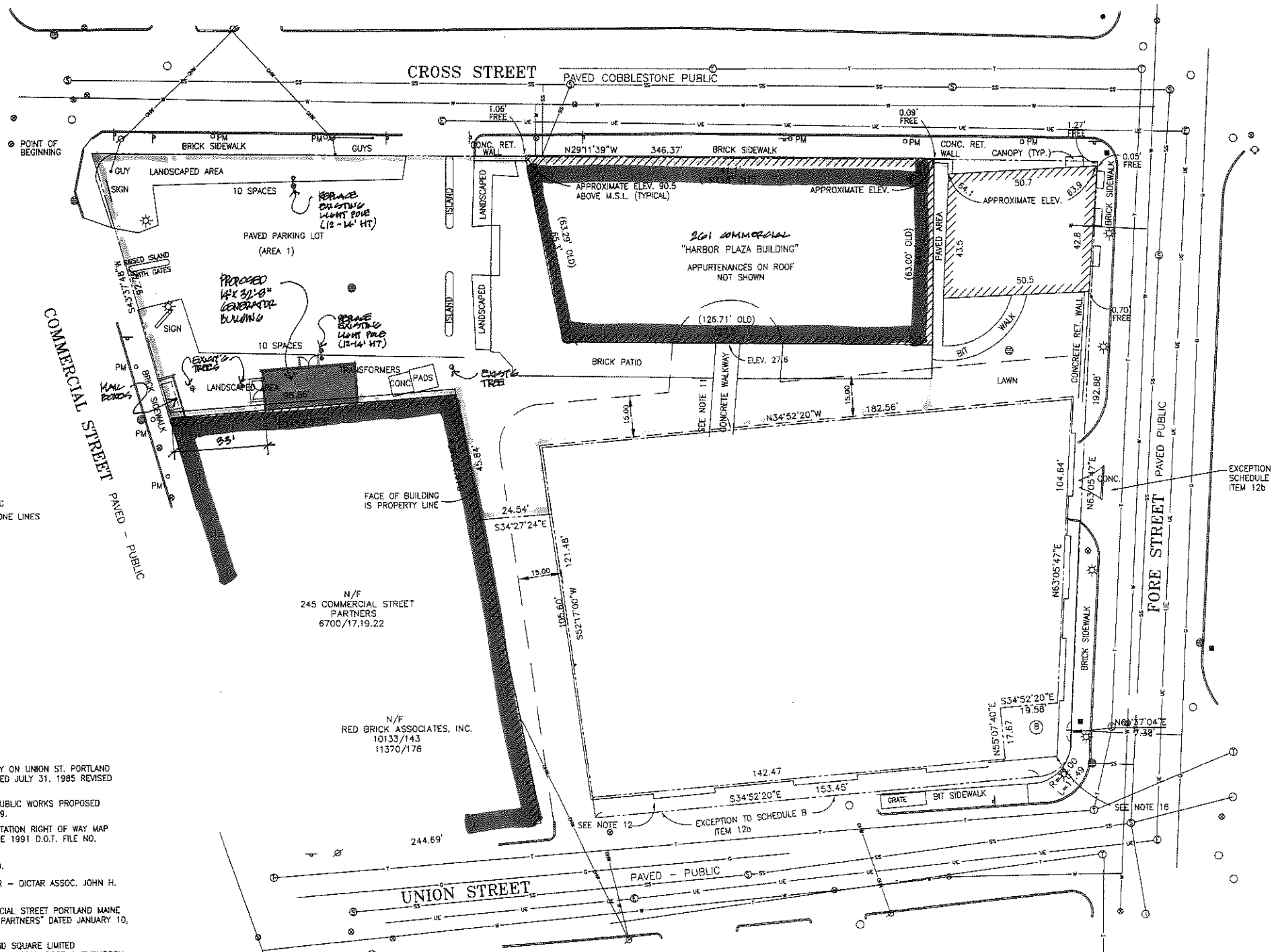
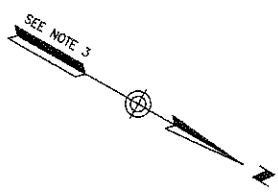
REV. 2	9-28-02	BUILDING FEATURES ETC.
REV. 1	9-28-01	MISC. CHANGES
AS-BUILT		
ALTA/ACSM LAND TITLE SURVEY		
ON		
COMMERCIAL, CROSS, FORE AND UNION STREETS		
PORTLAND, MAINE		
MADE FOR		
PORTLAND HARBOR HOTEL ASSOCIATES, LLC		
OWEN HASKELL, INC.		
16 CASCO STREET, PORTLAND, ME 04101 (207) 774-0424		
PROFESSIONAL LAND SURVEYORS		
Drwn By	WCS	Date
Trace By	RWC	DECEMBER 23, 1996
Check By	WCS	Scale
Book No.	921	1" = 20'
		Job No.
		95286P
		Drwg. No.
		1 OF 2



LOCATION MAP N.T.S.

NOTES:

- OWNER OF RECORD: HARBOR PLAZA ASSOCIATES # 6205/1
LEASEE: FORE STREET REALTY, LLC
SUBLEASEE: PORTLAND HARBOR HOTEL ASSOCIATES #
- LOCUS IS SHOWN AS LOT 9 ON BLOCK F CITY OF PORTLAND ASSESSORS MAP 38
- BEARINGS ARE BASED ON MAINE STATE GRID.
- ALL EASEMENTS AND ENCUMBRANCES ARE SHOWN ON SHEET 2 OF THIS SURVEY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS PARCEL IS LOCATED WITHIN THE "B-3" ZONE (DOWNTOWN BUSINESS DISTRICT) WITH THE FOLLOWING CURRENT DIMENSIONAL REQUIREMENTS:
LOT SIZE: NONE
MIN FRONTAGE: 15'
MIN YARD: NONE
MIN WIDTH: NONE
MAX LOT COVERAGE: 100%
MIN BLDG HEIGHT: 35'
MAX BLDG HEIGHT: 65'
REFERENCE IS MADE TO THE CITY OF PORTLAND LAND USE ORDINANCE DATED 1993 WITH ANY AMENDMENTS THERETO.
- THIS SUBJECT PARCEL IS LOCATED IN ZONE "C" AREAS OF MINIMAL FLOODING AS SCALED FROM FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND MAINE COMMUNITY PANEL NUMBER Z30021-0013 B EFFECTIVE DATE JULY 17, 1998
- THE SUBJECT PARCEL CONTAINS 20430 SQUARE FEET, MORE OR LESS.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE COMMITMENT DATED AUGUST 08, 2001 LAWYER'S TITLE INSURANCE CORPORATION FILE NO. 908550A.
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- THE LOCATION OF THE FACE OF THE BUILDING HAS BASED ON DESIGN PLANS, AN ADDITIONAL 2.0' OF EAVES/CORNICES AT ITS GREATEST EXTENSIONS.
- ELEVATIONS TAKEN 9-26-01, (B) DENOTES APPROXIMATE LOCATION
(B) BOTTOM FLOOR OF PARKING GARAGE - PROPOSED LOCATION OF ELEVATOR
(B) SHAFET PILING EL=10.14
(B) STREET ENTRANCE FFE=22.26
(B) FIRST FLOOR OF HOTEL FFE=36.78
(B) COURT YARD (FLOOR ABOVE PARKING GARAGE) EL=35.25
- SEE SHEET 2 OF 2 FOR DIMENSIONS OF IMPROVEMENTS ETC.
- REFERENCE IS MADE TO DRAWINGS PROVIDED DURING CONSTRUCTION PHASE OF THIS PROJECT REVISION DATE 9-26-01.



LEGEND

- IRON PIPE FOUND
- UTILITY POLE W/GUY
- LIGHT POLE
- HYDRANT
- WATER VALVE
- MANHOLE
- CATCH BASIN
- SIGN
- PARKING METER
- BITUMINOUS PAVED
- NOW OR FORMERLY
- VOLUME/PAGE
- TAX MAP & LOT
- MONUMENT
- CURB
- OVERHEAD WRES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE LINES
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CERTIFICATION:

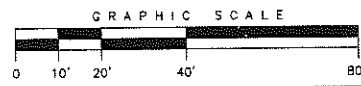
CERTIFICATION MADE TO: PORTLAND HARBOR HOTEL ASSOCIATES, LLC
PEOPLES HERITAGE BANK, N.A.
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LAWYER'S TITLE INSURANCE CORPORATION

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS FOR A CATEGORY I CONDITION I SURVEY WITH THE FOLLOWING EXCEPTIONS:
1) NOT ALL CORNERS MARKED
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4 MAY '12
52

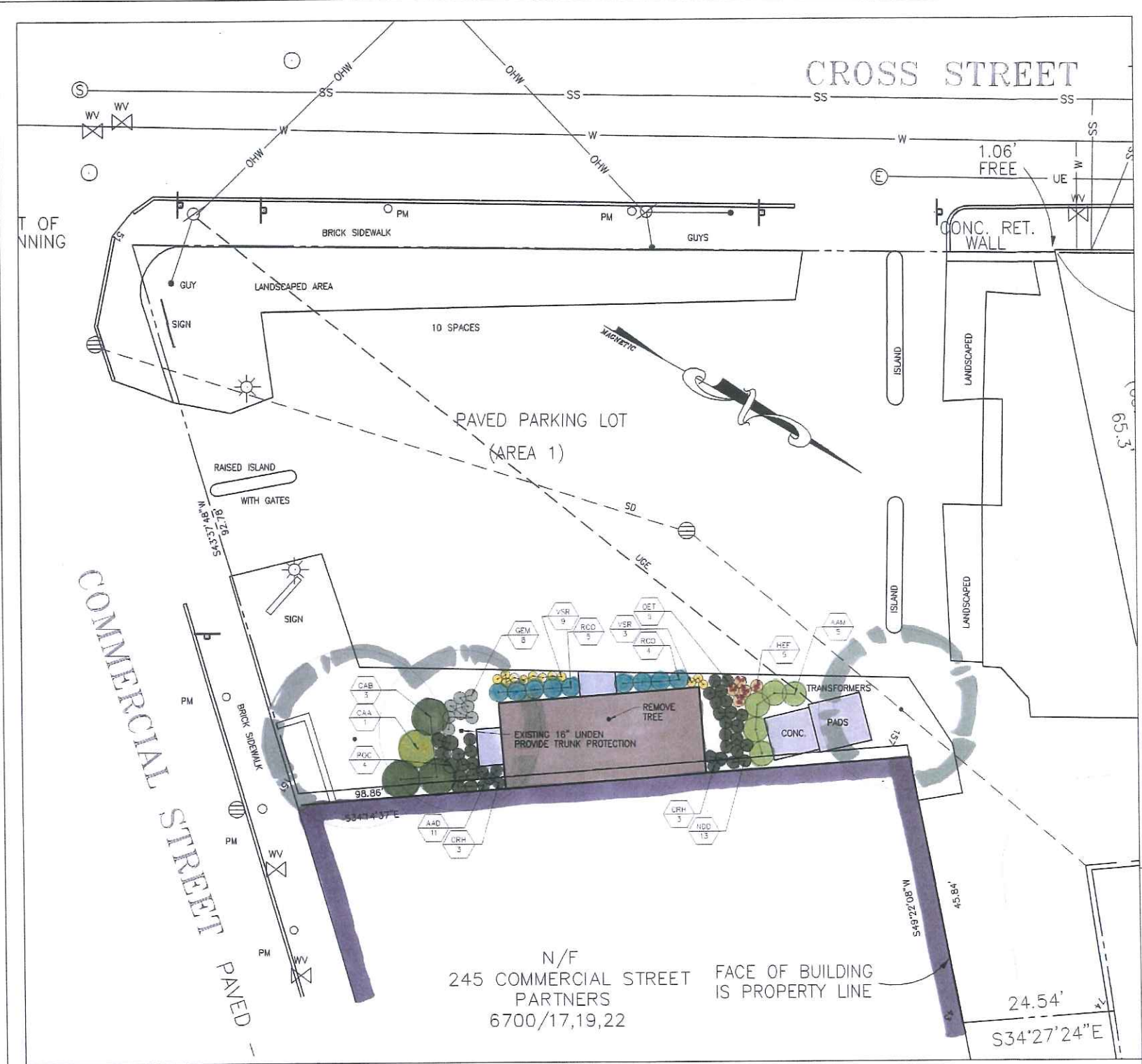
PROPOSED GENERATOR BUILDING SITE PLAN

REV. 2	9-26-02	BUILDING FEATURES ETC..
REV. 1	9-26-01	MISC. CHANGES
AS-BUILT ALTA/ACSM LAND TITLE SURVEY ON COMMERCIAL, CROSS, FORE AND UNION STREETS PORTLAND, MAINE MADE FOR PORTLAND HARBOR HOTEL ASSOCIATES, LLC		
OWEN HASKELL, INC. 18 CASCO STREET, PORTLAND, ME 04101 (207) 774-0424 PROFESSIONAL LAND SURVEYORS		
Drwn By	WCS	Date
Trace By	RWC	DECEMBER 23, 1996
Check By	WCS	Scale
Book No.	921	1" = 20'
Job No.	96285P	Drwg. No.
		1 OF 2



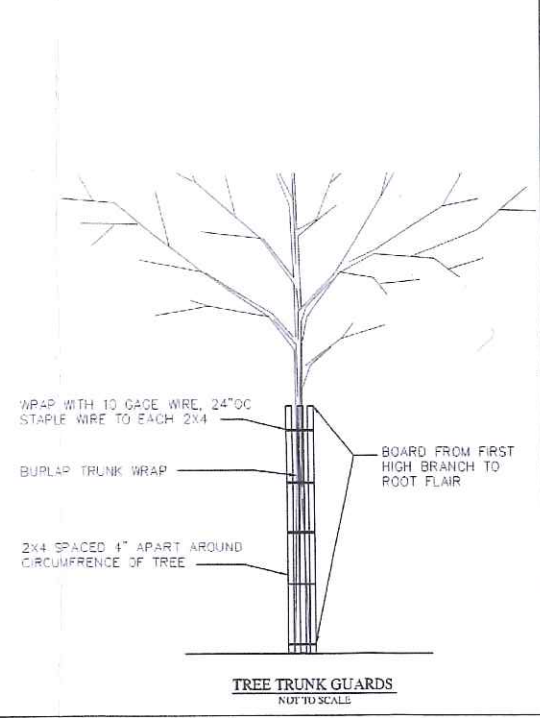
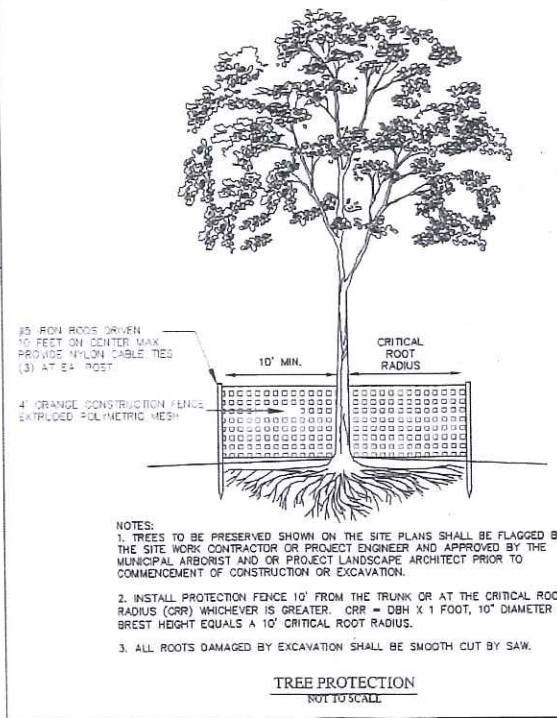
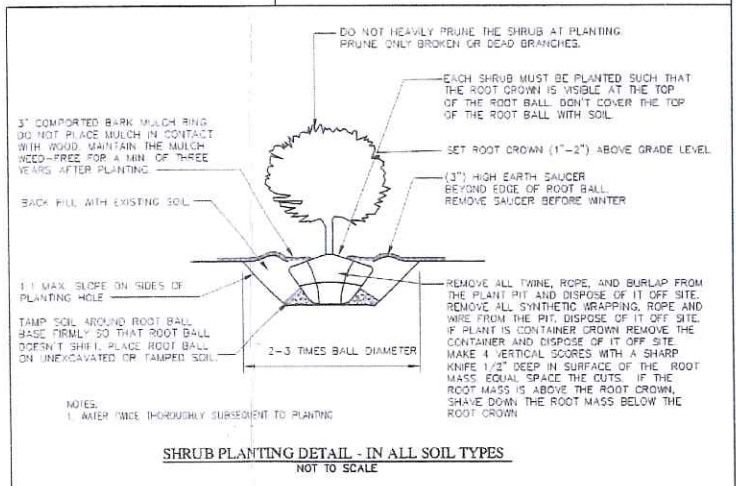
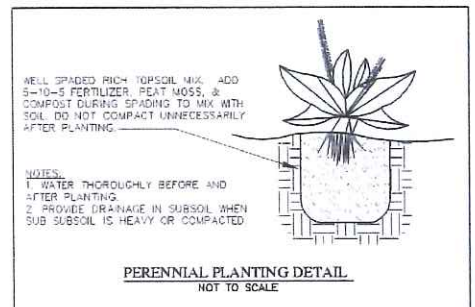
Grant Hays Associates, Inc
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04103 207.871.5500

DATE

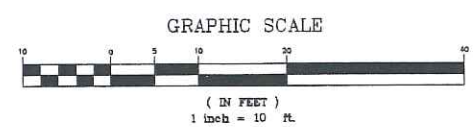


PLANTING NOTES

- Composted bark mulch shall be spread on all shrub beds and tree pits 3" deep but not touching the trunk. New shrub beds shall have loam spread to a depth of 12"
- Plant material shall conform in all ways to the minimum standards set forth in The American Standards for Nursery Stock published by the American Association of Nurserymen, 230 Southern Building, Washington, D.C. The following sections shall apply: Section 1, Section 2, Section 3, Section 5, and Section 11.
- No fertilizer shall be applied to new plantings. Only Super-Phosphate may be used to promote rooting.
 - In the first spring subsequent to new plantings, fertilize new trees and shrubs. The fertilizer shall be 20-10-5 Agri-form planting tablets in 21 gram size for trees and 10 gram size for shrubs. Place tablets in soil dials equal spaced at the plant branch drip line. Provide 20 grams of fertilizer for each 1/4 inch of caliper of tree trunk at the base and 20 grams of fertilizer for each 18 inches of shrub height or spread. Backfill the holes. Repeat the fertilizer application after 24 months.
 - In the spring, fertilize perennials and herbaceous plants. The fertilizer shall be Osmocote-Plus 15-9-12 (6 mos.). Apply at a rate of 1 Tbs. (15 grams) per 2 gallon size or 4 sqft. of plant bed. Incorporate all into the surface mulch.
 - For established lawn areas, fertilized three times per season on Spring fertilizer shall be 5 com Turf Builder with Crabgrass control 30-3-4. Midseason fertilizer shall be 5 com Turf Builder Plus 2 with broad leaf weed control 28-3-3. Fall fertilizer shall be 5 com Wizenize Lawn Food 22-3-14. Apply fertilizers at a rate of 3 pounds per 1,000 sqft. or as required by soil testing. Only apply to turf area. Lawn areas may be limed in the fall with pelletized ground limestone at a rate of 50 pounds per 1,000 sqft. or at rate determined by soil testing.
- Any substitute for plant material species or size must be consulted with and approved by the Landscape Architect and the. The plant schedule shall have precedence over any conflict with plant quantities on the plan. Notify the Landscape Architect of any conflict.
- All grading and construction must be complete before planting can be installed.
- The Landscape Architect shall approve plant spacing prior to planting. The Landscape Contractor shall notify the project Landscape Architect 7 days prior to layout and installation.
- Installation of plant material and lawns shall be in accordance with part 1, 2, 3 and 4 of the Maine Nurserymen's Association Landscape Contract Specifications, Dec. 1989. Evergreen trees 8' and taller must be staked.

