

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 071163

This is to certify that 468 Fore Street Realty, LLChas permission to Addition to Portland Harbor Hotel & interiorating existing day to Hotel Shell OnlyAT 468 FORE ST

C 038 F008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application or file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

PERMIT ISSUED
CITY OF PORTLAND

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Mahuts 10/5/07

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Shell Only
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1163	Issue Date:	CBL: 038 F008001
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Location of Construction: 468 FORE ST	Owner Name: 468 Fore Street Realty, LLC	Owner Address: 261 Commercial St	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-3

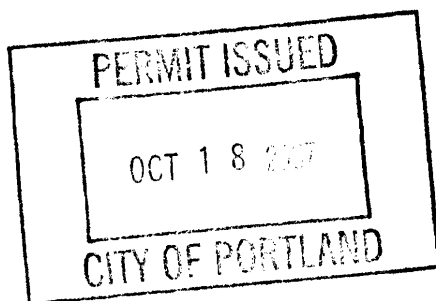
Past Use: Commercial / Day Spa	Proposed Use: Commercial Addition to Portland Harbor Hotel & integrating existing day spa to Hotel <u>Shell only</u>	Permit Fee: \$15,295.00	Cost of Work: \$1,520,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: <i>HELL</i> Type: <i>13/136</i> <i>10/16/07</i>	

Proposed Project Description: Addition to Portland Harbor Hotel & integrating existing day spa to Hotel <u>shell only</u>	Signature: <i>M. Hutton 10/15/07</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>[Signature]</i>		Date: <i>9/21/07</i>

Permit Taken By: dmartin	Date Applied For: 09/19/2007	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2007-0089</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/16/07</i> <i>9/21/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: <i>9/21/07</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/21/07</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
07-1163	09/19/2007	038 F008001

Location of Construction:	Owner Name:	Owner Address:	Phone:
468 FORE ST	468 Fore Street Realty, LLC	261 Commercial St	
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type:	
		Additions - Commercial	

Proposed Use:	Proposed Project Description:
Commercial Addition to Portland Harbor Hotel & integrating existing day spa to Hotel	Addition to Portland Harbor Hotel & integrating existing day spa to Hotel

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/21/2007**Note:** **Ok to Issue:** ☒

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This property is located within a Pedestrian Activities District (PAD) which requires all first floor uses to be retail-like. Any change of use for the first floor SHALL be required to meet the PAD standards.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 10/18/2007**Note:** **Ok to Issue:** ☒**Dept:** Fire **Status:** Approved with Conditions **Reviewer:** Deputy Chief Shutts **Approval Date:** 10/05/2007**Note:** **Ok to Issue:** ☒

- 1) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 2) A single source supplier should be used for all through penetrations.
- 3) Application requires State Fire Marshal approval.
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) The sprinkler system shall be installed in accordance with NFPA 13.
- 6) All construction shall comply with NFPA 101

Dept: Public Works **Status:** Open **Reviewer:** **Approval Date:****Note:** **Ok to Issue:** ☐**Dept:** Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:****Note:** **Ok to Issue:** ☐**Dept:** Parks **Status:** Open **Reviewer:** **Approval Date:****Note:** **Ok to Issue:** ☐**Dept:** Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:****Note:** **Ok to Issue:** ☐

Location of Construction: 468 FORE ST	Owner Name: 468 Fore Street Realty,LLC	Owner Address: 261 Commercial St	Phone:
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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Dept: DRC **Status:** Approved **Reviewer:** Philip DiPierro **Approval Date:** 10/18/2007
Note: **Ok to Issue:** ☒

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Molly Casto **Approval Date:**
Note: **Ok to Issue:** ☐

- 1) The submitted landscaping plan must be reviewed and approved by the City Arborist, prior to the issuance of a building permit
- 2) A construction mobilization plan must be submitted for review and approval by the City prior to the issuance of a building permit.
- 3) The applicant will continue to work with the Urban Designer and, as appropriate, Deb Andrews to resolve the lighting fixture style on the [Akari] building.
- 4) The applicant will continue to work with [City] staff to refine the door design on the Fore Street side of the Akari Building.

Comments:

9/19/2007-mes: this development has not received site plan approval yet. On hold until then.

9/21/2007-mes: Jeanie wants these permits that are waiting on planning to be passed on -STILL needs final site plan approvals.

10/15/2007-Idobson: Lannie/Jeannie, please take a look at the Pearl Place file, there should be an opinion from ICC regarding a required generator for this property.(please see item 4)

Thank you, yes there are some items that require further discussion:

- 1) Item number 4. This seems to be a potential problem. Without opening protectives that meet table 715.3 we have no firewall. Please research this further and either come up with an alternative design or a code justification that supports your design.
- 2) Item 10, Please provide that documentation from Dave Tetreault.
- 3) Item 12 Please provide product information for the intumescent paint that includes documentation that establishes compliance with Section 721.5.2 or another code justification for its use.
- 4) Item 13) Unfortunately, we (us and MSHA) had two different opinions from IBC on this so we asked for a formal. It turned out to be a contrary opinion for this specific situation for the building that fronts on Oxford St. near Pearl. The final ruling from the IBC was that because there is a required accessible floor that if four stories above "a level of exit discharge" the additional equipment is required. I'll ask City Hall staff to provide a copy for you.