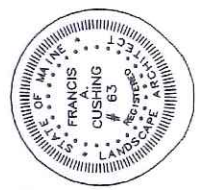


PLANTING PLAN



Date: MAY 4, 2012

ID NO	BOTANICAL NAME	COMMON NAME	QTY	SIZE
Trees				
123	SAMPLE	SAMPLE	1	1
Shrubs				
AAM	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Chokeberry	5	3-4'
CAA	Cornus sericea 'Silver & Gold'	Variiegated Yellow Twig Dogwood	1	#6
CAB	Cornus alba 'Ballinala'	Variiegated Red Twig Dogwood	3	#6
RCO	Rosa Oso Easy 'Paprika'	Paprika Shrub Rose	9	no. 1 rose
123	SAMPLE	SAMPLE	1	1
Perennials				
AAD	Astilbe grandiflora 'Bridal Veil'	Tall White False Spirea	11	1 Gallon
CRH	Cimicifuga racemosa 'Hillside Black Beauty'	Black Snakeroot	8	1 Gallon
GEM	Geranium macrorrhizum 'Bevan's Variety'	Big Root Cranesbill	3	1 Gallon
HEF	Hemerocallis 'Sertie Ferns'	Miniature Orange Daylily	5	1 Gallon
INDO	Nepeta subaequalis	Jacaranda Catmint	13	1 Gallon
OET	Oenothera tetragona 'Firebrick'	Sundrops	5	1 Gallon
POC	Polygonatum commutatum	Giant Solomon's Seal	4	2 Gallon
VSR	Veronica spicata x 'Royal Candles'	Blue Spike Speedwell	12	1 Gallon
123	SAMPLE	SAMPLE	1	1



F.A. Cushing, R.I.A.
Master Planning
Landscape Architecture
8 Cumberland Street
Brunswick, Maine 04011
Tel. (207)761-2416

NO.	DATE	DESCRIPTION

EMERGENCY GENERATOR BUILDING
C/O CASCO VIEW HOLDINGS L.L.C.
261 COMMERCIAL STREET
PORTLAND, MAINE

LANDSCAPE PLAN

NUMBER	DATE
	5/4/2012
DRAWN	CHECKED
FAC	FAC

L-1

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CASCO VIEW HOLDINGS LLC
PLANT PALETTE

SHRUBS



©2010 Horticipia, Inc.
Aronia melanocarpa 'Autumn Magic'



©2010 Horticipia, Inc.

Aronia melanocarpa 'Autumn Magic'



©2010 Horticipia, Inc.

Cornus alba 'Bailhalo (Ivory Halo®)'

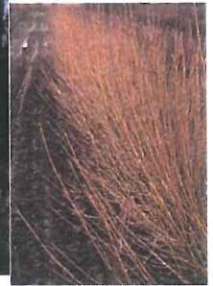


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Cornus stolonifera 'Silver and Gold'



©2010 Horticipia, Inc.



Oso Easy Rose 'Paprika'

CASCO VIEW HOLDINGS LLC
PLANT PALETTE

PERENNIALS



Cimicifuga simplex 'Hillside Black Beauty'



Polygonatum commutatum
Giant Solomon's Seal



©2010 Horticoptia, Inc.

Astilbe x arendsii 'Bridal Veil
(Brautschleier)'



©2010 Horticoptia, Inc.

Geranium macrorrhizum 'Bevan's Variety'



Hemerocallis
Berti Feris Daylily



©2010 Horticoptia, Inc.

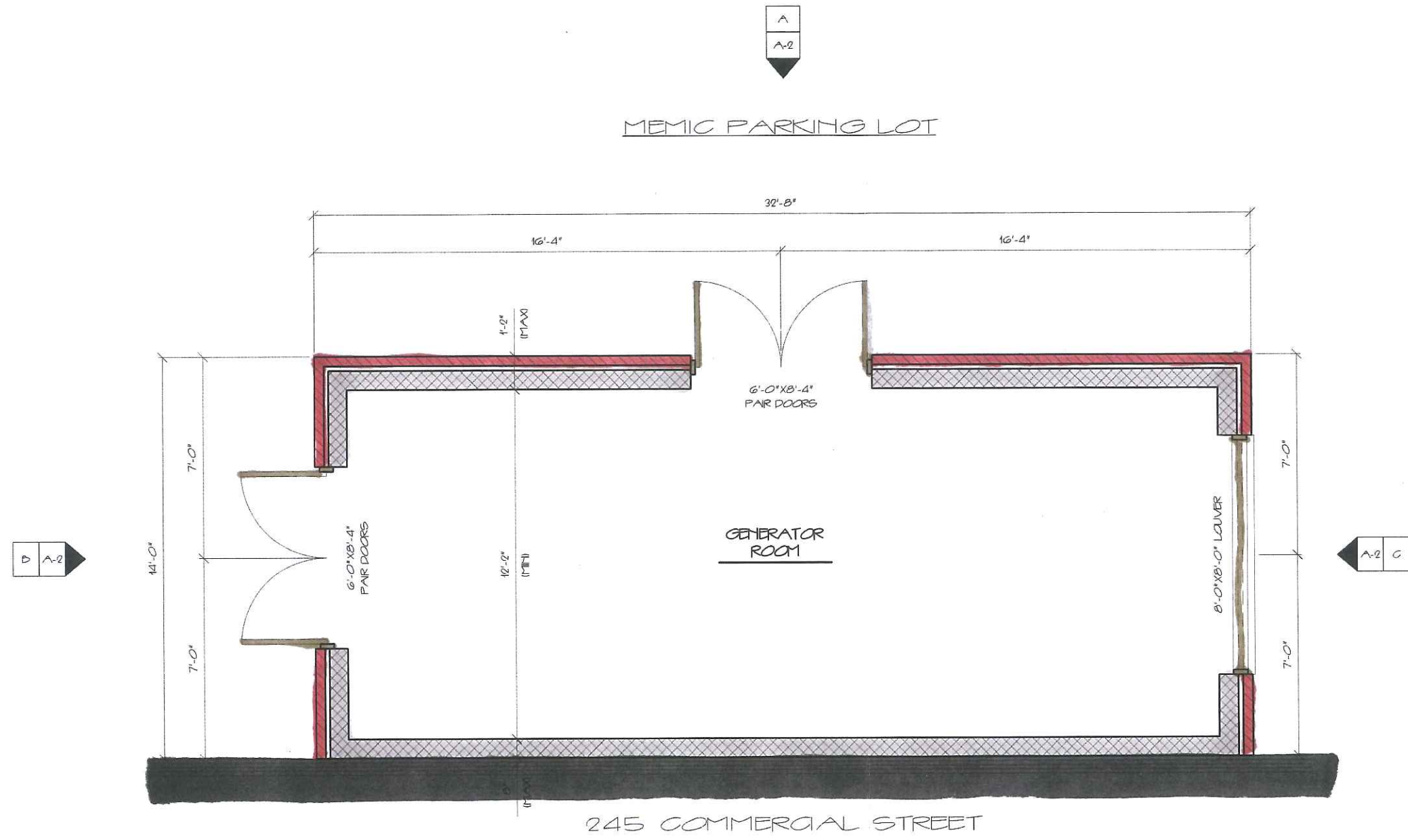
Nepeta subsessilis
Japanese Catmint



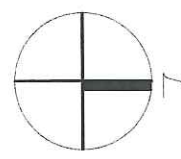
Oenothera Tetragona 'Fireworks'
Sundrops



Veronica spicata 'Royal Candles'
Dwarf Purple Speedwell



FLOOR PLAN
1/2" = 1'-0"



G R A N T H A Y S A S S O C I A T E S

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-5800 (207) 871-9508

CASCO VIEW HOLDINGS LLC.
NEW EMERGENCY
GENERATOR BUILDING
261 COMMERCIAL ST. PORTLAND, MAINE JOB TITLE

REVISIONS

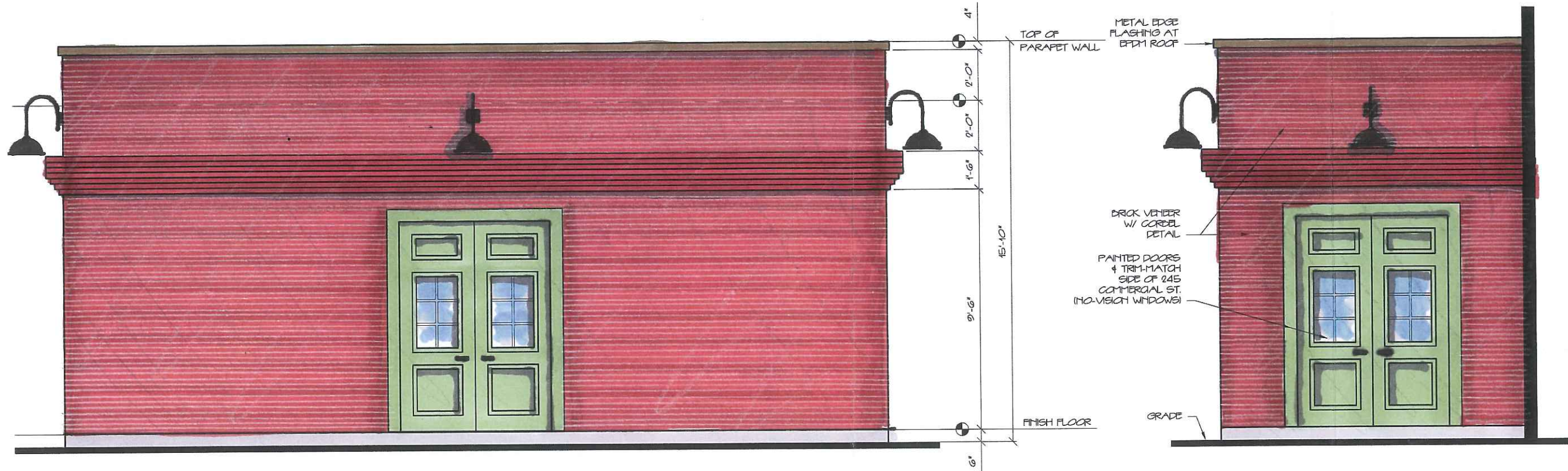
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PROPOSED
FLOOR
PLAN

DRAWING TITLE

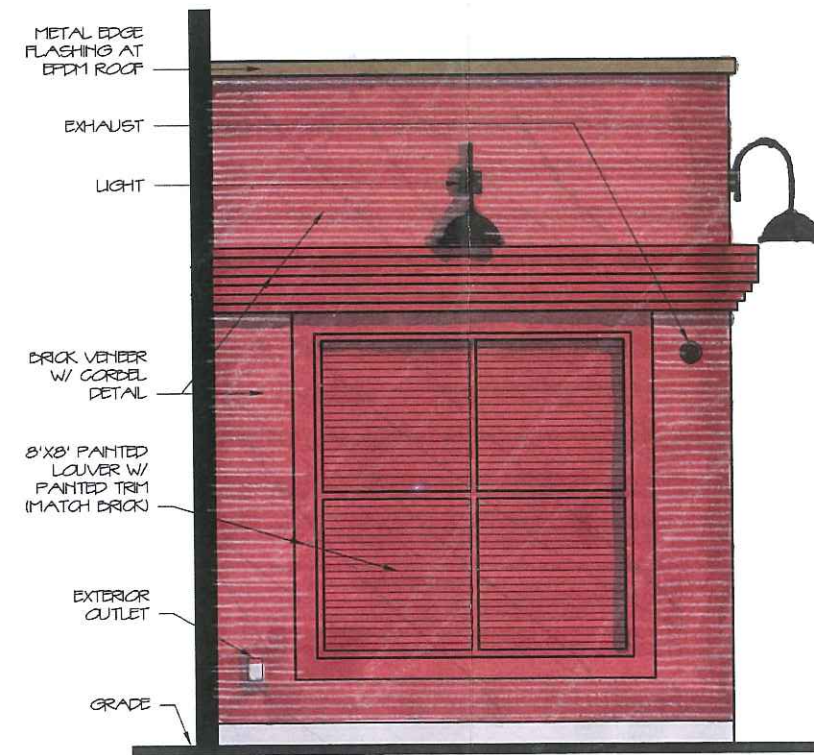
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DATE 4 MAY 12	JOB NO. 120301
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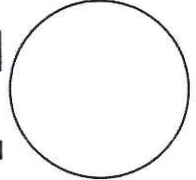
A WEST ELEVATION
(FACING METIC PARKING LOT)

B SOUTH ELEVATION
(FACING COMMERCIAL ST.)



C NORTH ELEVATION
(FACING METIC MAIN ENTRANCE)

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REVISIONS

CASCO VIEW HOLDINGS LLC.
NEW EMERGENCY
GENERATOR BUILDING
261 COMMERCIAL ST. PORTLAND, MAINE
JOB TITLE

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-5900
(207) 871-9308

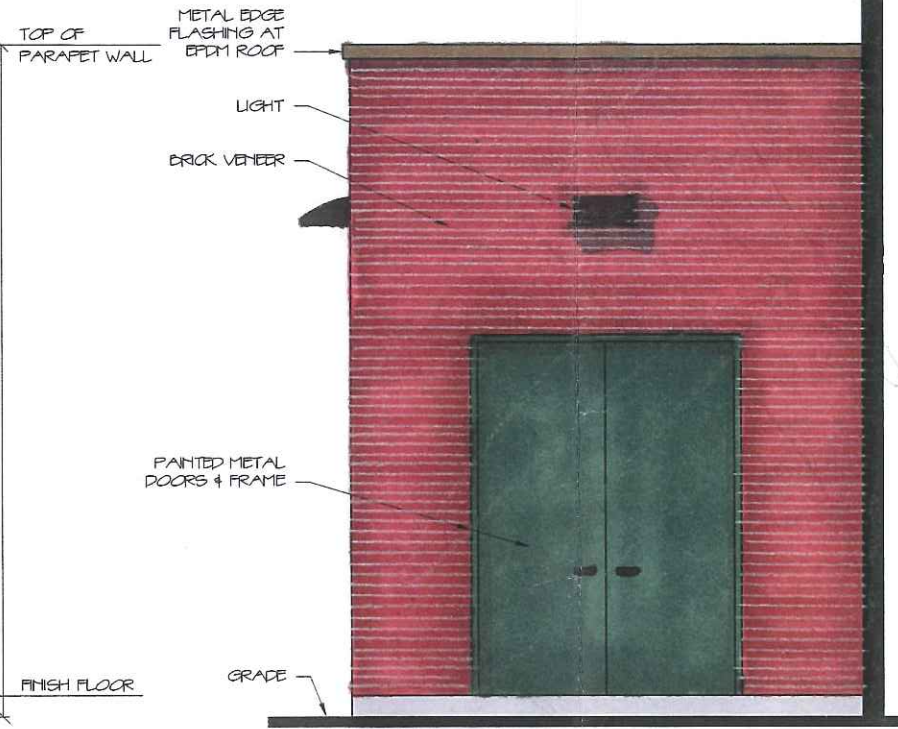
PROPOSED
EXTERIOR
ELEVATIONS
DRAWING TITLE

SCALE 1/2" = 1'-0"
DATE 4 MAY 12
DRAWN BY SAM/MPH
JOB NO. 120301
DRAWING NO.
A-2

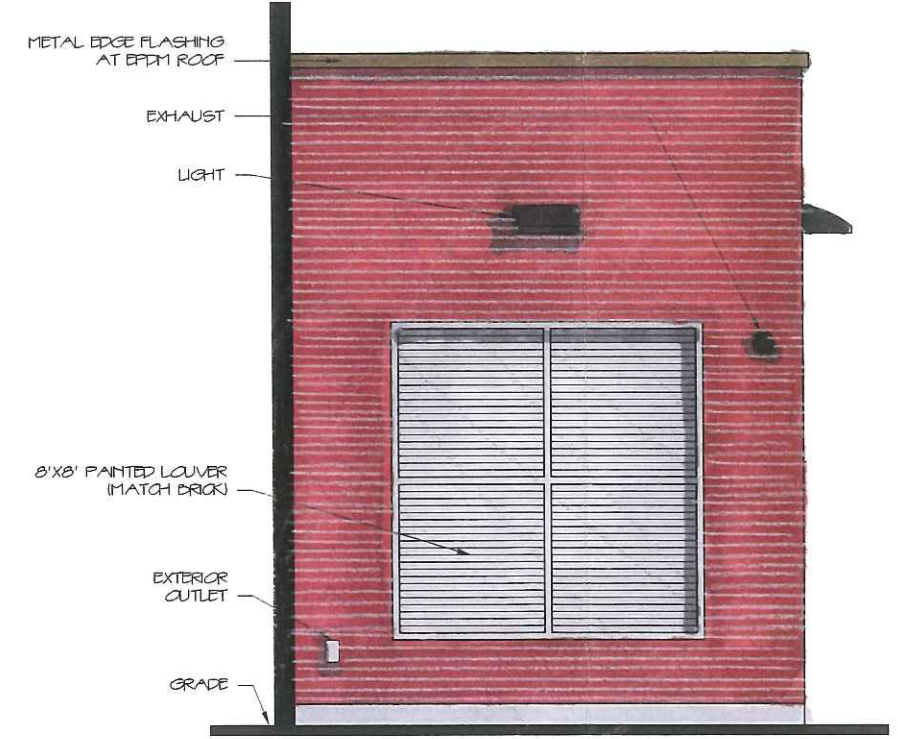
GRANT HAYS ASSOCIATES



A WEST ELEVATION
(FACING METIC PARKING LOT)



B SOUTH ELEVATION
(FACING COMMERCIAL ST.)



C NORTH ELEVATION
(FACING METIC MAIN ENTRANCE)

G R A N T A R C H I T E C T S

CASCOS VIEW HOLDINGS LLC.
NEW EMERGENCY GENERATOR BUILDING
264 COMMERCIAL ST. PORTLAND, MAINE

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-5900

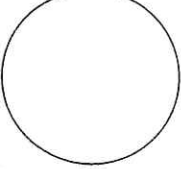
PROPOSED EXTERIOR ELEVATIONS

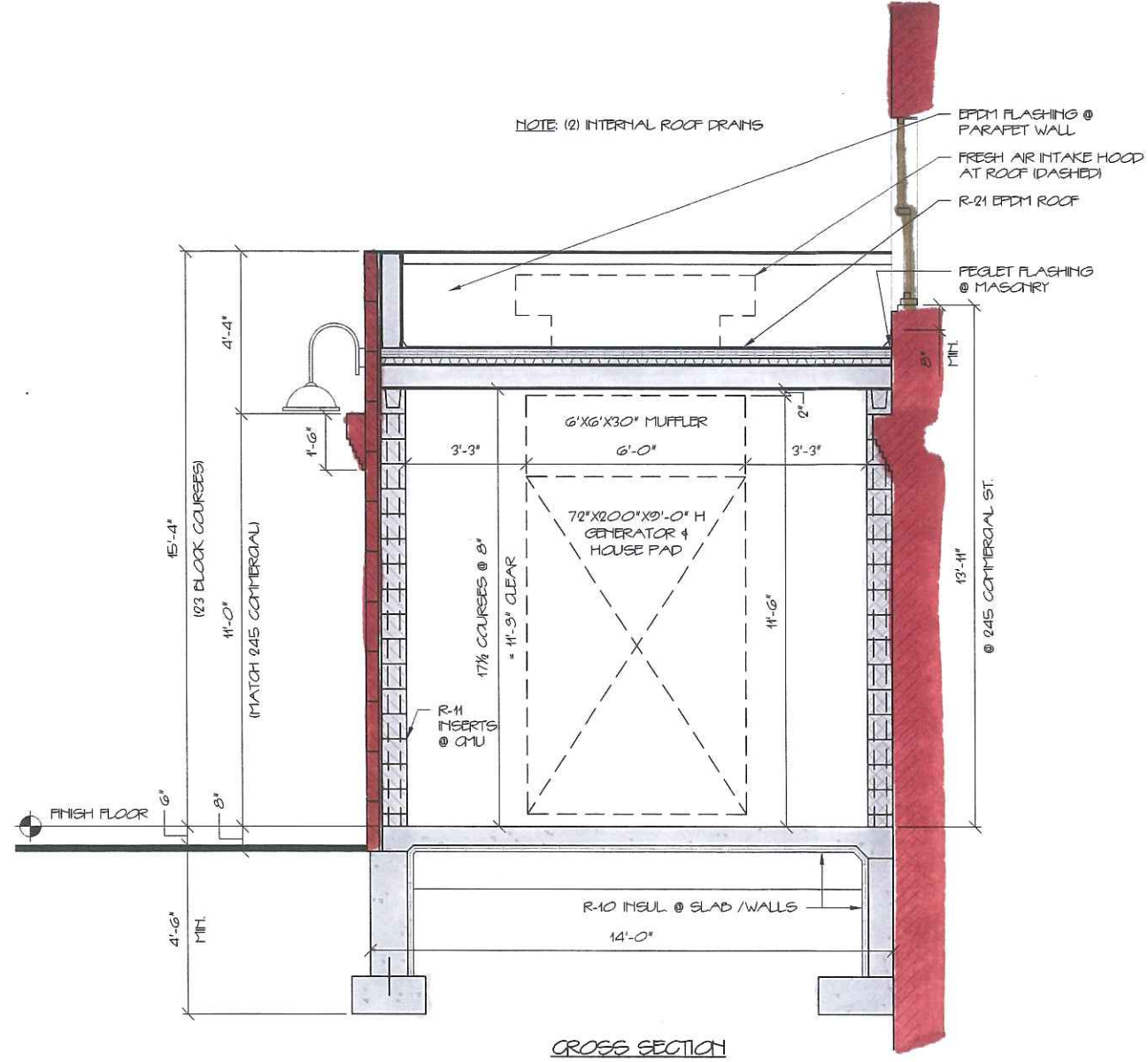
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DATE 4 MAY 12
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DRAWING NO. **A-2.1**

REVISIONS

DRAWING TITLE

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NOTE: (2) INTERNAL ROOF DRAINS

- EPDM FLASHING @ PARAPET WALL
- FRESH AIR INTAKE HOOD AT ROOF (DASHED)
- R-21 EPDM ROOF
- PEGLET FLASHING @ MASCHRY

CROSS SECTION

G R A N T H A Y S A S S O C I A T E S

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 8179 FALMOUTH, MAINE 04105
(207) 871-5900

CASCO VIEW HOLDINGS LLC.
NEW EMERGENCY
GENERATOR BUILDING
261 COMMERCIAL ST. FORTLAND, MAINE
JOB TITLE

PROPOSED
CROSS SECTION
AT GENERATOR
BUILDING

DRAWING TITLE

SCALE 1/2" = 1'-0"

DATE 4 MAY 12

DRAWN BY SAM/MPH

JOB NO. 120301

DRAWING NO.

A-3

REVISIONS

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MEMIC PARKING LOT

32'-8"

10' WIDE PARAPET WALL

24'x30' HATCH

18'x18' EXHAUST

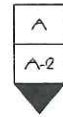
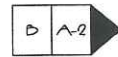
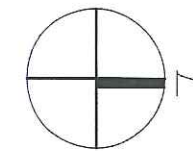
132'x180' INTAKE

EFD1 ROOF

14'-0"

245 COMMERCIAL STREET

ROOF PLAN
1/2" = 1'-0"



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REVISIONS

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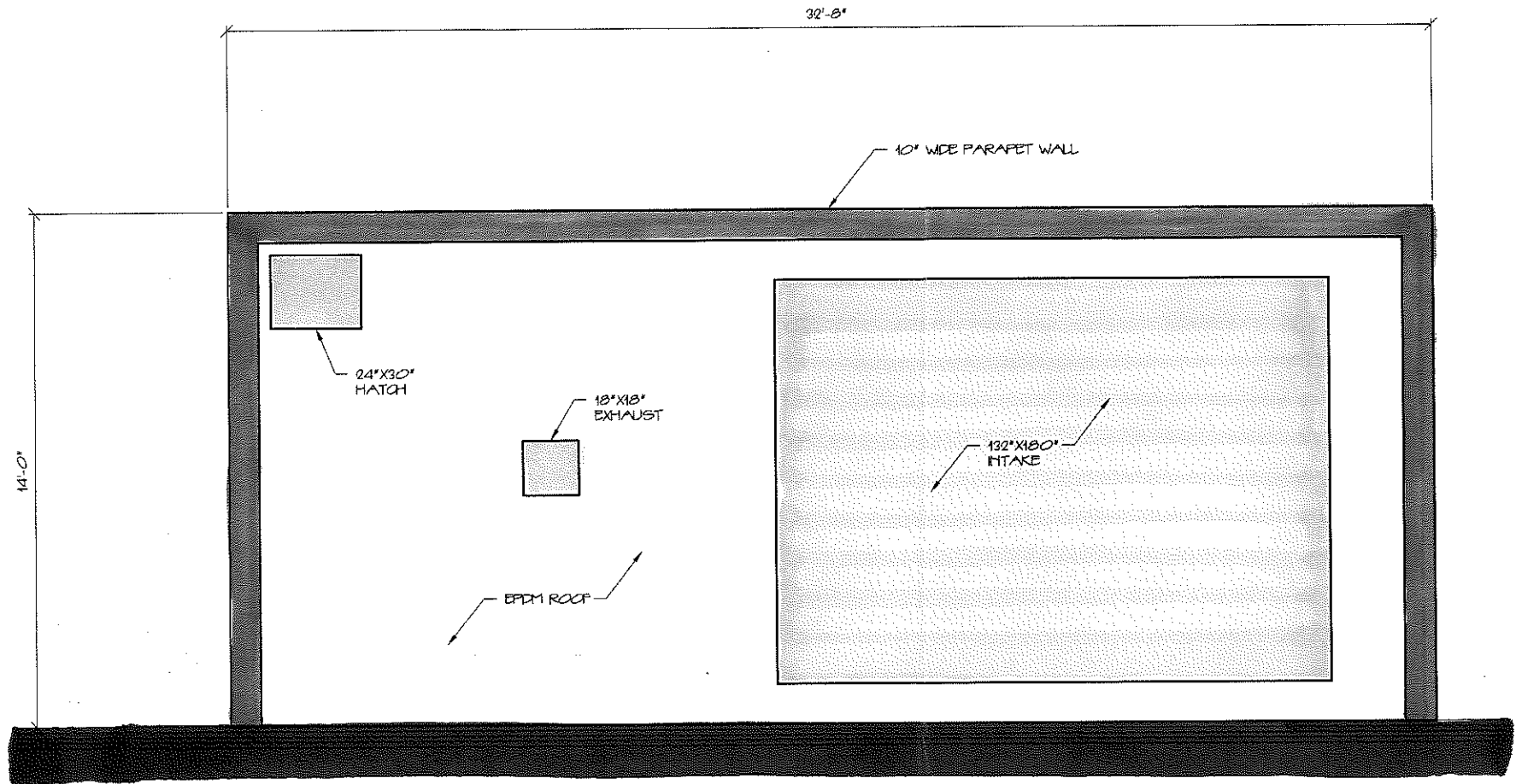
CASCO VIEW HOLDINGS LLC.

ARCHITECTURE

SCALE	
DATE	
DRAWN	
JOB NO.	
DRAWN	

D A-2

14'-0"



MEMIC PARKING LOT

32'-8"

10' WIDE PARAPET WALL

24'x30' HATCH

10'x10' EXHAUST

132'x100' INTAKE

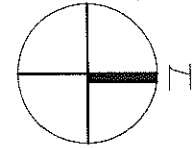
EPDM ROOF

245 COMMERCIAL STREET

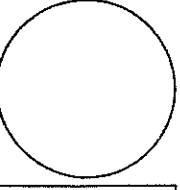
ROOF PLAN
1/2" = 1'-0"

A
A-2

A-2 C



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REVISIONS

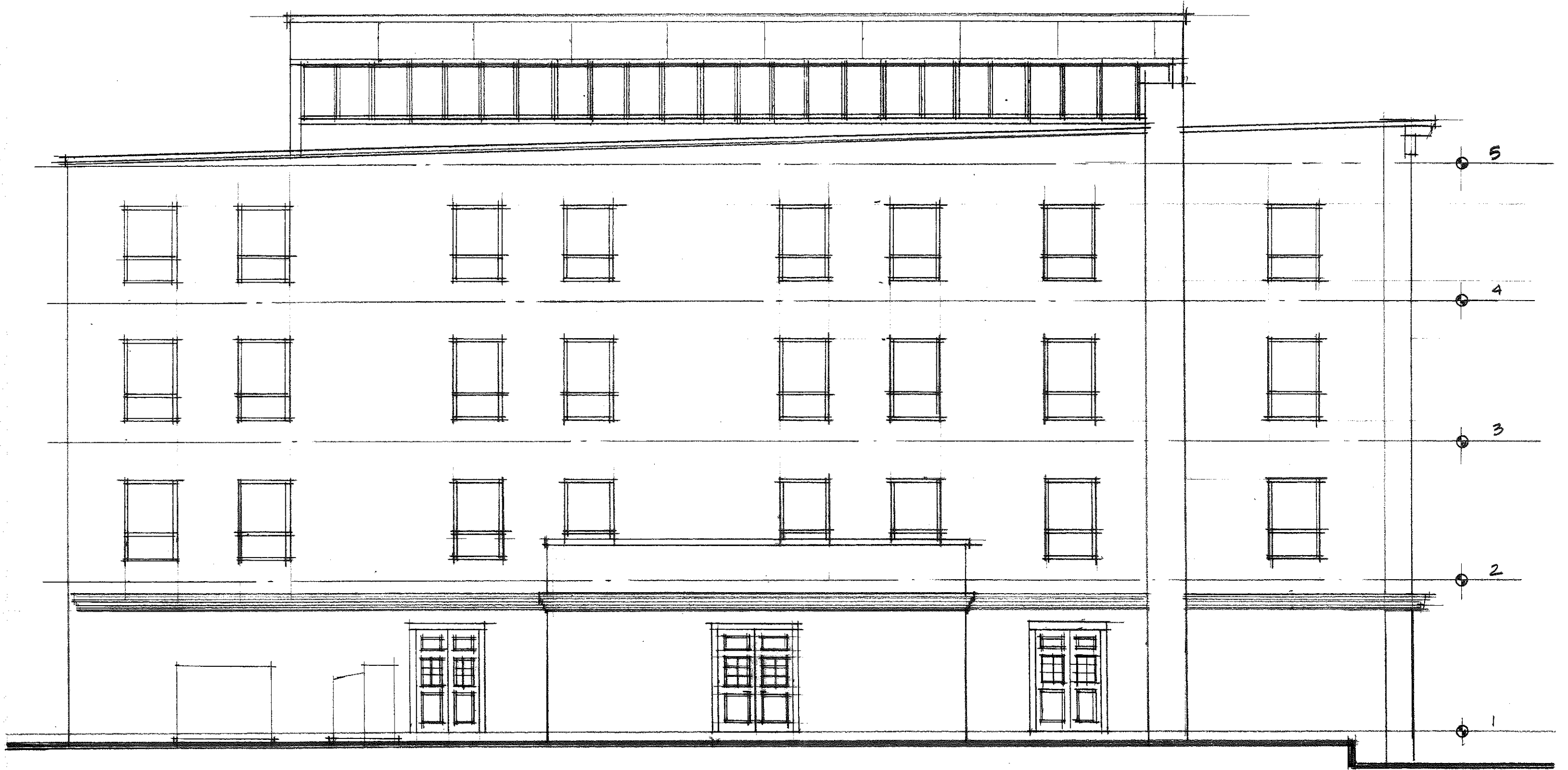
CASCO VIEW HOLDINGS LLC
NEW EMERGENCY
GENERATOR BUILDING
261 COMMERCIAL ST. PORTLAND, MAINE
JOB TITLE