>>> "Kevin Gough" <gough@archetypepa.com> 10/11/07 9:08 AM >>>
Hi Mike.

Hope your vacation went well. I am just writing to see if you have any further questions on our permit application for the hotel. I am in the office all day if you want to call or email me any items that still require attention over and above the letter I sent on October 1.

Welcome back to the rat-race.

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10/15/2007-Idobson: <<20071010133527837.pdf>> Soil/Daily Reports from the Civil Engineer.

Please note that all soil reports (regarding excavation, lift placement of new material, etc.) have now been completed and forwarded. Compaction test results (prior to the paving/concrete work) will be performed in the spring of 2008.

The message is ready to be sent with the following file or link attachments:

20071010133527837.pdf

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

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10/16/2007-ldobson: Kevin,

Thanks for the telephone meeting today! It really helped.
I just signed off on the permit will drop it off at City Hall for final processing tomorrow.

Thanks Again!

Mike

>>> "Kevin Gough" <gough@archetypepa.com> 10/16/07 9:34 AM >>>

Mike,

I have called and left a message with you to set up a meeting, which is a good idea. However, before we get there I might interject one more thing. When you say that a fire wall shall have no openings, I assume you are referring to 705.1 "Fire walls located on lot lines shall also comply with Section 503.2. Such fire walls (party walls) shall be constructed without openings". This is the only reference in the code, to my knowledge, to fire walls not being allowed openings protected in accordance with 715.3. The key here is that this wall is NOT on a lot line. This is all one property (as can be seen on the site plan and survey). This wall does conform to Section 705.8 Openings "Each opening through a fire wall shall be protected in accordance with Section 715.3". This wall, even when it contains a 3-hour protected door penetration, conforms entirely to the requirements for fire walls, including structural stability, horizontal continuity, etc., in addition to its being 24 inches thick on average (where 5 inches constitutes a 3-hour rating).

If you still think we should get together, I would be glad to meet; anytime, and the sooner the better for both me and my client.

Thanks, Mike.

Kevin Gough
Archetype, P.A.
48 Union Wharf
Portland, ME 04101
Phone: (207) 772-6022
Fax: (207) 772-4056
gough@archetypepa.com

-----Original Message-----

From: Mike Nugent [mailto:mjn@portlandmaine.gov]
Sent: Monday, October 15, 2007 7:48 PM
To: gough@archetypepa.com; lloyd@archetypepa.com
Cc: Jeanie Bourke; Lannie Dobson
Subject: RE: 468-470 Fore Street

Let's meet rather than go back and forth.

The fundamental issue with the fire wall is that because it is breached by the elevator shaft and resulting openings, it violates Section 705.1:

705.1 General.

Each portion of a building separated by one or more fire walls that comply with the provisions of this section shall be considered a

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separate building. The extent and location of such fire walls shall provide a complete separation.

Because of the breach, the wall is downgraded to a 1 1/2 hr wall which does not comply with section 705.4. The application cannot be approved in this fashion.

--The building that you are proposing is a 5 story building, just like Oxford St. and their opinion was that in the worst case, one may have to go down "four stories or more" to get to an exit discharge, thus requiring the emergency back up equipment for the elevator.

Let's get our letters together and call the IBC from City Hall.

Call me at 329-2354 and let's get together Wednesday or Thursday

>>> "Kevin Gough" <gough@archetypepa.com> 10/15/07 4:57 PM >>>
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Please see our response attached.

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From: Mike Nugent [mailto:mjn@portlandmaine.gov]
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Lannie/Jeannie, please take a look at the Pearl Place file, there should be an opinion from ICC regarding a required generator for this property.(please see item 4)

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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ☒ Footing/Building Location Inspection: Prior to pouring concrete
- ☒ Re-Bar Schedule Inspection: Prior to pouring concrete
- ☒ Foundation Inspection: Prior to placing ANY backfill
- ☒ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ☒ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

☒ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

☒ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X Carol Sahlf Alice Cook
Signature of Applicant/Designee

10/18/07
Date

[Signature]
Signature of Inspections Official

10.19.07
Date

CBL: 3878

Building Permit #: 071163

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Accessibility Building Code Certificate

Designer: Archetype, PA

Address of Project: 468-470 Fore Street

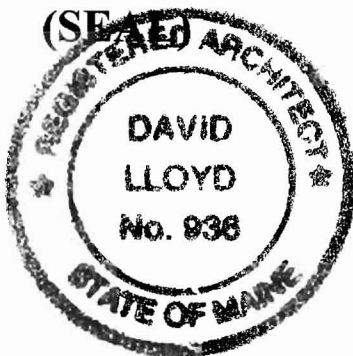
Nature of Project: Addition to Portland Harbor Hotel (retail, fitness room, conference room and suites) &
renovation of 470 Fore Street (retail, hotel and hotel office space).

The technical submissions cover
designed in compliance with
Law and Federal America
conform to the Federal
applicable.

as described above have been
the Maine Human Rights
with 4 units or more must
the proof of compliance if

*WAF
SAR
SUN
OR*

X



Archetype, PA

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022

For more information or to download this form and other permit applications visit the Inspections Division
on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: Archetype, PA

Date: September 14, 2007

Job Name: Portland Harbor Hotel Addition

Address of Construction: 468-470 Fore Street

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R-1, 5-2, M & B

Type of Construction 1B & 3 B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes

Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) Non Separated

Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) Yes

Structural Design Calculations

 Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>Retail</u>	<u>100 PSF</u>
<u>Offices</u>	<u>50 PSF</u>
<u>Hotel Suites</u>	<u>40 PSF</u>
<u>Conference</u>	<u>100 PSF</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)

100 MPH Basic wind speed (1809.3)

1.0 Building category and wind importance Factor, I_w
table 1604.5, 1609.5)

B Wind exposure category (1609.4)

+/- 0.18 Internal pressure coefficient (ASCE 7)

270 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)

15.9 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

ASCE 7 Design option utilized (1614.1)

I Seismic use group ("Category")

SDs = 0.37
SD1 = 0.16 Spectral response coefficients, SDs & SD1 (1615.1)

D Site class (1615.1.5)

IBC 2003 Live load reduction

 Roof *live* loads (1603.1.2, 1607.11)

46 PSF Roof snow loads (1603.7.3, 1608)

60 PSF Ground snow load, P_g (1608.2)

46 PSF If $P_g > 10$ psf, flat-roof snow load p_f

1.0 If $P_g > 10$ psf, snow exposure factor, C_e

1.0 If $P_g > 10$ psf, snow load importance factor, I_s

1.0 Roof thermal factor, C_t (1608.4)

N/A Sloped roof snowload, P_s (1608.4)

C Seismic design category (1616.3)

3D Basic seismic force resisting system (1617.6.2)

3.5 Response modification coefficient, R , and
deflection amplification factor, C_d (1617.6.2)

E.L.F.
ASCE 7 Analysis procedure (1616.6, 1617.5)

84K Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

N/A Partition loads (1607.5)

N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: September 14, 2007

From: Archetype, PA

These plans and / or specifications covering construction work on:

468-470 Fore Street

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: 

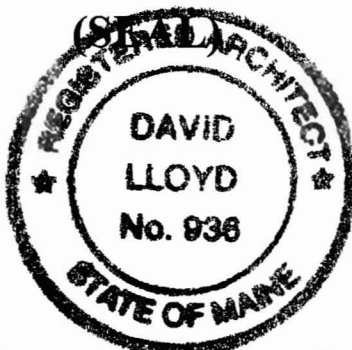
Title: Architect

Firm: Archetype, PA

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

A R C H I T E C T U R E

1 October 2007

RE: Permit Review 468-470 Fore Street

Comments by Mike Nugent, Consulting Plans Examiner, City of Portland

Response in RED by Archetype, P.A.

Some of the following was provided in the geotech reports and plans.
Please make sure we have addressed all of the following:

1. Recommended pier or pile types and installed capacities. – See Geotech Report and Sheet S1
2. Recommended center-to-center spacing of piers or piles. – See Geotech Report and Sheet S2
3. Driving criteria. – See Geotech Report and Specification Section 02300.
4. Installation procedures. – See Geotech Report and Specification Section 02300.
5. Field inspection and reporting procedures (to include procedures for verification of the installed bearing capacity where required). – See Geotech Report and Specification Section 02300 and “Statement of Special Inspections”.
6. Pier or pile load test requirements. – Not required per IBC 2003.
7. Durability of pier or pile materials. – See Geotech Report.
8. Designation of bearing stratum or strata. – See Geotech Report.
9. Reductions for group action, where necessary. – See Geotech Report.
10. Information establishing compliance with Section 1808.2.23 Seismic design of piers or piles.
– Piles, Pile Caps and Grade Beams comply with Section 1808.2.23.

2) Please confirm that the existing hotel building is type 1B Construction for the purpose of determining table 503 Compliance. Response: Based upon analysis of the drawings of the existing hotel it does meet the requirements for 1B construction non-combustibility.

3) The submittal that I received does not show the lot lines relative to the addition. Please provide this information for the purpose of determining fire separation distances. Response: See attached sheet for survey showing that the property encompasses all of the structures on the site including the Portland Harbor Hotel, the existing 470 Fore street, as well as the Harbor Plaza Building (Memic). Where the north-east corner of the Memic building approaches our addition at 468 Fore Street it comes within 3’-3” of the exterior face of the new wall. Due to this the entire wall is rated 1-hour (as shown on the drawings) and all penetrations conform to the separation distances listed in IBC Table 704.8 “Maximum area of exterior wall openings”.

4) If the elevator shaft penetrates the 3 hour firewall, (per table 715.3) all doors must have a 3 hour rating. Please provide product information for the elevator doors that establishes compliance with this requirement. Response: The maximum rating for an elevator door is 1-1/2 hours. The drawings show a 3-hour door on the masonry opening that is on a hold-back. This configuration has been approved by State Fire and by State Elevator Inspections.