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-5900
(207) 871-9306

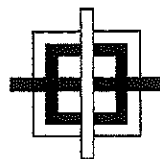
PROPOSED
ROOF
FLAN

SCALE 1/2" = 1'-0"
DATE 4 MAY 12
DRAWN BY SAM/ETH
JOB NO. 120301
DRAWING NO.
A-4

G R A N T H A Y S A S S O C I A T E S



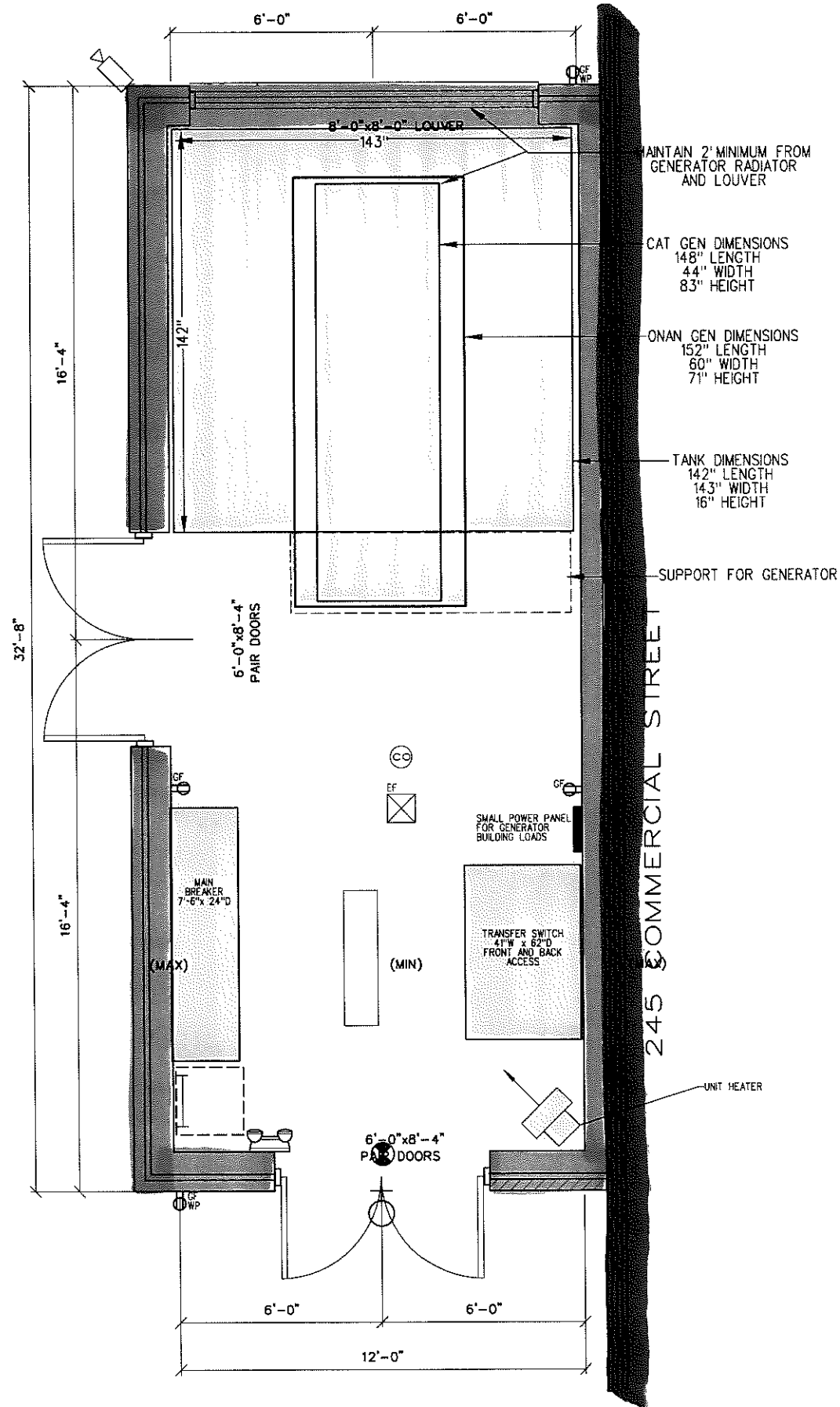
PROPOSED WEST ELEVATION



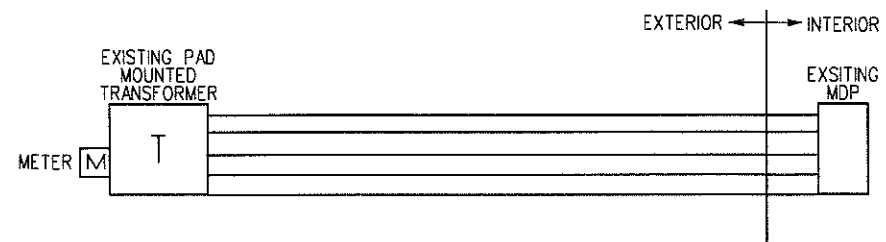
Grant Hays Associates, Inc
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900

A5

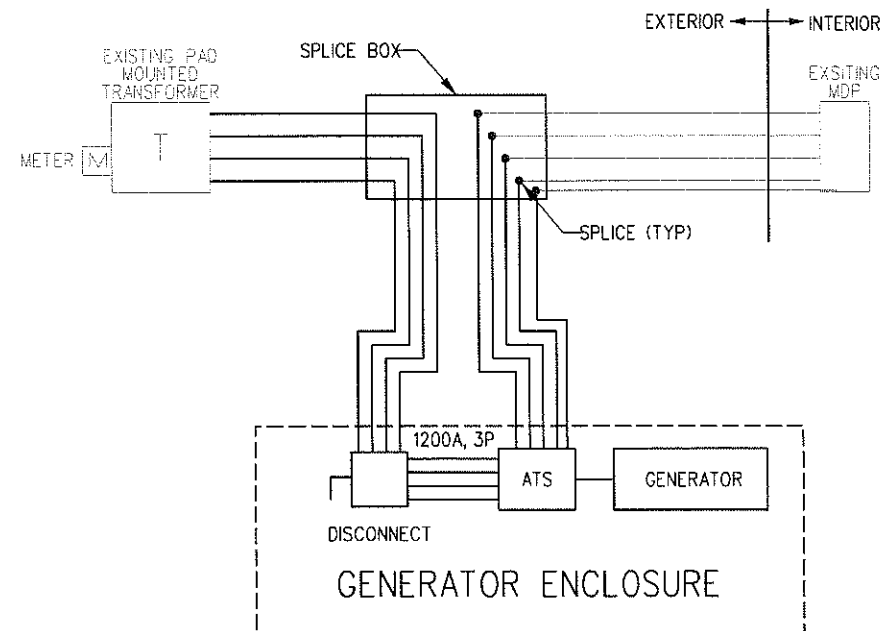
MEMIC PARKING LOT



ELECTRICAL PLAN
1/2" = 1'-0"

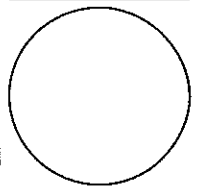


EXISTING ONE-LINE



PROPOSED ONE-LINE
NOT TO SCALE

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REVISIONS

CASCO VIEW HOLDINGS L.L.C.
NEW EMERGENCY GENERATOR BUILDING
261 COMMERCIAL ST. PORTLAND, MAINE
JOB TITLE

ARCHITECTURE INTERIOR DESIGN
P.O. BOX 6179 PALMOUTH, MAINE 04106
(207) 871-5900 (207) 871-9308

PROPOSED FLOOR PLANS
DRAWING TITLE

SCALE 1/2" = 1'-0"
DATE 24 APR 12
DRAWN BY twg/WSBJR
JOB NO. 120301

DRAWING NO.
E-1

G R A N T H A Y S A S S O C I A T E S

GRANT HAYS ASSOCIATES

ARCHITECTURE ✚ INTERIOR DESIGN

MEMO

DATE: May 4, 2012

TO: City of Portland Historic Preservation Commission

FROM: Michael Hays, Architect

RE: Casco View Holdings LLC
Emergency Generator Building Exterior Materials

CC: file

Concept "A" Proposed Exterior Materials & Colors shall be as follows:

Foundations:	Gray Concrete
Exterior Veneer:	Red Brick Masonry – Match existing (per Haskell & Hall)
Parapet Flashing:	Dark Bronze Galvanized Steel
Membrane Roofing:	Black EPDM
Exhaust Louver:	Brick Red (field paint) Galvanized Steel
Doors and Trim: Panels	Patina Green (field paint) Custom Wood with False Glazing To match 245 Commercial Street sidewall fenestration
Roof Hatch:	Dark Bronze Galvanized Steel
Roof Intake Louver:	Dark Bronze Galvanized Steel
Gooseneck Lights:	Black Aluminum/Galvanized Steel

Concept "B" Proposed Exterior Materials & Colors shall be as follows:

Foundations:	Gray Concrete
Exterior Veneer:	Red Brick Masonry – Lachance Old Port Red
Parapet Flashing:	Dark Bronze Galvanized Steel
Membrane Roofing:	Black EPDM
Exhaust Louver:	Brick Red (field paint) Galvanized Steel
Doors and Frames:	Dark Green or Black (field Paint) Hollow Metal
Roof Hatch:	Dark Bronze Galvanized Steel
Roof Intake Louver:	Dark Bronze Galvanized Steel
Wall pack Lights:	Black Aluminum/Galvanized Steel



CONCEPT

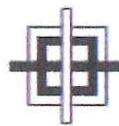
A



CONCEPT

5

PRODUCT DATA



Grant Hays Associates, Inc
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900

INDEX OF PRODUCT DATA SHEETS

1. GT EXHAUST SUPER-CRITICAL MUFFLER (75Db)
2. GREENHECK ROOFTOP HOODED GRAVITY INTAKE
3. GREENHECK ROOFTOP EXHAUST FAN UNIT
4. RUSKIN STRAIGHT-BLADE WALL EXHAUST LOUVER
5. BILCO ROOFTOP ACCESS HATCH
6. CONCEPT "A" RAB LED EXTERIOR GOOSENECK LIGHT FIXTURES
7. CONCEPT "B" RAB LED EXTERIOR WALL PACK LIGHT FIXTURES

APPLICATION

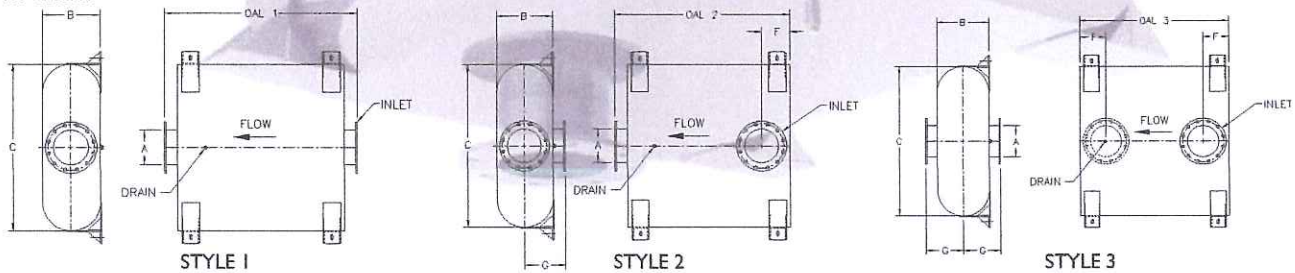
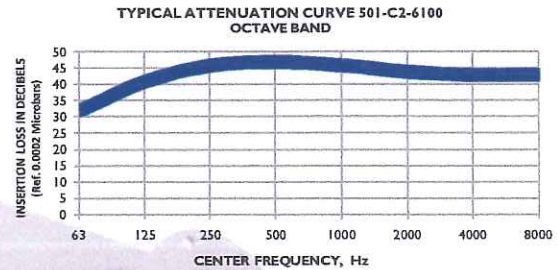
Space saving design specifically engineered to provide extraordinary attenuation in a space saving design. For applications where ambient noise levels are relatively low. Excellent for use in enclosures, trailers, marine, or any application where space is extremely restricted.

CONSTRUCTION

Features compressed thermal/acoustical fiberglass packed shell. In addition to its acoustical value, the two inch thick packed shell provides a significant reduction in the outer surface temperature. Actual values depend on the exhaust temperature and ambient conditions. Comes standard with bottom mounted 29-l brackets, with the option of top mounted brackets.

FINISH AND OPTIONAL MATERIALS

Heavy duty steel construction with a high heat black paint. Flanged inlet and outlet standard. Additional connections, as well as flush mounted inlets, are available. Stainless steel available. Call factory for details.



Part Number	A Size	B Dia	C	OAL 1	OAL 2	OAL 3	F Min	F Max	G	WT
501-C2-6104	4	11	34	42	38	34	6	11	9.5	175
501-C2-6105	5	12	34	42	38	34	6.5	18	10	205
501-C2-6106	6	13	38	46	42	38	7	20	10.5	275
501-C2-6108	8	15	52	60	56	52	8	28	11.5	575
501-C2-6110	10	18	59	67	63	59	9	31	13	790
501-C2-6112	12	21	70	78	74	70	10	38	14.5	1065
501-C2-6114	14	24	70	78	74	70	11	37	16	1220
501-C2-6116	16	28	75	84	80	76	12	40	18	1450
501-C2-6118	18	30	86	96	92	88	14	47	19	1875
501-C2-6120	20	34	92	102	98	94	15	50	21	2220

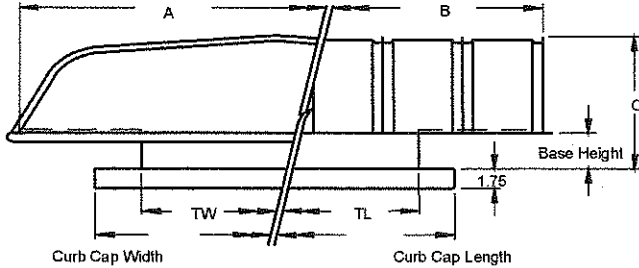
All spatial dimensions are in inches.
 Additional options available.
 F Max is for inlet only.
 All weights are in pounds. All weights are approximate.

PRICES

FGI

Hooded Gravity Intake

STANDARD CONSTRUCTION FEATURES



- Precision formed locked rib construction.
- Available in aluminum or galvanized steel construction.
- 0.5 in galvanized steel mesh birdscreens.
- Heavy gauge galvanized steel support members.
- Hood can be removed completely from the base or hinged open.
- Units with a throat size exceeding 60 in x 120 in will have 12 in galvanized bases as standard.
- Recommended roof opening dimension is at least 2.5 in larger than the damper size.

SELECTED OPTIONS & ACCESSORIES

- Galvanized Birdscreen - 0.5 in Mesh Type
- Galvanized Steel Housing

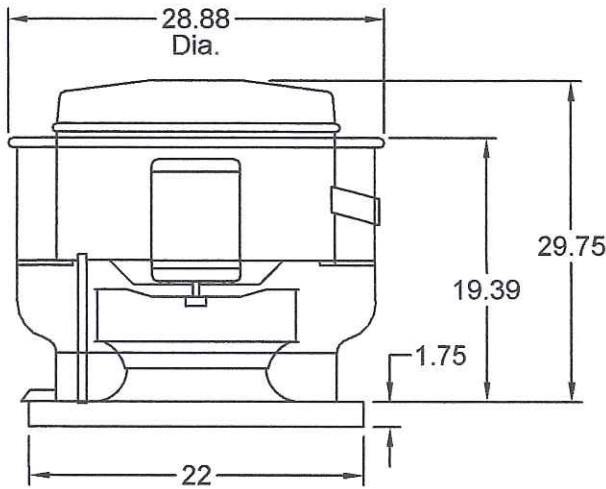
NOTE: All dimensions shown are in units of inches

DIMENSIONS

ID #	Tag	Qty	"TW" Throat Width (in)	"TL" Throat Length (in)	A (in)	B (in)	C (in)	Curb Cap Width (in)	Curb Cap Length (in)	Opt. Damper Width (in)	Opt. Damper Length (in)	Wt. (lb)	Base Height (in)	Ship Assembled
1-1	IV-1	1	70	110	132	180	29.5	76	116	110	70	824	5	No

PERFORMANCE

ID #	Tag	Qty	Volume (CFM)	SP (in wg)	Throat Area (ft2)	Throat Velocity (ft/min)
1-1	IV-1	1	25,000	0.051	53.47	468



Reference assembly view drawings for actual dimensions with mounted accessories

Model: CUE-141-B

Direct Drive Upblast Centrifugal Roof Exhaust Fan

Standard Construction Features:

- Aluminum housing - Backward inclined aluminum wheel - Aluminum curb cap with prepunched mounting holes - Drain trough - Ball bearing motors (sizes 98-160), sleeve bearing motors (sizes 60-95) - Motor isolated on shock mounts - Corrosion resistant fasteners

Options & Accessories:

PSC Motor
Switch, NEMA-4, Toggle, Junction Box Mounted & Wired
Roof Curb, GPI-22-G18, Under Sized 1.5 in Total
Curb Seal (Attached)
Damper, VCD-23-PB-16X16, End Switch (Loose)
Damper Actuator, 115 VAC Actuated
Solid State Speed Control, Shipped Loose (PN 5WSSC)

Dimensional

Qty	Weight w/o Accessories (lb)	Weight with Accessories (lb)	Roof Opening (in)	Optional Damper (in)
1	72	133	18.5 x 18.5	16 x 16

Performance

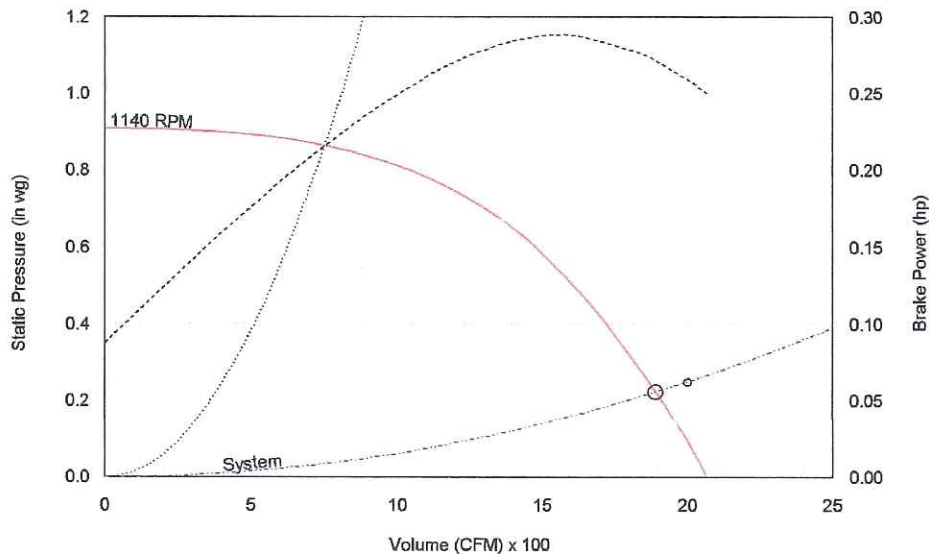
Requested Volume (CFM)	Actual Volume (CFM)	Requested SP (in wg)	Actual SP (in wg)	Fan RPM	Operating Power (hp)	Elevation (ft)	Airstream Temperature (F)	Tip Speed (ft/min)	SE (%)
2,000	1,889	0.25	0.223	1,140	0.27	0	70	4365	24.4

Motor

Motor Mounted	Size (hp)	V/C/P	Encl.	Motor RPM	Windings	NEC FLA* (Amps)
Yes	1/4	115/60/1	ODP	1140	1	5.8

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	70	80	76	70	63	66	56	50	73	62	11.0



— RPM Curve
..... System Curve
- - - Brake Power Curve
..... Do not select to the left of this surge curve
○ Desired operating point
○ Actual operating point



Notes:

All dimensions shown are in units of in.
*FLA - based on tables 150 or 148 of National Electrical Code 2002. Actual motor FLA may vary, for sizing thermal overload, consult factory.
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB attenuation per Octave band at 5.0 ft - dBA levels are not licensed by AMCA International
Sones - calculated using AMCA 301 at 5.0 ft

Roof Curb

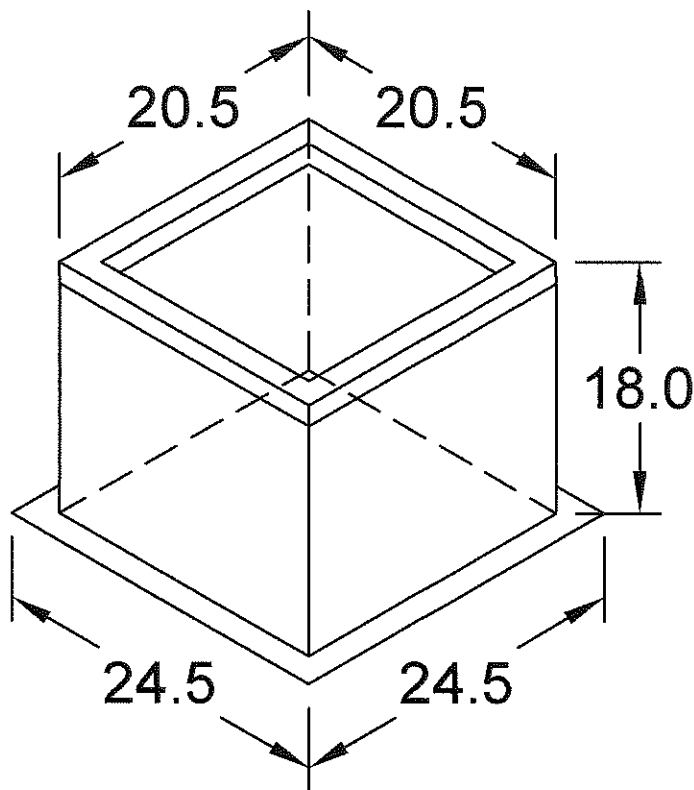
Model: GPI

Standard Construction Features:

- Roof Curb fits between the building roof and the fan mounted directly to the roof support structure - Constructed of either 18 ga galvanized steel or 0.064 in aluminum - Straight Sided without a cant - 2 in mounting flange - 1 in thick 3 lb density insulation
- Height - Available from 8 in to 24 in as specified in 0.5 in increments.

Notes:

- The Maximum roof opening dimension should not be greater than the "Actual" top outside dimension minus 2 in.
- The minimum roof opening dimension should be at least 2.5 in more than the damper dimension or recommended duct size.
- The Roof Opening Dimension may NOT be the Structural Opening Dimension.
- Damper Tray is optional and must be specified. Tray size is same as damper size.
- Security Bars are optional and must be specified. They are 0.5 in thick steel rods welded 6 in on center and welded to the roof curb when coated with Permatector.



ISOMETRIC VIEW

Notes: All dimensions shown are in units of in

Control Damper

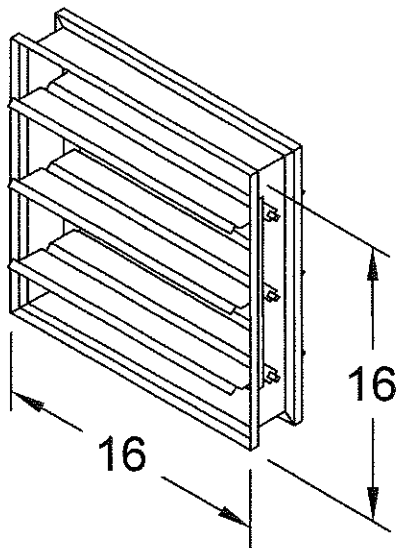
Model: VCD-23

Standard Construction Features:

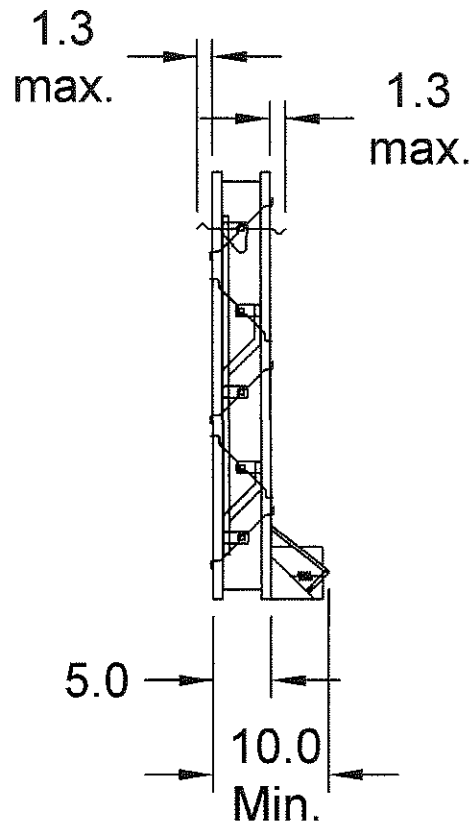
- Model VCD-23 is a well built low leakage control damper for automatic control or manual balancing applications - Galvanized 16 ga channel frame - Galvanized blades with reinforcements - Side mounted steel linkage is concealed in the frame to prevent additional pressure drop - Axles are steel and 0.5 in dia.- Synthetic axle bearings - Width and height furnished approximately 0.25 in undersized - Field wiring is required to individual components

Accessory Configuration

Actuator Type: 115 VAC
End Switch: Yes



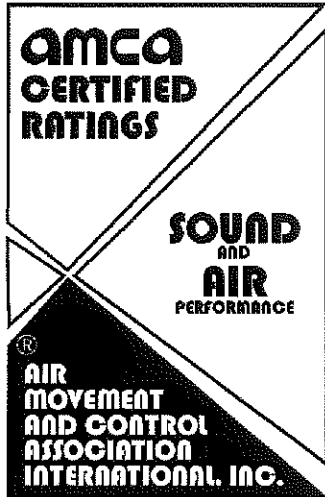
DAMPER



TYP. SECTION VIEW

Notes: All dimensions shown are in units of in
Width And height furnished approximately 0.125 in undersize

AMCA



AMCA Licensed for Sound and Air Performance Without Appurtenances (Accessories). Power rating (BHP/kW) does not include transmission losses.

Greenheck Fan Corporation certifies that the model shown herein is licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 211 and AMCA Publication 311 and comply with the requirements of the AMCA Certified Ratings Program. Performance certified is for installation type A: Free inlet, Free outlet. Power rating (BHP/kW) does not include transmission losses. Performance ratings do not include the effects of appurtenances (accessories). The sound ratings shown are loudness values in fan sones at 5 ft. (1.5 m) in a hemispherical free field calculated per AMCA Standard 301. Values shown are for installation type A: free inlet hemispherical sone levels. dBA levels are not licensed by AMCA International. The AMCA Certified Ratings Seal applies to sone ratings only.

The AMCA licensed air and/or sound performance data has been modified for installation, appurtenances or accessories, etc. not included in the certified data. The modified performance is not AMCA licensed but is provided to aid in selection and applications of the product.

ELF6375DX and ELF6375DXH DRAINABLE STATIONARY LOUVERS EXTRUDED ALUMINUM LOUVER

STANDARD CONSTRUCTION

FRAME

6" (152) deep, 6063T5 extruded aluminum. ELF6375DX 1 - .081" (2.1) nominal wall thickness. ELF6375DXH - .125" (3.2) nominal wall thickness. Downspouts and caulking surfaces provided.

BLADES

6063T5 extruded aluminum. ELF6375DX - .081" (2.1) nominal wall thickness. ELF6375DXH - .125" (3.2) nominal wall thickness. Drainable blades are positioned at at 37 1/2° angle and spaced approximately 5 29/32" (150) center to center.

SCREEN

3/4" x .051" (19 x 1.3) expanded, flattened aluminum bird screen in removable frame. Screen adds approximately 1/2" (13) to louver depth.

FINISH

Mill.

MINIMUM SIZE

12"w x 12"h (305 x 305).

APPROXIMATE SHIPPING WEIGHT

ELF6375DX - 4 lbs./ft.² (19.5 kg /m²)
ELF6375DXH - 6 lbs./ft.² (29.3kg /m²)

MAXIMUM FACTORY ASSEMBLY SIZE

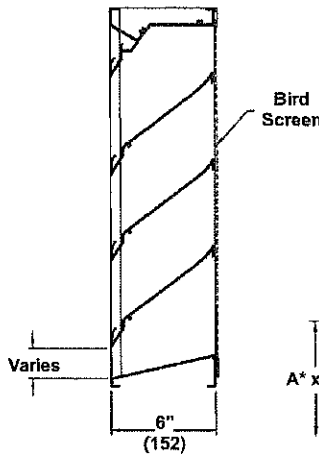
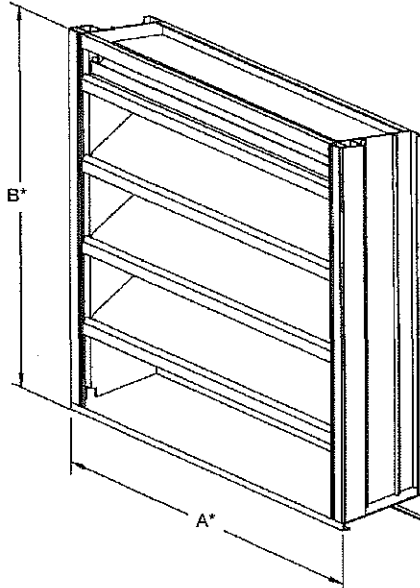
Shall be 75 sq. ft. (7m²) per section, not to exceed 120"w x 90"h (3048 x 2286) or 90"w x 120"h (2286 x 3048).

Louvers larger than the maximum factory assembly size will require field assembly of smaller sections.

SUPPORTS

Louvers may be provided with rear mounted blade supports that increase overall louver depth depending on louver size, assembly configuration or windload.

Consult Ruskin for additional information.



FEATURES

The ELF6375DX and ELF6375DXH offers:

- 57% Free Area.
- Published performance ratings based on testing in accordance with AMCA Publication 511.
- High performance frame system with drainable head collects and removes water to provide excellent water penetration performance.
- Drain gutter in each blade minimizes water cascade between blades.
- Architecturally styled, hidden mullions allowing continuous line appearance up to 120" (3048).
- Aluminum construction for low maintenance and high resistance to corrosion.
- All welded construction.

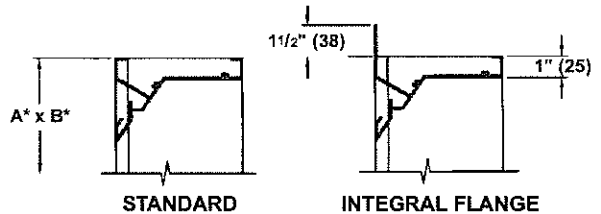
VARIATIONS

Variations to the basic design of these louvers are available at additional cost. They include:

- Extended sill.
- Hinged frame.
- Front or rear security bars.
- Filter racks.
- A variety of bird and insect screens.
- Selection of finishes: prime coat, baked enamel (modified fluoropolymer), epoxy, Acrodize, Kynar, clear and color anodize. (Some variation in anodize color consistency is possible.)

Consult Ruskin for other special requirements.

FRAME CONSTRUCTION



Dimensions in inches, parenthesis () indicate millimeters.

*Units furnished 1/4" (6) smaller than given opening dimensions.

TAG	QTY.	SIZE		FRAME	VARIATIONS
		A*-WIDE	B*-HIGH		
PROJECT ARCH./ENGR. REPRESENTATIVE			LOCATION CONTRACTOR DATE		

SUGGESTED SPECIFICATION

Furnish and install louvers as hereinafter specified where shown on plans or as described in schedules. Louvers shall be stationary drainable type with drain gutters in each blade and downspouts in jams and mullions. Louvers shall have a minimum of 57% free area based on a 48" wide x 48" high (1219 x 1219) size. Stationary drainable blades shall be contained within a 6" (152) frame. Louver components (heads, jams, sills, blades, & mullions) shall be factory assembled by the louver manufacturer. Louver sizes too large for shipping shall be built up by the contractor from factory assembled louver sections to provide overall sizes required. Louver design shall limit span between visible mullions to 10 feet (3) and shall incorporate structural supports required to withstand a wind-load of 20 lbs. per sq. ft. (.96kPa) (equivalent of a 90 mph wind [145 KPH] wind – specifier may substitute any loading required).

Louvers shall be Ruskin Model ELF6375DX or ELF6375DXH extruded 6063T5 aluminum construction as follows:

Frame: 6" (152) deep. ELF6375DX - .081" (2.1) nominal wall thickness. ELF6375DXH - .125" (3.2) nominal wall thickness.

Blades: ELF6375DX - .081" (2.1) nominal wall thickness. ELF6375DXH - .125" (3.2) nominal wall thickness. Drainable blades are positioned at 37 $\frac{1}{2}$ ° angle and spaced approximately 5 $\frac{29}{32}$ " (150) center to center.

Screen: 3/4" x .051" (19 x 1.3) expanded, flattened aluminum in removable frame.

Finish: Select finish specification from Ruskin Finishes Brochure.

Published louver performance data bearing the AMCA Certified Ratings Seal for Air Performance & Water Penetration must be submitted for approval prior to fabrication and must demonstrate pressure drop and water penetration equal to or less than the Ruskin model specified.

PERFORMANCE DATA

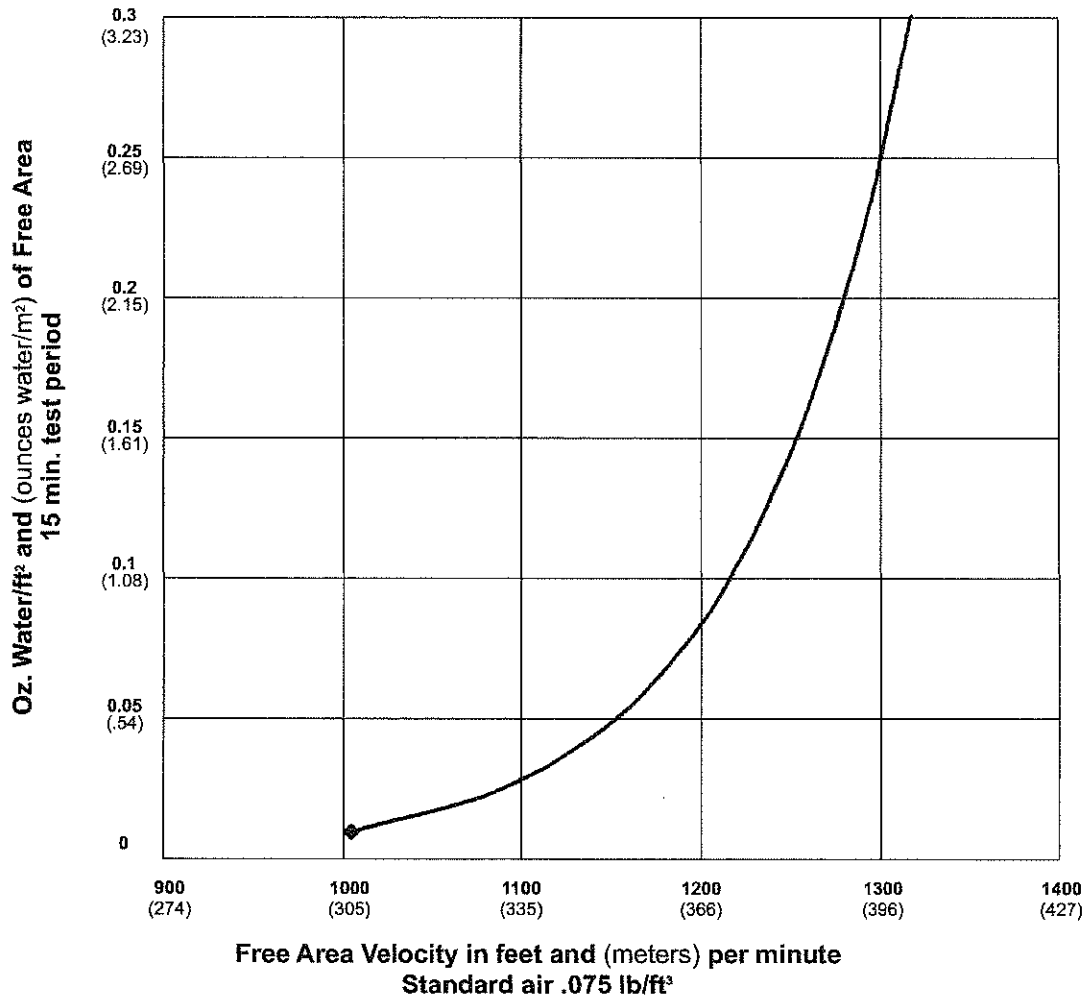
AMCA Standard 500 provides a reasonable basis for testing and rating louvers. Testing to AMCA 500 is performed under a certain set of laboratory conditions. This does not guarantee that other conditions will not occur in the actual environment where louvers must operate.