Statement of Special Inspections

Project: *Portland Harbor Hotel Annex*

Location: *468-470 Fore Street, Portland, ME*

Owner: *468 Fore Street Realty, LLVC*

Design Professional in Responsible Charge: *David J. Tetreault, P.E.*

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

- ☒ Structural ☐ Mechanical/Electrical/Plumbing
☐ Architectural ☐ Other: _____

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *Monthly*

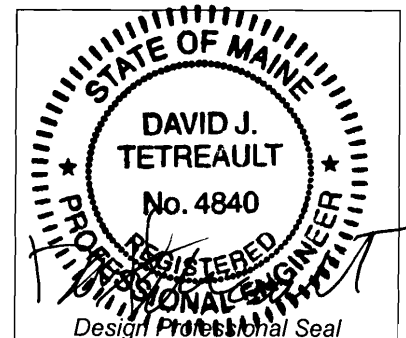
or ☐ per attached schedule.

Prepared by:

David J. Tetreault, P.E.
(type or print name)

David J. Tetreault
Signature

09/14/07
Date



Owner's Authorization:

Building Official's Acceptance:

Signature

Date

Signature

Date

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input checked="" type="checkbox"/> Wood Construction |
| <input checked="" type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone
1. Special Inspection Coordinator	<i>Structural Design Consulting, Inc.</i>	<i>22 Oakmont Drive Old Orchard Beach, ME 04064-4121 207-934-8038</i>
2. Inspector	<i>Sebago Technics</i>	<i>One Chabot Street P.O. Box 1339 Westbrook, ME 04098-1339 (207) 856-0277</i>
3 Testing Agency	<i>S.W Cole Engineering, Inc</i>	<i>286 Portland Road Gray, ME 04039 207 657-2866</i>
4		
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category	<i>C</i>
Quality Assurance Plan Required (Y/N)	<i>Y</i>

Description of seismic force resisting system and designated seismic systems:

<i>Seismic Force Resisting System</i>	<i>Ordinary Steel Moment Frame</i>
<i>HVAC ducts containing Hazardous Materials</i>	<i>None in Building</i>
<i>Piping and mechanical units containing flammable combustible or highly toxic materials</i>	<i>Seismic design and Q.A. plan by supplier if present in building</i>
<i>Anchorage of electrical equipment used for emergency Or standby power</i>	<i>Seismic design and Q.A. plan by supplier if present in building</i>

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)	<i>100 mph</i>
Wind Exposure Category	<i>B</i>
Quality Assurance Plan Required (Y/N)	<i>N</i>

The building is in wind exposure Category B with a 3-sec gust basic wind speed less than 110 mph therefore a quality assurance plan for wind is not required (IBC/2003 Section 1706.1.1.2)

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility.

Soils and Foundations

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Shallow Foundations	Y	2	<p><i>Inspect soils below elevator pit for adequate bearing capacity and consistency with geotechnical report.</i></p> <p><i>Inspect removal of unsuitable material and preparation of subgrade prior to placement of controlled fill</i></p>
2. Controlled Structural Fill	Y	3	<p><i>Perform sieve tests (ASTM D422 & D1140) and modified Proctor tests (ASTM D1557) of each source of fill material.</i></p> <p><i>Inspect placement, lift thickness and compaction of controlled fill.</i></p>
3. Deep Foundations	Y	2	<p><i>Inspect and log pile driving operations. Record pile driving resistance and verify compliance with driving criteria.</i></p> <p><i>Inspect piles for damage from driving and plumbness.</i></p> <p><i>Verify pile size, length and accessories.</i></p>
4. Load Testing			
4. Other:			

Cast-in-Place Concrete

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Mix Design	Y	3	Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.
2. Material Certification	N		
3. Reinforcement Installation	Y	3	Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters
4. Post-Tensioning Operations	N		
5. Welding of Reinforcing	N		
6. Anchor Rods	Y	3	Inspect size, positioning and embedment of anchor rods. Inspect concrete placement and consolidation around anchors.
7. Concrete Placement	Y	3	Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.
8. Sampling and Testing of Concrete	Y	3	Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).
9. Curing and Protection	Y	3	Inspect curing, cold weather protection and hot weather protection procedures.
10. Other:			

Precast Concrete

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Plant Certification / Quality Control Procedures	Y	1	Review PCI Plant Certification as Group C, Category C3.
2. Mix Design	Y Per PCI Certif		Inspect concrete batching operations and verify compliance with approved mix design
3. Material Certification	Y	1	Review Concrete material certificates Reinforcing and prestressing materials Admixtures Bearing pads
4. Reinforcement Installation	Per PCI Certif.	ACI-CCI ICC-RCSI	Inspect size, spacing, position and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials.
5. Prestress Operations	Per PCI Certif	ICC-PCSI	Inspect placement, stressing, grouting and protection of prestressing tendons
6. Concrete Placement	Per PCI Certif	ACI-CCI ICC-RCSI	Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.
7. Sampling and Testing of Concrete	Per PCI Certif	ACI-CFTT ACI-STT	Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).
8. Curing and Protection	Per PCI Certif	ACI-CCI ICC-RCSI	Inspect curing, cold weather protection and hot weather protection procedures.
9. Erected Precast Elements	Y	1	Inspect erection of precast concrete including member configuration, connections, welding and grouting.

Structural Steel

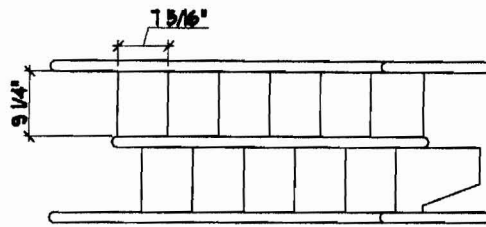
Item	Req'd Y/N	Agency # (Scope
1. Fabricator Certification/ Quality Control Procedures <input type="checkbox"/> Fabricator Exempt		1	Review shop fabrication and quality control procedures.
2. Material Certification	Y		Review certified mill test reports and identification markings on wide-flange shapes, high-strength bolts, nuts and welding electrodes
3. Open Web Steel Joists	N		
4. Bolting	Y	3	Inspect installation and tightening of high-strength bolts. Verify that splines have separated from tension control bolts. Verify proper tightening sequence.
5. Welding	Y	3	Visually inspect all field welds. Inspect pre-heat, post-heat and surface preparation between passes. Verify size and length of fillet welds. Ultrasonic testing of all full-penetration welds.
6. Shear Connectors	N		
7. Structural Details	Y	1	Inspect steel frame for compliance with structural drawings, including bracing, member configuration and connection details.
8. Metal Deck	N		
9. Other:	N		

Wood Construction

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	N		
2. Material Grading	Y	1	<i>Verify material grading marks.</i>
3. Connections	Y	1	<i>Verify that connections and fastenings comply with Contract Documents</i>
4. Framing and Details	Y	1	<i>Verify conformance with Contract Documents</i>
5. Diaphragms and Shearwalls	N		
6. Prefabricated Wood Trusses	N		