The louver system should be designed with a reasonable safety factor for louver performance. To ensure protection from water carryover, design with a performance level somewhat below maximum desired pressure drop and .01 oz./sq. ft. of water penetration.

WATER PENETRATION

Test size 48" wide x 48" high (1219 x 1219)

Beginning point of water penetration at .01 oz./sq. ft. is 1023 fpm (312 m/min).



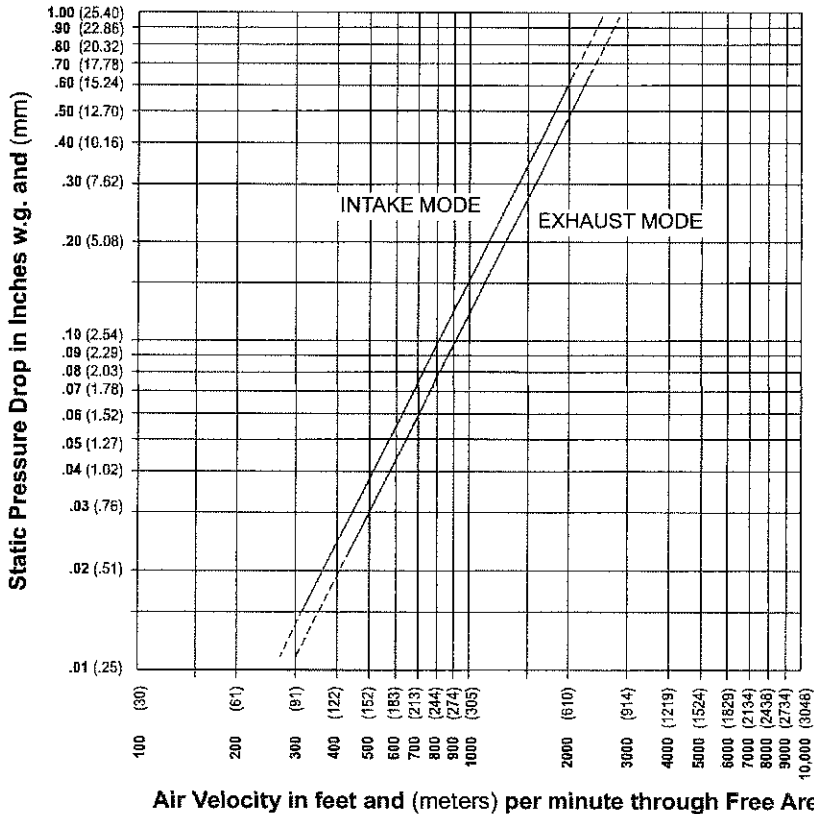
FREE AREA GUIDE

Free Area Guide shows free area in ft² and m² for various sizes of ELF6375DX and ELF6375DXH.

Width - Inches and Meters

Height - Inches and Meters	12	18	24	30	36	42	48	54	60	66	72	78	84	90	96	102	108	114	120
	0.30	0.46	0.61	0.76	0.91	1.07	1.22	1.37	1.52	1.68	1.83	1.98	2.13	2.29	2.44	2.59	2.74	2.90	3.05
12 0.30	0.31 0.03	0.49 0.05	0.67 0.06	0.86 0.08	1.04 0.10	1.22 0.11	1.41 0.13	1.59 0.15	1.77 0.16	1.96 0.18	2.14 0.20	2.32 0.22	2.51 0.23	2.69 0.25	2.88 0.27	3.06 0.28	3.25 0.30	3.43 0.32	3.61 0.34
18 0.46	0.58 0.05	0.93 0.09	1.28 0.12	1.63 0.15	1.98 0.18	2.32 0.22	2.68 0.25	3.03 0.28	3.37 0.31	3.73 0.35	4.08 0.38	4.42 0.41	4.77 0.44	5.13 0.48	5.48 0.51	5.82 0.54	6.18 0.57	6.52 0.61	6.87 0.64
24 0.61	0.86 0.08	1.38 0.13	1.89 0.18	2.40 0.22	2.92 0.27	3.43 0.32	3.96 0.37	4.47 0.42	4.98 0.46	5.50 0.51	6.02 0.56	6.53 0.61	7.05 0.66	7.57 0.70	8.09 0.75	8.60 0.80	9.12 0.85	9.63 0.89	10.15 0.94
30 0.76	1.14 0.11	1.82 0.17	2.50 0.23	3.18 0.30	3.87 0.36	4.54 0.42	5.24 0.49	5.92 0.55	6.59 0.61	7.28 0.68	7.97 0.74	8.64 0.80	9.33 0.87	10.01 0.93	10.70 0.99	11.37 1.06	12.06 1.12	12.74 1.18	13.42 1.25
36 0.91	1.41 0.13	2.26 0.21	3.11 0.29	3.95 0.37	4.80 0.45	5.64 0.52	6.52 0.61	7.35 0.68	8.18 0.76	9.04 0.84	9.89 0.92	10.73 1.00	11.58 1.08	12.44 1.16	13.29 1.24	14.13 1.31	14.98 1.39	15.82 1.47	16.67 1.55
42 1.07	1.69 0.16	2.70 0.25	3.72 0.35	4.72 0.44	5.75 0.53	6.74 0.63	7.79 0.72	8.79 0.82	9.79 0.91	10.81 1.00	11.83 1.10	12.83 1.19	13.86 1.29	14.88 1.38	15.89 1.48	16.90 1.57	17.92 1.67	18.92 1.76	19.94 1.85
48 1.22	1.97 0.18	3.15 0.29	4.33 0.40	5.50 0.51	6.69 0.62	7.86 0.73	9.08 0.84	10.24 0.95	11.40 1.06	12.59 1.17	13.78 1.28	14.95 1.39	16.14 1.50	17.33 1.61	18.51 1.72	19.68 1.83	20.87 1.94	22.04 2.05	23.23 2.16
54 1.37	2.24 0.21	3.59 0.33	4.94 0.46	6.27 0.58	7.63 0.71	8.96 0.83	10.35 0.96	11.67 1.08	13.00 1.21	14.35 1.33	15.71 1.46	17.04 1.58	18.40 1.71	19.75 1.84	21.10 1.96	22.44 2.09	23.79 2.21	25.12 2.33	26.48 2.46
60 1.52	2.52 0.23	4.03 0.37	5.55 0.52	7.05 0.66	8.57 0.80	10.06 0.93	11.62 1.08	13.12 1.22	14.60 1.36	16.13 1.50	17.65 1.64	19.14 1.78	20.67 1.92	22.19 2.06	23.71 2.20	25.21 2.34	26.73 2.48	28.22 2.62	29.75 2.76
66 1.68	2.80 0.26	4.47 0.42	6.16 0.57	7.82 0.73	9.51 0.88	11.17 1.04	12.90 1.20	14.56 1.35	16.20 1.51	17.90 1.66	19.59 1.82	21.24 1.97	22.94 2.13	24.63 2.29	26.31 2.44	27.98 2.60	29.67 2.76	31.32 2.91	33.01 3.07
72 1.83	3.08 0.29	4.92 0.46	6.76 0.63	8.59 0.80	10.45 0.97	12.27 1.14	14.18 1.32	16.00 1.49	17.81 1.66	19.67 1.83	21.53 2.00	23.35 2.17	25.21 2.34	27.07 2.52	28.91 2.69	30.74 2.86	32.60 3.03	34.42 3.20	36.28 3.37
78 1.98	3.35 0.31	5.36 0.50	7.37 0.68	9.37 0.87	11.40 1.06	13.38 1.24	15.45 1.44	17.44 1.61	19.41 1.80	21.44 1.99	23.47 2.18	25.45 2.37	27.48 2.55	29.51 2.74	31.52 2.93	33.51 3.11	35.54 3.30	37.52 3.49	39.55 3.68
84 2.13	3.63 0.34	5.80 0.54	7.98 0.74	10.14 0.94	12.34 1.15	14.48 1.35	16.73 1.55	18.88 1.75	21.02 1.95	23.21 2.16	25.41 2.36	27.55 2.56	29.75 2.76	31.94 2.97	34.12 3.17	36.28 3.37	38.48 3.58	40.62 3.77	42.82 3.98
90 2.29	3.91 0.36	6.25 0.58	8.59 0.80	10.92 1.01	13.28 1.23	15.59 1.45	18.01 1.67	20.32 1.89	22.62 2.10	24.98 2.32	27.35 2.54	29.65 2.76	32.02 2.98	34.38 3.19	36.73 3.41	39.05 3.63	41.41 3.85	43.72 4.06	46.09 4.28

PRESSURE DROP



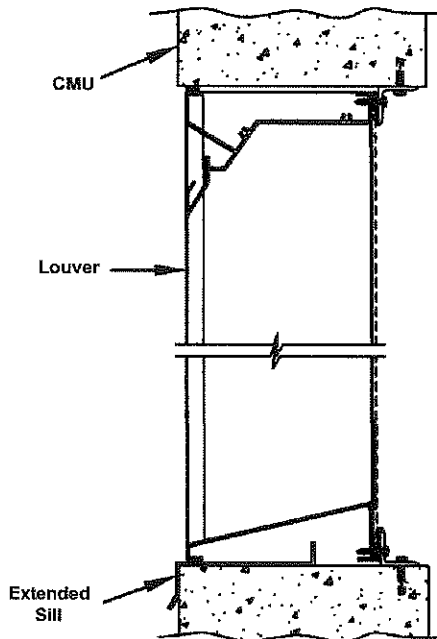
Ratings do not include the effect of a bird screen.



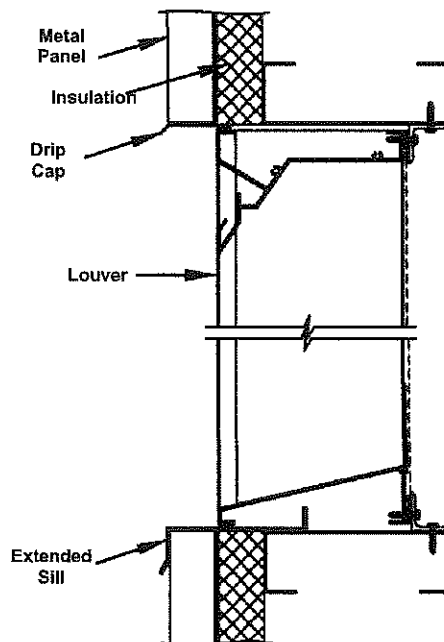
Ruskin Manufacturing Company certifies that the ELF6375DX and ELF6375DXH Louvers shown herein is licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to air performance ratings and water penetration ratings only.

TYPICAL INSTALLATION DETAILS

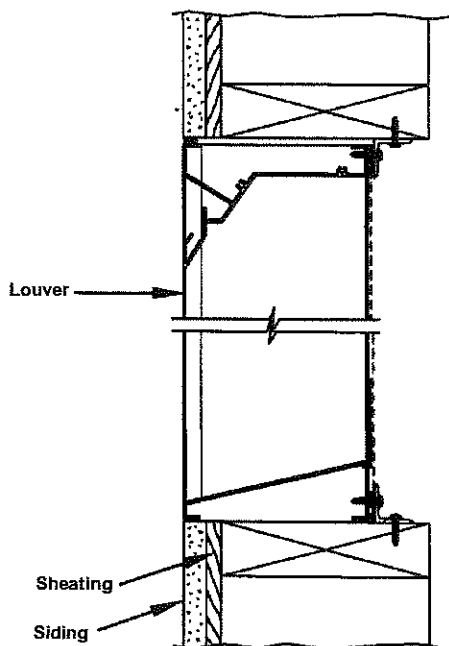
Masonry Wall



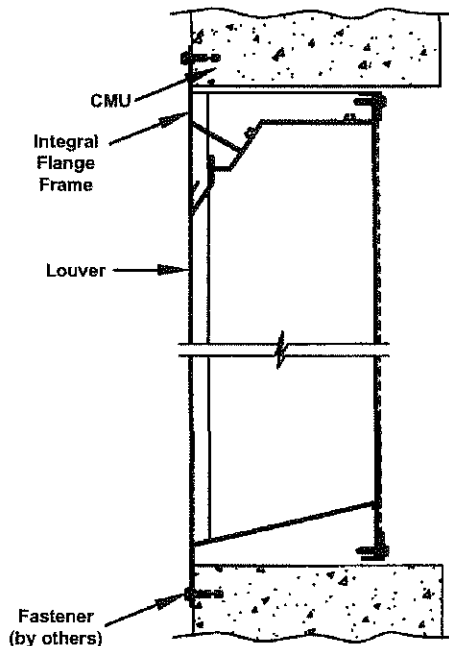
Metal Panel Wall



Wood Installation



Flange Mount



Accessories at additional cost.

RUSKIN®

3900 Dr. Greaves Rd.
 Kansas City, MO 64030
 (816) 761-7476
 FAX (816) 765-8955

Enhanced Performance Roof Hatches



Ideal for Green Building Designs and Applications That Require Higher Energy Efficiency

The new thermally enhanced design features special gasketing and increased insulation for superior thermal performance to improve the energy efficiency of your building.



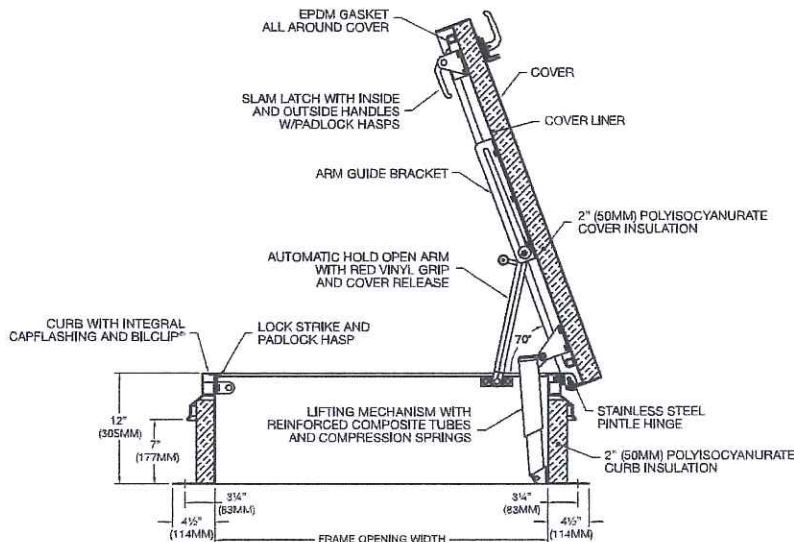
Available in Enhanced Performance Design

Design available on a number of standard roofing products. Look for this leaf logo throughout the catalog.

Type S-50T Roof Hatch Shown

Features & Benefits:

- Energy efficiency exceeds standard hatches by more than 48%
- Meets LEED® standards for recycled content
- High solar reflective index (SRI)
- 2" (50mm) of ozone-friendly polyisocyanurate insulation in cover and curb
- EPDM gasketing with enhanced weather-resistance
- 11 gauge (2.3mm) mill finish aluminum construction



Type S-50T and E-50T detail shown. All other models open to 90°.