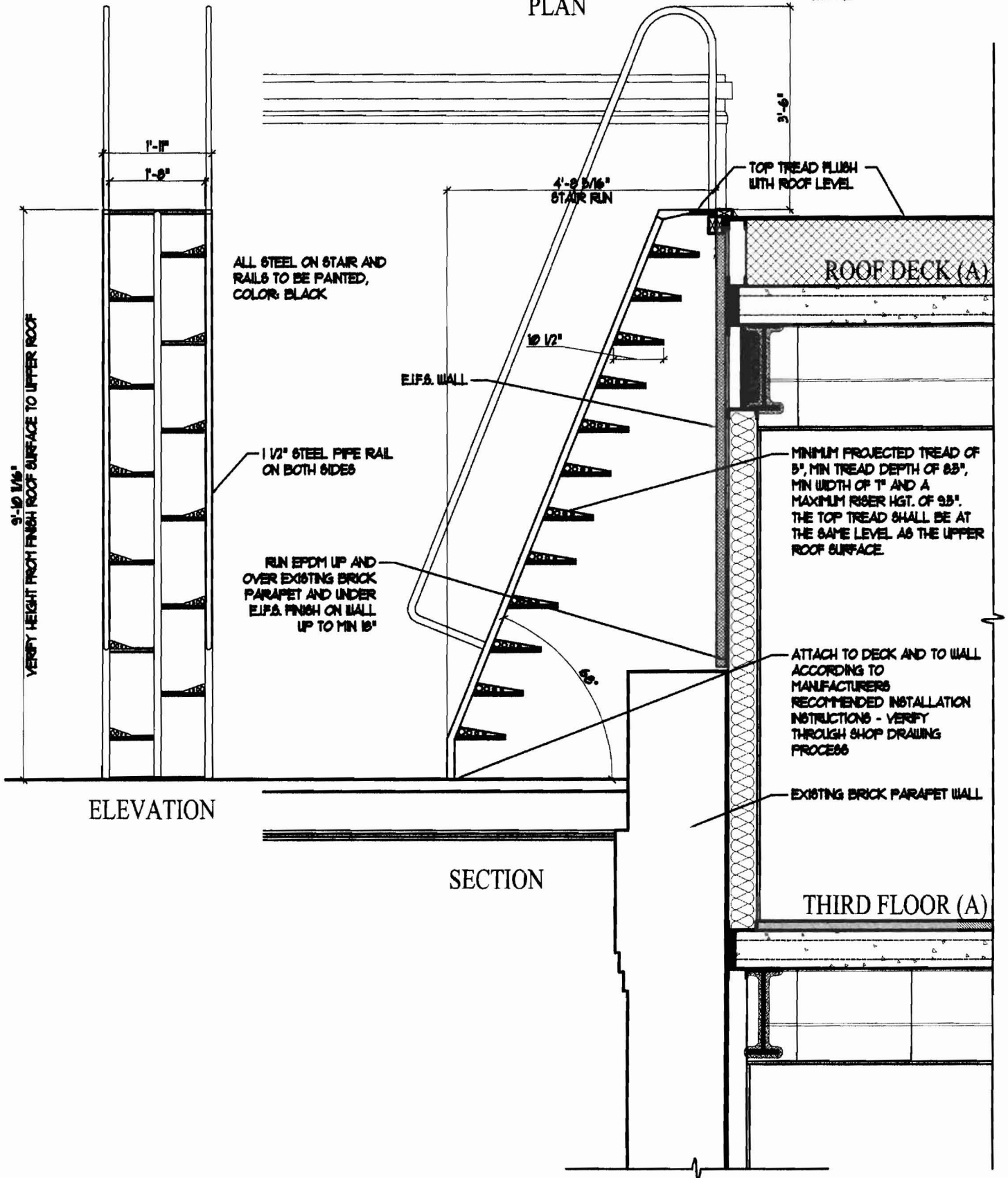
A R C H I T E C T Y P E

- 5) What is the use of the "Pantry" space in rooms 307 and 308? Response: Dry storage.
- 6) There are no plumbing or mechanical plans with the plan set. Response: Plumbing and Mechanical will be issued for a permit at a later time. The current permit is for construction of the shell only.
- 7) Please provide a UPC complaine assessment for the number of plumbing fixtures. Response: See response to item 6 above.
- 8) Please provide specs for the alternating tread stair that establishes compliance with Section 1009.10. Response: See attached drawing. This drawing and notation will be incorporated into the construction documents.
- 9) Where are we using FRT wood? Response: FRT wood is only designated for use in non-bearing exterior walls which carry no fire rating, and as called for on the drawings.
- 10) Please provide a structural assessment of the 470 roof that establishes its ability to carry the HVAC equipment. Response: David Tetreault, the structural engineer of record has stated that the existing roof framing has been analyzed and found to have sufficient capacity to support HVAC equipment, the dead load and snow/drift loads.
- 11) Please provide building elevations that show safety glazing locations, the class of safety glass and the testing standards (Section 2406). Response: All glass shown in the curtain wall and storefront systems is safety glass meeting the requirements of Section 2406.3.7. The glass is specified on the wall sections.
- 12) Where is intumescent fire proofing being used? Response: Intumescent fire proofing is being used in lieu of spray fireproofing only in those locations along column line 1 which have been designated to receive it in the drawings. The balance of the steel will be protected with 2-hour spray fireproofing.
- 13) Accessible means of egress Section 1007.2.1. It appears that this addition will qualify for this section and the resulting need for emergency operations and signaling devices (generator). Response: The elevator is located within the 470 Fore Street Building which is, according to ICC (from whom we have received a ruling) a three (3) story building with a basement. In addition to this, the three hour wall serves as a horizontal exit in the building at each floor at or above the level of exit discharge which exempts us from using the elevator as an accessible means of egress in accordance with IBC Section 1007.2.1, exception 1.



PLAN

STEEL ALTERNATING TREAD
STAIR BY LAFAYETTE INC. (OR
EQUAL)



A R C H E T Y P E

1 October 2007

RE: Permit Review 468-470 Fore Street

Comments by Mike Nugent, Consulting Plans Examiner, City of Portland

Response in RED by Archetype, P.A.

Some of the following was provided in the geotech reports and plans.
Please make sure we have addressed all of the following:

1. Recommended pier or pile types and installed capacities. – See Geotech Report and Sheet S1
2. Recommended center-to-center spacing of piers or piles. – See Geotech Report and Sheet S2
3. Driving criteria. – See Geotech Report and Specification Section 02300.
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5. Field inspection and reporting procedures (to include procedures for verification of the installed bearing capacity where required). – See Geotech Report and Specification Section 02300 and “Statement of Special Inspections”.
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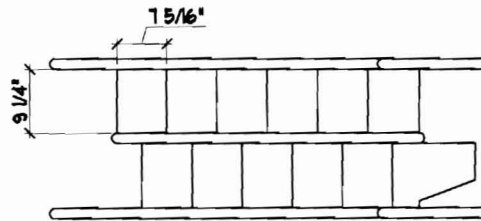
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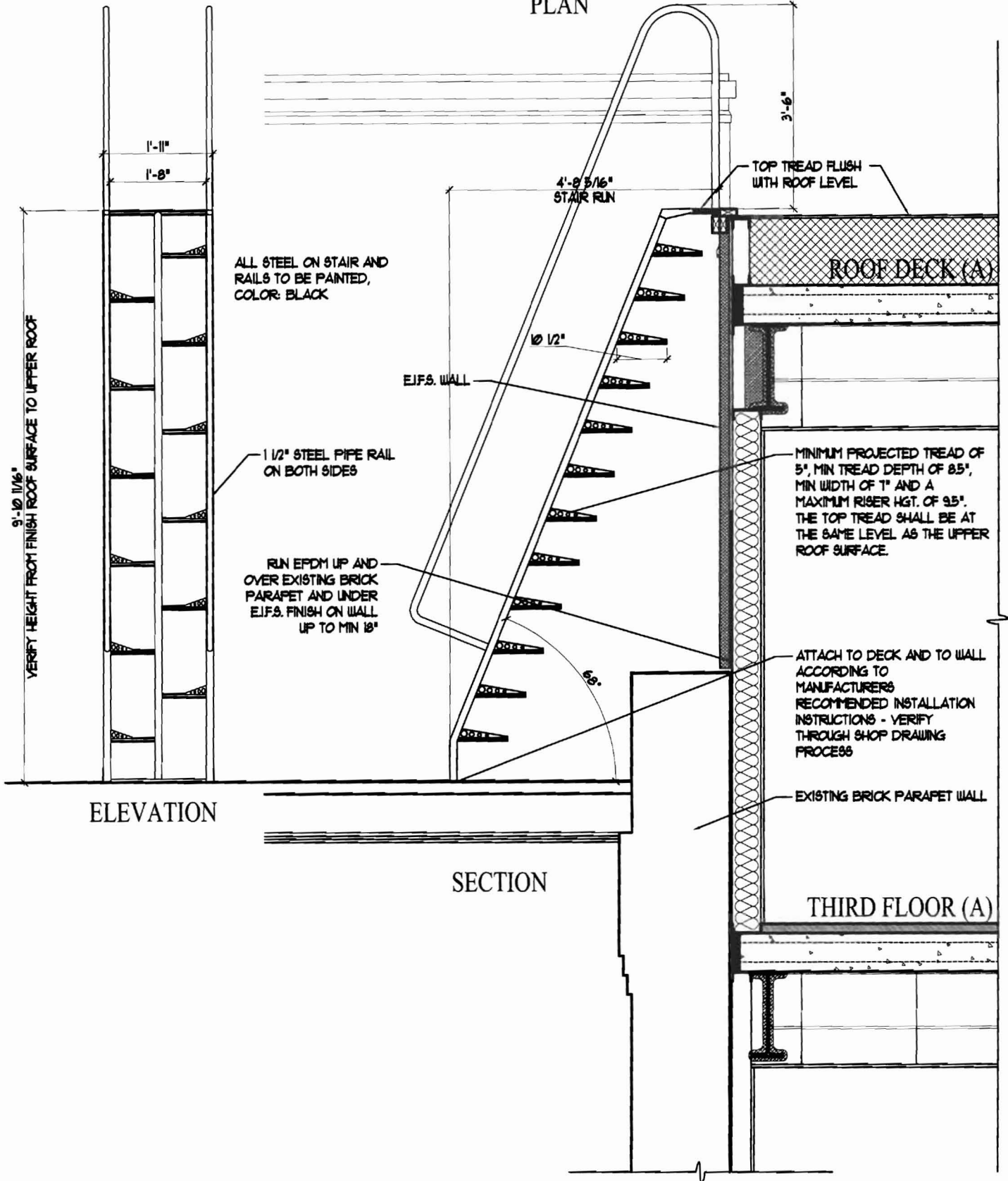
A R C H I T E C T