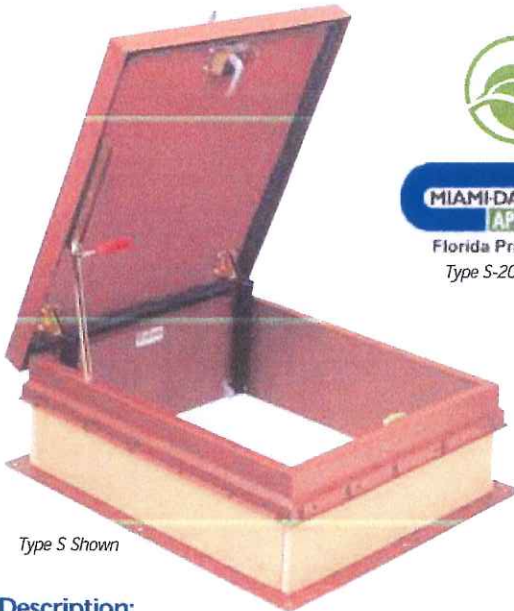


Type NB-50T



Type L-50T

Type S, Type E Ladder Access

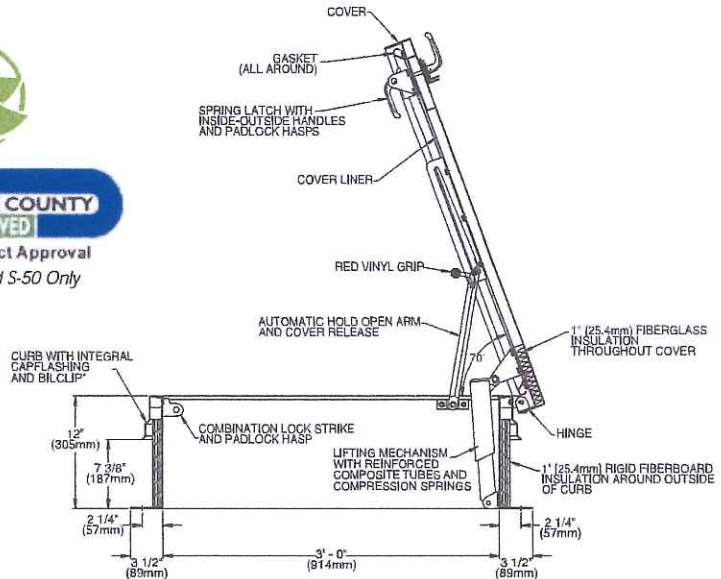


Type S Shown



MIAMI-DADE COUNTY APPROVED

Florida Product Approval
Type S-20 and S-50 Only



Description:

The easy, one-hand operation, to the fully open or closed position, provides the user the security of having one hand firmly on the ladder at all times. Available in galvanized steel, aluminum or stainless steel construction.

Specifications:

Material (select one)

- Steel: Cover and frame are 14 gauge (1.9mm) G-90 paint bond galvanized steel
- Aluminum: Cover and frame are 11 gauge (2.3mm) aluminum
- Stainless Steel: Cover and frame are 14 gauge (1.9mm) Type 304 stainless steel

Cover

Brakeformed, hollow-metal design with 1" (25.4mm) concealed fiberglass insulation, 3" (76mm) beaded, overlapping flange, fully welded at corners, and internally reinforced for 40 psf (195 kg/m²) live load

Curb

12" (305mm) in height with integral capflashing, 1" (25.4mm) fiberboard insulation, fully welded at corners, and 3-1/2" (89mm) mounting flange with 7/16" holes (11mm) provided for securing frame to the roof deck

Gasket

Extruded EPDM rubber gasket permanently adhered to cover

Hinges

Heavy-duty pintle hinges with 3/8" (9.5mm) Type 316 stainless steel hinge pins

Latch

Slam latch with interior and exterior turn handles and padlock hasps

Lift Assistance

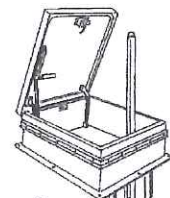
Compression spring operators enclosed in telescopic tubes. Automatic hold-open arm with grip handle release.

Finish

- Steel: Alkyd base red oxide primer
- Aluminum: Mill finish
- Stainless Steel: Type 304 stainless steel with sandblast finish

Hardware

- Steel: Engineered composite compression spring tubes. Steel compression springs. All other hardware is zinc plated/chromate sealed.
- Aluminum: Engineered composite compression spring tubes. Steel compression springs. Type 316 stainless steel hinges. All other hardware is zinc plated/chromate sealed.
- Stainless Steel: Type 316 stainless steel



Shown with optional Bilco LadderUP[®] Safety Post



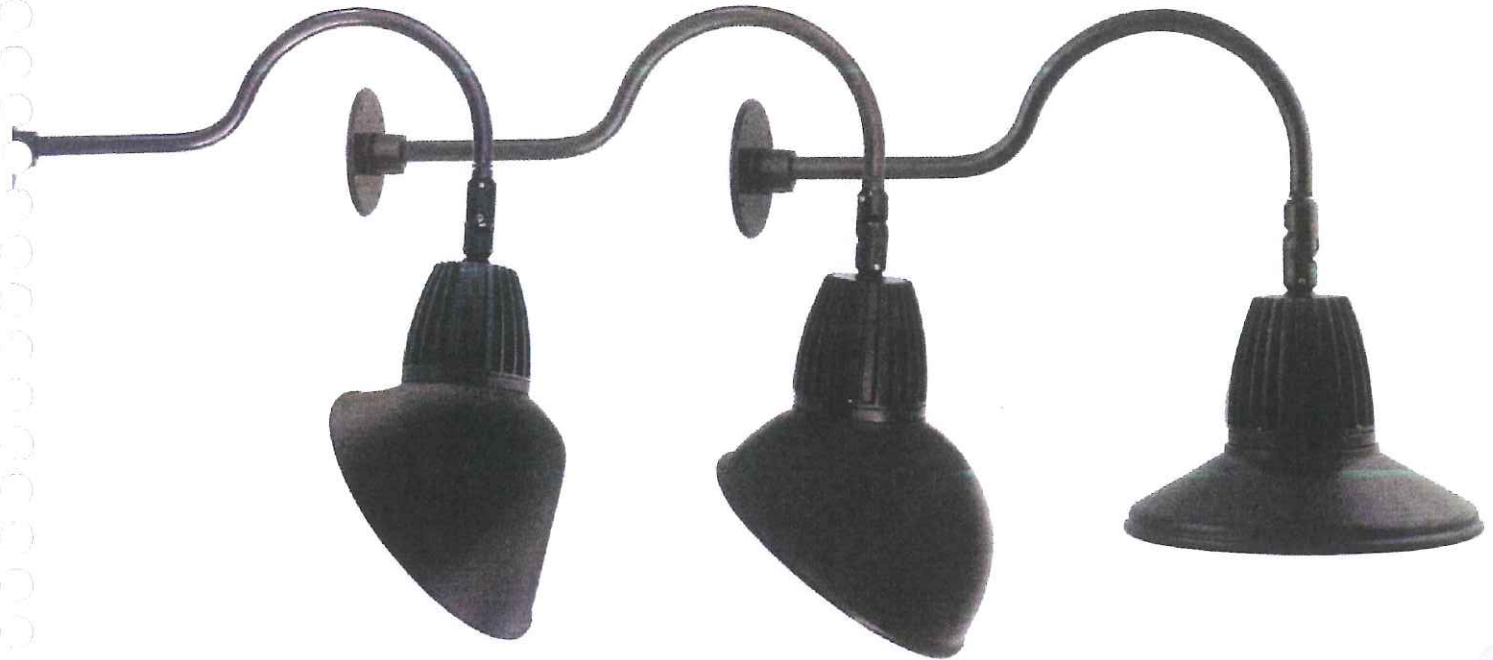
Standard Sizes and Weights

SIZE		STEEL		STEEL CURB & ALUMINUM COVER			ALUMINUM		STAINLESS STEEL				
(width x length)		Model #	Weight		Model #	Weight		Model #	Weight				
inches	mm		lbs.	kg.		lbs.	kg.		lbs.	kg.			
36 x 30	914 x 762	S-20	183	83	S-40	150	68	S-50	110	50	S-90*	183	83
36 x 36	914 x 914	E-20	207	94	E-40	184	84	E-50	117	53	E-90*	207	94

*These models are a special order.

LGOOSE™

LED GOOSENECKS



24" black gooseneck arm,
13W LED head and
Angled Cone Shade

24" black gooseneck arm,
13W LED head and
Angled Dome Shade

24" black gooseneck arm,
13W LED head and
Straight Shade

SPECIFICATIONS

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

Finish:

Black or white chip and fade resistant polyester powder coat finish.

LED Light Engine:

Single multi-chip, 13 Watt high-output long-life LED.

13W Driver: Constant Current, 100-277V, 50/60 Hz; 100-240VAC: 0.3-0.15 Amps, 277VAC: 0.15 Amps. THD ≤ 20% Power Factor: 97.5%

California Title 24:

RAB LED LGOOSE complies with California Title 24.

Heatsink:

Custom heat sink assembly in thermal contact with die-cast aluminum housing for superior heat sinking.

Cold Weather Starting:

The minimum starting temperature is -40°C (40°F).

Green Technology:

RAB LEDs are Mercury and UV free, and are RoHS compliant.

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 50,000 hours of operation.

Gaskets:

High Temperature Silicone.

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate.

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw.

Shades:

Angled Cone, Angled Dome or Straight Shade offered.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows ANSI Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Color Stability:

RAB LEDs exceed industry standards for chromatic stability.

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures.

Patents:

RAB LED Gooseneck design is protected by patents pending in U.S., Canada and China.

Main Street Just Got Brighter... And Greener.

BUILD YOUR OWN FIXTURE



LFGNLEDB
Frosted Lens & Door Frame
Replacement, Black

LFGNLEDW
Frosted Lens & Door Frame
Replacement, White



LRFGNLEDB
Clear Lens &
Reflector Kit



LRFGNLEDW
Clear Lens &
Reflector Kit



GOOSE1B
Gooseneck 24" Arm

GOOSE1W
Gooseneck 24" Arm



GNLED13NB
13W LED Head



GSACB
Angled Cone Shade



GSADB
Angled Dome Shade



GSSTB
Straight Shade



GNLED13NW
13W LED Head



GSACW
Angled Cone Shade



GSADW
Angled Dome Shade



GSSTW
Straight Shade

CATALOG NUMBERS

Catalog # Black	Catalog # White	Description	LED Watts	Input Watts	Color Temperature	Lumen Output	Lumens per Watt	Voltage
GNLED13YB	GNLED13YW	13W LED Head	13	15.1	Warm	556	36	100-277V
GNLED13NB	GNLED13NW	13W LED Head	13	15.1	Neutral	643	43	100-277V
GOOSE1B	GOOSE1W	Gooseneck 24" Arm	-	-	-	-	-	-
GSACB	GSACW	Angled Cone Shade	-	-	-	-	-	-
GSADB	GSADW	Angled Dome Shade	-	-	-	-	-	-
GSSTB	GSSTW	Straight Shade	-	-	-	-	-	-
LRFGNLEDB	LRFGNLEDW	Clear Lens & Reflector Kit w/Door Frame	-	-	-	-	-	-
LFGNLEDB	LFGNLEDW	Frosted Lens & Door Frame Replacement	-	-	-	-	-	-

BUY WITH CONFIDENCE



Fully Shielded
Full Cutoff Optics



For use on LEED
buildings to attain
Light Pollution
Reduction Credit



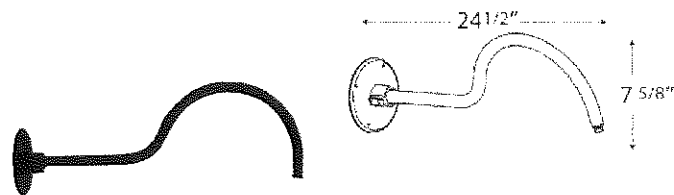
SUITABLE FOR WET LOCATIONS

GOOSE1B

Arm only for LED Gooseneck. Compatible with LED Gooseneck.

Color: Black

Weight: 0.0 lbs



Lamp Info

Type: -
 Watts: 0
 Shape/Size: N/A
 Base: N/A
 ANSI: N/A
 Hours: 0
 Lamp Lumens: 0
 Efficacy: N/A

Ballast Info

Type: 0
 120V: N/A
 208V: N/A
 240V: N/A
 277V: N/A
 Input Watts: N/A
 Efficiency: N/A

Technical Specifications

Component Only:

This is a component for ordering LED Goosenecks. Not a complete fixture without Shade and Head.

Construction:

Die cast aluminum.

Finish:

Chip and fade resistant polyester powder coat finish in black color.

Country of Origin:

Designed by RAB in New Jersey and assembled in Taiwan

Trade Agreements Act Compliant:

This product is a product of Taiwan and a "designated country" end product that complies with the Trade Agreements Act.

GSA Schedule:

This product is suitable for listing on the GSA Schedule of the US General Services in accordance with FAR Subpart 25.4

Ambient Temperature:

Suitable for use in 40C ambient temperatures.

GNLED13NB

Gooseneck LED Head only. Order in combination with Arm and shade. Available in various color temperatures.

Color: Black

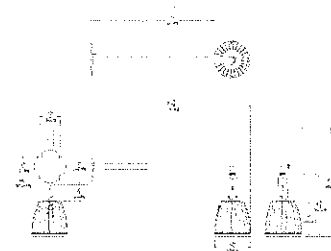
Weight: 0.0 lbs

LED Info

Watts: 13
 Color Temp: 4000K (Neutral)
 Color Accuracy: N/A
 L70 Lifespan: 0
 LM79 Lumens: 643
 Efficacy: 43 LPW

Driver Info

Type: Constant Current
 120V: 0.3 A
 208V: 0.3 A
 240V: 0.3 A
 277V: 0.15 A
 Input Watts: 15W
 Efficiency: 87%



Technical Specifications

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

LED Light Engine:

Single multi-chip, 13W high-output, long-life LED Driver Constant Current.

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw.

Heatsink:

Custom heat sink assembly in thermal contact with die-cast aluminum housing for superior heat sinking.

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate.

Gaskets:

High Temperature Silicone

Finish:

Chip and fade resistant polyester powder coat finish.

Surge Protection:

4kv

Color Temperature (Nominal CCT):

4000 K

Fixture Efficacy:

32.6 Lumens per Watt

Color Accuracy:

87 CRI

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 50,000 hours of operation.

Color Stability:

RAB LED products significantly exceed Energy Star Requirements for Chromatic Stability during LM-80 Testing.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Green Technology:

RAB LEDs are Mercury and UV free.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Patents:

The design of the Gooseneck is protected by patents pending in US, Canada, China and Taiwan.

Warranty:

RAB LED fixtures give you peace of mind because both the fixture and light engine components are backed by RAB's 5 Year Warranty. For more information,

Country of Origin:

Designed by RAB in New Jersey and assembled in Taiwan

RAB
LIGHTING

Tech Help Line: 888 RAB-1000

Email: sales@rabweb.com

On the web at: www.rabweb.com

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Note: Specifications are subject to change without notice

Page 1 of 2

GNLED13NB - continued

Trade Agreements Act Compliant:

This product is a product of Taiwan and a "designated country" end product that complies with the Trade Agreements Act.

GSA Schedule:

This product is suitable for listing on the GSA Schedule of the US General Services in accordance with FAR Subpart 25.4

Ambient Temperature:

Suitable for use in 40C ambient temperatures.

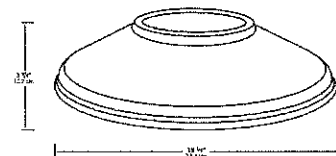
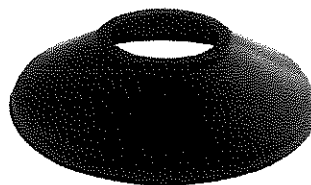


GSSTB

The Straight Shade is decorative and does not interfere with the light output of the Gooseneck.

Color: Black

Weight: 0.0 lbs



Technical Specifications

Component Only:

This is a component for ordering LED Goosenecks. Not a complete fixture without Arm and Head.

Construction:

Die cast aluminum.

Finish:

Chip and fade resistant polyester powder coat finish in black color.

Country of Origin:

Designed by RAB in New Jersey and assembled in Taiwan

Trade Agreements Act Compliant:

This product is a product of Taiwan and a "designated country" end product that complies with the Trade Agreements Act.

GSA Schedule:

This product is suitable for listing on the GSA Schedule of the US General Services in accordance with FAR Subpart 25.4

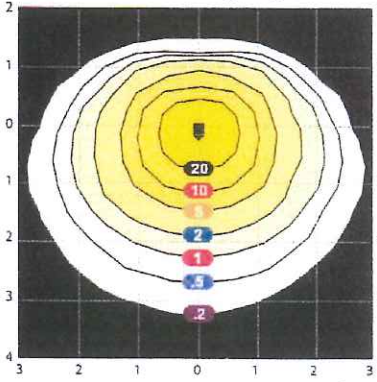
Ambient Temperature:

Suitable for use in 40C ambient temperatures.

Values shown are for cool light only. For neutral and warm IES Photometric files, visit www.rabweb.com. Search for the product and click "IESFile".

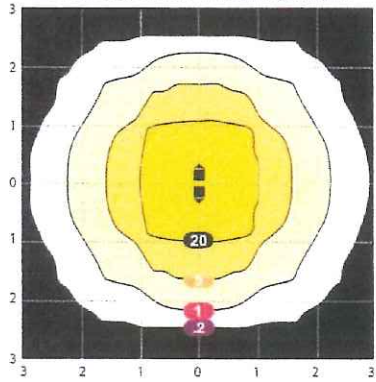
BLED13

13W LED at 3.5' Mounting Height



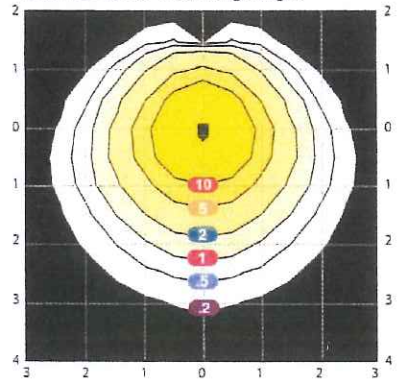
BLED2x13

Two 13W LEDs at 3.5' Mounting Height



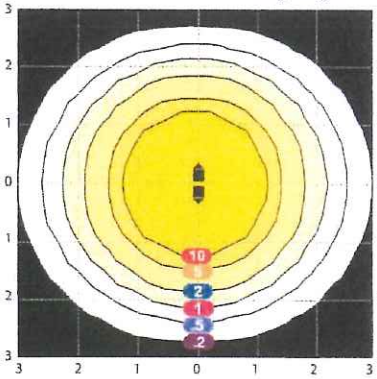
BLED20

20W LED at 3.5' Mounting Height



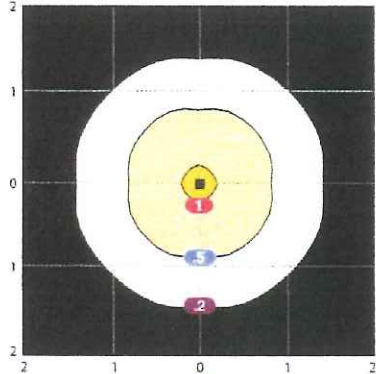
BLED2x20

Two 20W LEDs at 3.5' Mounting Height



VXLED13DG

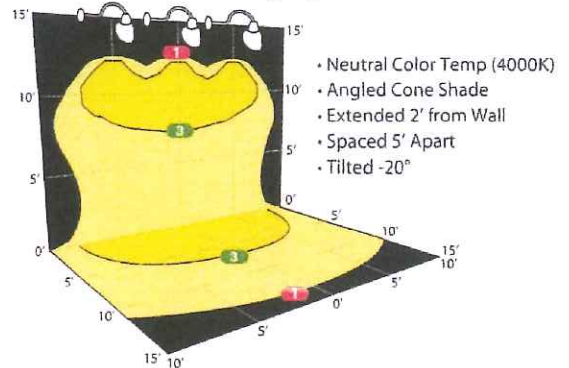
13W LED at 10' Mounting Height



Mounting Height	8	10	12	14	16
Multiplier	1.6	1.0	0.7	0.5	0.4

GNLED13B

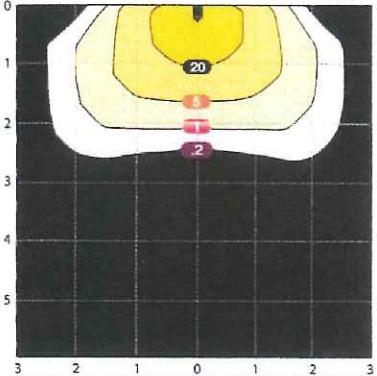
Three 13W LEDs at 15' Mounting Height



Grid Scale = 5' 0" - Values shown in Footcandles

SLED5

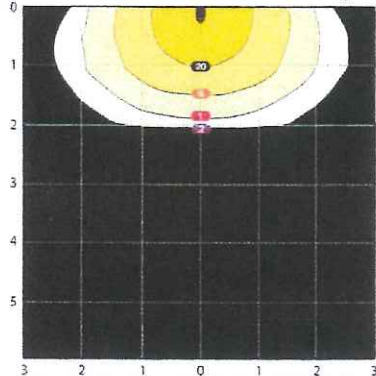
5W LED Square Fixture at 1.5' Mounting Height



Mounting Height	1.5	2.0	3.5	6.0
Multiplier	1.0	.56	.18	.06

SLEDR5

5W LED Round Fixture at 1.5' Mounting Height



Mounting Height	1.5	2.0	3.5	6.0	8.0
Multiplier	1.0	.56	.18	.06	.04

L[®]PACK

LED WALLPACKS



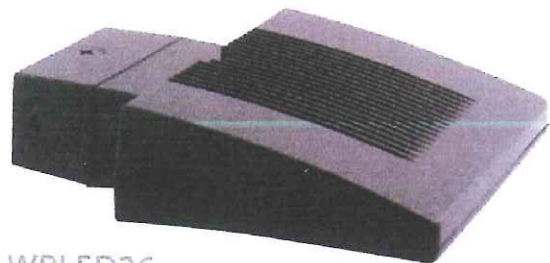
WPLED5
with junction box for conduit entry



WPLED10
with junction box for conduit entry



WPLED20
with surface mount
for recessed boxes



WPLED26
with junction box for conduit entry

SPECIFICATIONS

UL Listing:

Suitable for wet locations. Suitable for mounting within 4' of the ground.

Finish:

White or bronze chip and fade resistant polyester powder coat finish.

LED Light Engine:

Multi-chip 5, 10 and 13 Watt high-output, long-life LEDs.

5W Driver: Constant Current, Class 2, 100V-240V, 50/60 Hz, 1kv Surge Protection 350mA, 0.18 Amps., Power Factor: 43.7%

10W Driver: Constant Current, Class 2, 100V-240V, 50/60 Hz, 1kv Surge Protection 350mA, 0.3 Amps., Power Factor: 57.1%

13W Driver: Constant Current, Class 2, 100V-277V, 50/60 Hz, 4kv Surge Protection 720mA, 100-240VAC: 0.3-0.15 Amps 277VAC: 0.15 Amps., THD ≤ 20% Power Factor: 97.5%

20W Driver: Constant Current, Class 2, 100V-277V, 50/60 Hz, 4kv Surge Protection, 1000mA, 100-240VAC: 0.5 Amps 277VAC: 0.125 Amps., THD ≤ 10% Power Factor: 98.4%

26W Driver: Constant Current, Class 2, 100V-277V, 50/60 Hz, 6kv Surge Protection, 720mA, 100-277VAC: 0.4 Amps., THD ≤ 20%, Power Factor: 99.2%

California Title 24:

L[®]PACK complies with California Title 24.

Heatsink:

Die-cast aluminum thermal management system for optimal heat dissipation.



Cold Weather Starting:

The minimum starting temperature is -40°C (40°F); WPLED5: -20°C (-4°F).

Green Technology:

RAB LEDs are Mercury and UV free, and are RoHS compliant.

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 50,000 hours of operation.

Housing:

Precision die-cast aluminum housing.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows ANSI Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Color Stability:

RAB LEDs exceed industry standards for chromatic stability.

Ambient Temperature:

WPLED5, WPLED10 & WPLED26: Suitable for use in 40°C (104°F) ambient temperatures. WPLED13 & WPLED20: Suitable for use in 50°C (122°F) ambient temperatures.

Brackets:






GOOSE1; ARM24; SWIVEL30; ARMSV24: See page 23 for bracket details.

Patents:

RAB LED Wallpacks are protected by U.S. patents and patents pending in U.S., Canada, China, Taiwan & Mexico.

Switch to LED Wallpacks For 80% Energy Savings.

PERFORMANCE COMPARISON

	 WPLED5	 WPLED10	 WPLED13	 WPLED20	 WPLED26
Max. Mounting Height	10 ft.	12 ft.	20 ft.	25 ft.	25 ft.
Wallpack Equivalency	13W CFL/60W Incan.	70W MH	100W MH	150W MH	175W MH
HID Replacement Range	13W CFL/60W Incan.	35-100W	70-150W	100-175W	150-200W
Surge Protection	1000 Volts	1000 Volts	4000 Volts	4000 Volts	6000 Volts
Input Watts	5.3	13.2	14.9	21.7	30
Lumen Output*	196	547	1064	1401	1816
Lumens Per Watt*	37	41	71	65	61
Voltage	100-240	100-240	100-277	100-277	100-277
Mounting	Junction Box or Surface Plate	Junction Box or Surface Plate	Junction Box or Surface Plate	Junction Box or Surface Plate	Junction Box or Surface Plate

*Values shown for cool temperature. Please visit www.rabweb.com for details on neutral and warm. WPLED5 supplied with optional frosted lens.

CATALOG NUMBERS

Catalog # Bronze	Catalog # White	LED Watts	Color Temperature	Mounting Height Range
WPLED5	WPLED5W	5	Cool	5-10'
WPLED5Y	WPLED5YW	5	Warm	5-10'
WPLED5N	WPLED5NW	5	Neutral	5-10'
Surface Plate*				
WPLED10S	WPLED10SW	10	Cool	8-12'
WPLED10SY	WPLED10SYW	10	Warm	8-12'
Junction Box*				
WPLED10	WPLED10W	10	Cool	8-12'
WPLED10Y	WPLED10YW	10	Warm	8-12'
WPLED13	WPLED13W	13	Cool	8-20'
WPLED13Y	WPLED13YW	13	Warm	8-20'
WPLED13N	WPLED13NW	13	Neutral	8-20'
WPLED20	WPLED20W	20	Cool	10-20'
WPLED20Y	WPLED20YW	20	Warm	10-20'
WPLED20N	WPLED20NW	20	Neutral	10-20'
WPLED26	WPLED26W	26	Cool	10-25'
WPLED26N	WPLED26NW	26	Neutral	10-25'

*WPLED13, 20, 26 models include 2 Mounting options: Surface Plate for recessed Junction box & Junction Box. For Photocell option for WPLED20, 26 - add "/PC" before color suffix (Example: WPLED20/PC, WPLED26/PC).

BUY WITH CONFIDENCE



Fully Shielded
Full Cutoff Optics



For use on LEED
buildings to attain
Light Pollution
Reduction Credit

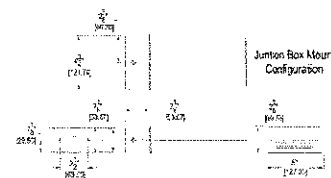


WPLED10

10 Watt Surface mount or Junction Box LED Wallpack. Equivalent to 70W HPS. IESNA Full Cutoff, Fully Shielded optics. Mount at 7-10'. 5 year warranty.

Color: Bronze

Weight: 3.3 lbs



LED Info

Watts: 10
 Color Temp: 5000K (Cool)
 Color Accuracy: 92
 L70 Lifespan: 0
 LM79 Lumens: 547
 Efficacy: 42 LPW

Driver Info

Type: Constant Current
 120V: 0.21 A
 208V: 0.14 A
 240V: 0.12 A
 277V: N/A
 Input Watts: 13W
 Efficiency: 77%

Technical Specifications

UL Listing:

Suitable for Wet Locations as a Downlight. Suitable for Damp Locations as an Uplight. Wall Mount only. Suitable for Mounting within 4ft. of ground.

Finish:

Chip and fade resistant polyester powder coat finish.

Color Stability:

RAB LEDs exceed industry standards for chromatic stability.

Color Uniformity:

RABs of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Cold Weather Starting:

The minimum starting temperature is -40F/-40C

Ambient Temperature:

Suitable for use in 40C (104F) ambient temperatures

Fixture Efficacy:

41 Lumens per Watt

Color Accuracy:

92 CRI

Color Temperature (Nominal CCT):

5000K

LED Light Engine:

Multi-chip 10W high output long life LED Driver
 Constant Current, Class II, 120V-240V, 50/60 Hz,
 350mA

Heatsink:

Cast aluminum thermal management system for optimal heat sinking. The LPACK is designed for cool operation, most efficient output and maximum LED life by minimizing LED junction temperature.

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 50,000 hours of operation.

Housing:

Precision die cast aluminum housing, lens frame.

Mounting:

Junction box.

California Title 24:

LPACK complies with California Title 24 building and electrical codes.

Green Technology:

RAB LEDs are Mercury, Arsenic and UV free.

Patents:

The LPACK design is protected under patents pending in the U.S., Canada, China, Taiwan and Mexico.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.



Tech Help Line: 888 RAB-1000

Email: sales@rabweb.com

On the web at: www.rabweb.com

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Note: Specifications are subject to change without notice

Page 1 of 2

WPLED10 - continued

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Gaskets:

High Temperature Silicone

Warranty:

RAB LED fixtures give you peace of mind because both the fixture and light engine components are backed by RAB's 5 Year Warranty. For more information,

Equivalency:

The WPLED10 is Equivalent in delivered lumens to a 70W Metal Halide Wallpack.

HID Replacement Range:

The WPLED10 can be used to replace 35-100W Metal Halide Wallpacks based on delivered lumens.

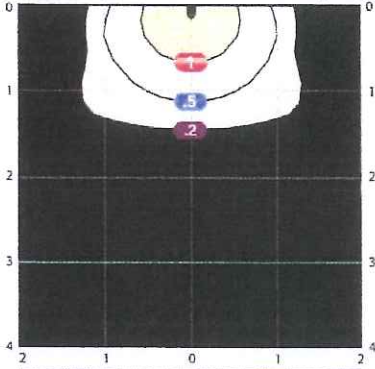


Photometrics

Layout grid represents Multiples of Mounting Height. Values shown in Footcandles.

WPLED5

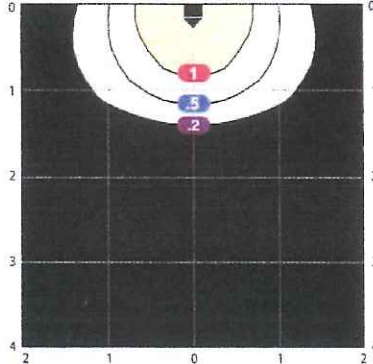
5W LED Square Fixture at 8' Mounting Height



Mounting Height	5	6	7	8	9	10
Multiplier	2.6	1.8	1.3	1.0	0.8	0.6

WPLEDR5

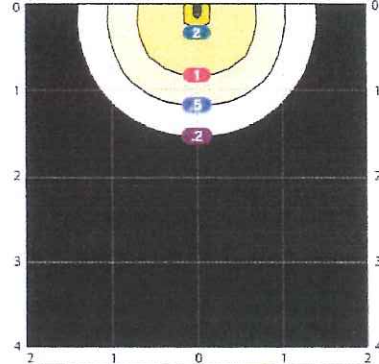
5W LED Round Fixture at 8' Mounting Height



Mounting Height	5	6	7	8	9	10
Multiplier	2.6	1.8	1.3	1.0	0.8	0.6

WPLED10

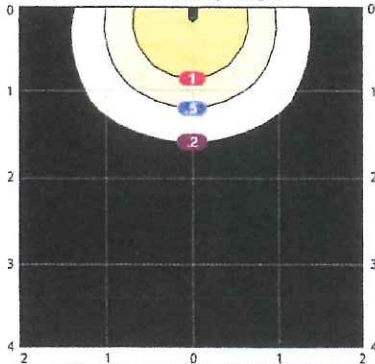
10W LED at 10' Mounting Height



Mounting Height	8	10	12
Multiplier	1.6	1.0	0.7

WPLED13

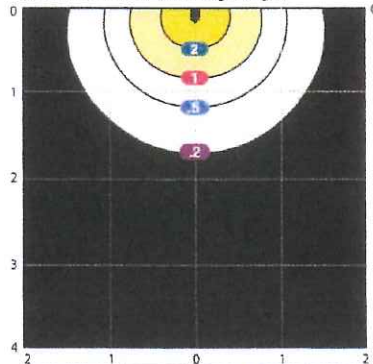
13W LED at 15' Mounting Height



Mounting Height	8	10	12	15
Multiplier	3.5	2.3	1.6	1.0

WPLED20

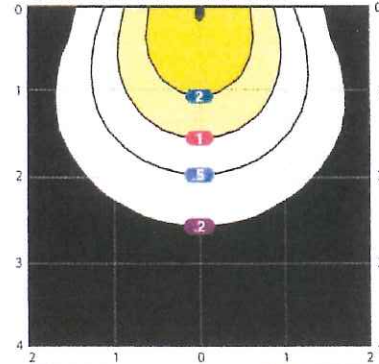
20W LED at 15' Mounting Height



Mounting Height	8	10	12	15	18
Multiplier	3.5	2.3	1.6	1.0	0.7

WPLED26

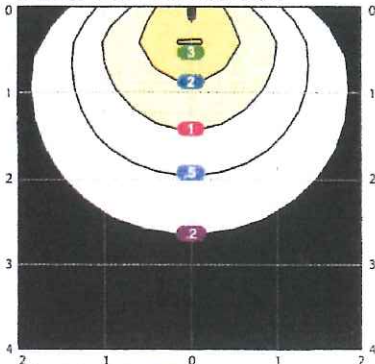
26W LED at 15' Mounting Height



Mounting Height	8	10	12	15	18	20
Multiplier	3.5	2.3	1.6	1.0	0.7	0.6

WPLED52

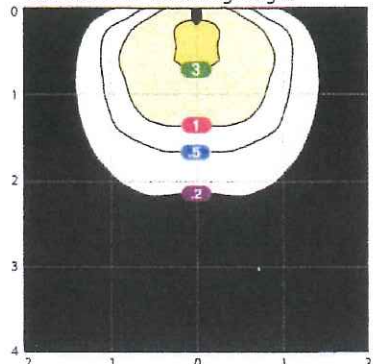
52W LED at 20' Mounting Height



Mounting Height	20	22	25	28	30
Multiplier	1.0	0.8	0.6	0.5	0.4

WPLED4T78 (Type IV)

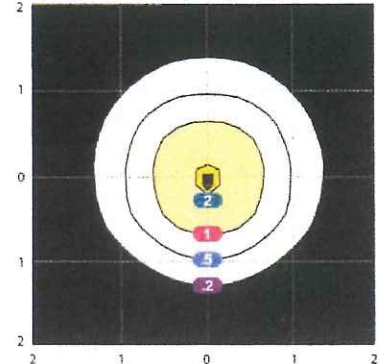
78W LED at 20' Mounting Height



Mounting Height	10	12	15	18	20	25
Multiplier	4.0	2.8	1.8	1.2	1.0	0.6

ALED10

10W LED at 10' Mounting Height



Mounting Height	6	8	10	12
Multiplier	2.8	1.6	1.0	0.7