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STAIR BY LAPEYRE INC. (OR
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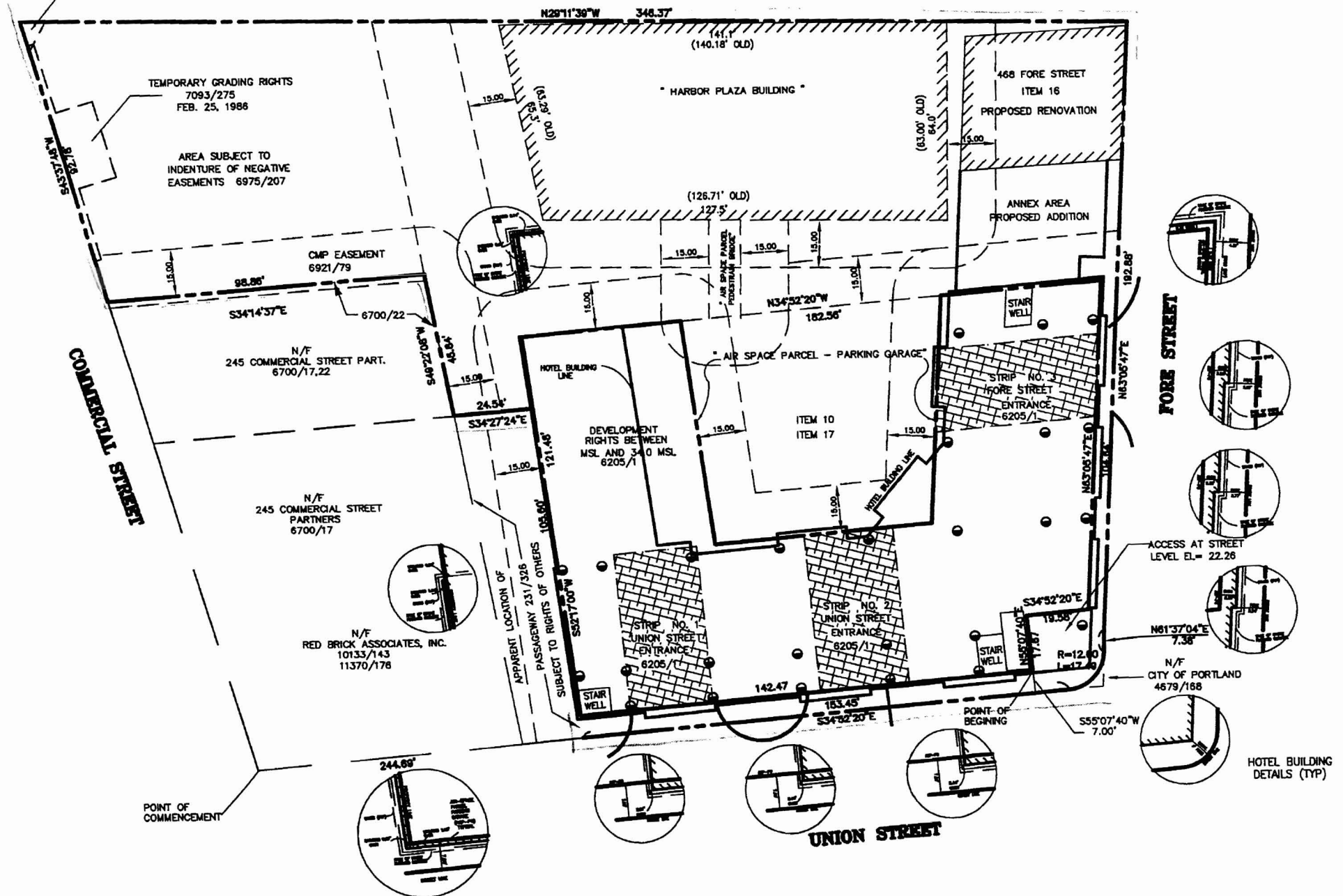


ELEVATION

SECTION

THIRD FLOOR (A)

CROSS STREET



From: Mike Nugent
To: Paul@AlliedCook.com, gough@archetypepa.com
CC: david@batemanpartnersllc.com
Date: Sunday - September 30, 2007
Subject: 468 Fore St.

I have commenced the review and need the following information or have the following questions/comments:

Some of the following was provided in the geotech reports and plans. Please make sure we have addressed all of the following :

1. Recommended pier or pile types and installed capacities.
2. Recommended center-to-center spacing of piers or piles.
3. Driving criteria.
4. Installation procedures.
5. Field inspection and reporting procedures (to include procedures for verification of the installed bearing capacity where required).
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12) Where is intumescent fire proofing being used?

13) Accessible means of egress Section 1007.2.1. It appears that this addition will qualify for this section and the resulting need for emergency operations and signaling devices (generator).

I'll bring the permit back to City Hall for fire to review. I'm on vacation From the 3rd to and including the 9th. (Finally!)

Thanks

Mike Nugent
Consulting Plans Examiner
City Of Portland

From: Marge Schmuckal
To: Molly Casto
Date: 9/19/2007 4:51:33 PM
Subject: 468 Fore Street

Molly,

I just received a building permit application for this project. Has this been approved yet? If so can I get a stamped approved site plan?

Thanks,

Marge

9/20/07
Molly Called
NOT READY yet
Jeff Taily needs to APPROVE
Public Works Needs to APPROVE
re: construction mobilization



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 468 - 470 Fore Street		
Total Square Footage of Proposed Structure 8,120 Sq. Ft.		Square Footage of Lot 20,430 sq. ft.
Tax Assessor's Chart, Block & Lot Chart# 38 Block# F Lot# 8	Owner: 468 Fore Street Realty, LLC 261 Commercial Street Portland, Maine 04101	Telephone: (207)772-2292
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: David Bateman 468 Fore Street Realty, LLC 261 Commercial Street Portland, Maine 04101 (207) 772-2992	Cost Of Work: \$ <u>\$1,520,000.00</u> Fee: \$ <u>\$15,220.00</u> C of O Fee: \$ <u>\$75.00</u>
Current legal use (i.e. single family) <u>Retail & Day Spa</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Hotel</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Portland harbor Hotel addition and open lot at 468 Fore Street. Change of use and renovation of 470 Fore Street.</u>		
Contractor's name, address & telephone: <u>Allied Cook Construction</u> <u>PO Box 1396</u> <u>Portland, ME (207) 772-2888</u> Who should we contact when the permit is ready: <u>David Lloyd - Archetype</u> Mailing address: <u>David Lloyd</u> <u>Archetype, P.A.</u> <u>48 Union Wharf</u> <u>Portland, ME 04101</u> <u>(207) 772-6022</u> Phone: <u>(207) 772-6022</u>		<div style="border: 1px solid black; padding: 5px; text-align: center;">DEPT. OF COMMUNITY DEVELOPMENT CITY OF PORTLAND, ME SEP 19 2007 RECEIVED</div>

**Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>9-17-07</u>
---	----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

Distributor -

Applicant:

Portland Harbor Hotel

Date:

5/29/07

Address:

468-470 Fore St

C-B-L:

038-F-008 & 9

CHECK-LIST AGAINST ZONING ORDINANCE

07-1163

Date -

Zone Location -

B3-0

4 Story & Daylight Basement

Interior or corner lot -

Addition off of Fore Street to Connect to

Proposed Use/Work -

new guest rooms The Akari Salon -

Sewage Disposal -

City

grand floor: retail
upper floors: guest rooms
meeting rooms & hotel mgmt offices

→ 470 Fore

Lot Street Frontage -

15 min -

Front Yard -

street wall build-to-line; to be located within

Rear Yard -

None

5' of the front property line
just over 1' scaled -

Side Yard -

Req

Projections -

Width of Lot - None Req

Height - min bldg height → 35'

proposed - states 5' high
is 4-floor high & a daylight basement

Lot Area - None Req - 20,430^{sq} given

Lot Coverage/Impervious Surface - 100% MAX

Area per Family -

N/A

Off-street Parking -

see parking analysis - I don't think it was done accurately
but I believe there is still a surplus of spaces
for the new structure
a change of use of an existing bldg does
not require any new parking req.

Loading Bays -

Site Plan -

2007-0089

Shoreland Zoning/Stream Protection -

N/A

Flood Plains -

Panel 13 - Zone C

Submitted parking analysis

Not in Historic - IS in PAD Along Fore St