

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 030263

This is to certify that Dictar Associates Ii/Acero Design
has permission to Build new exterior stairway
AT 468 Fore St L 038 F008001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procedure is complete this building or part thereof shall be closed or otherwise closed-in. A FOUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W. H. [Signature]
Health Dept. _____
Appeal Board APR 24 2003
Other _____

PERMIT ISSUED

[Handwritten Signature]
Director - Building & Inspection Services

Department Name
CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0263	Date Applied For: 03/31/2003	CBL: 038 F008001
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Location of Construction: 468 Fore St	Owner Name: Dictar Associates Ii	Owner Address: Po Box 3572	Phone:
Business Name: Akari	Contractor Name: Acero Design	Contractor Address: 1207 Highland Ave. South Portland	Phone (207) 767-7338
Lessee/Buyer's Name Alan Labos	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Hair Salon/Spa with new exterior stairway	Proposed Project Description: Build new exterior stairway
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 04/15/2003

Note: 4/1/03 left message with Todd - This needs a site plan review or exemption. I also need a site plan showing the property lines and where the stairs are going relating to those lines. This property is NOT within the Historic District.
4/15/03 Has exemption **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 04/23/2003

Note: open risers shown, and need more info on how it attaches to building. **Ok to Issue:**
Ok to issue - resolved issues

1) Guardrails MUST be a minimum of 42" measured from the leading edge of the tread as discussed.

Dept: Fire **Status:** Approved **Reviewer:** Lt. McDougall **Approval Date:** 04/14/2003

Note: **Ok to Issue:**

Comments:

4/18/03-tmm: spoke w/Todd Foss - will get rest of in fo today.

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0263	Issue Date: APR 24 2003	CBL: 038 F008001
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Location of Construction: 468 Fore St	Owner Name: Dictar Associates Ii	Owner Address: Po Box 3572 CITY OF PORTLAND	Phone:
Business Name: Akari	Contractor Name: Acero Design <i>Todd</i>	Contractor Address: 1207 Highland Ave. South Portland	Phone: 2077677338
Lessee/Buyer's Name: Alan Labos	Phone:	Permit Type:	Zone: B3

Past Use: Hair Salon/Spa	Proposed Use: Hair Salon/Spa with new exterior stairway	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: Build new exterior stairway		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: B Type: 3 FOUA 99
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: kwd	Date Applied For: 03/31/2003	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>see exemption dated 4/9/03</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>4/15/03</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

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Note: 4/1/03 left message with Todd - This needs a site plan review or exemption. I also need a site plan showing the property lines and where the stairs are going relating to those lines. This property is NOT within the Historic District.
4/15/03 Has exemption **Ok to Issue:**

Dept: Building **Status:** Pending **Reviewer:** Tammy Munson **Approval Date:**
Note: HOLD- open risers shown, and need more info on how it attaches to building. **Ok to Issue:**

Dept: Fire **Status:** Approved **Reviewer:** Lt. McDougall **Approval Date:** 04/14/2003
Note: **Ok to Issue:**

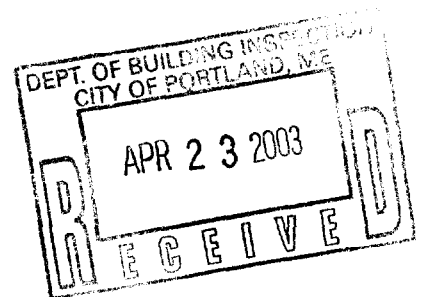
ACERO DESIGN
1207 HIGHLAND AVE.
SO. PORTLAND, ME 04106

Description

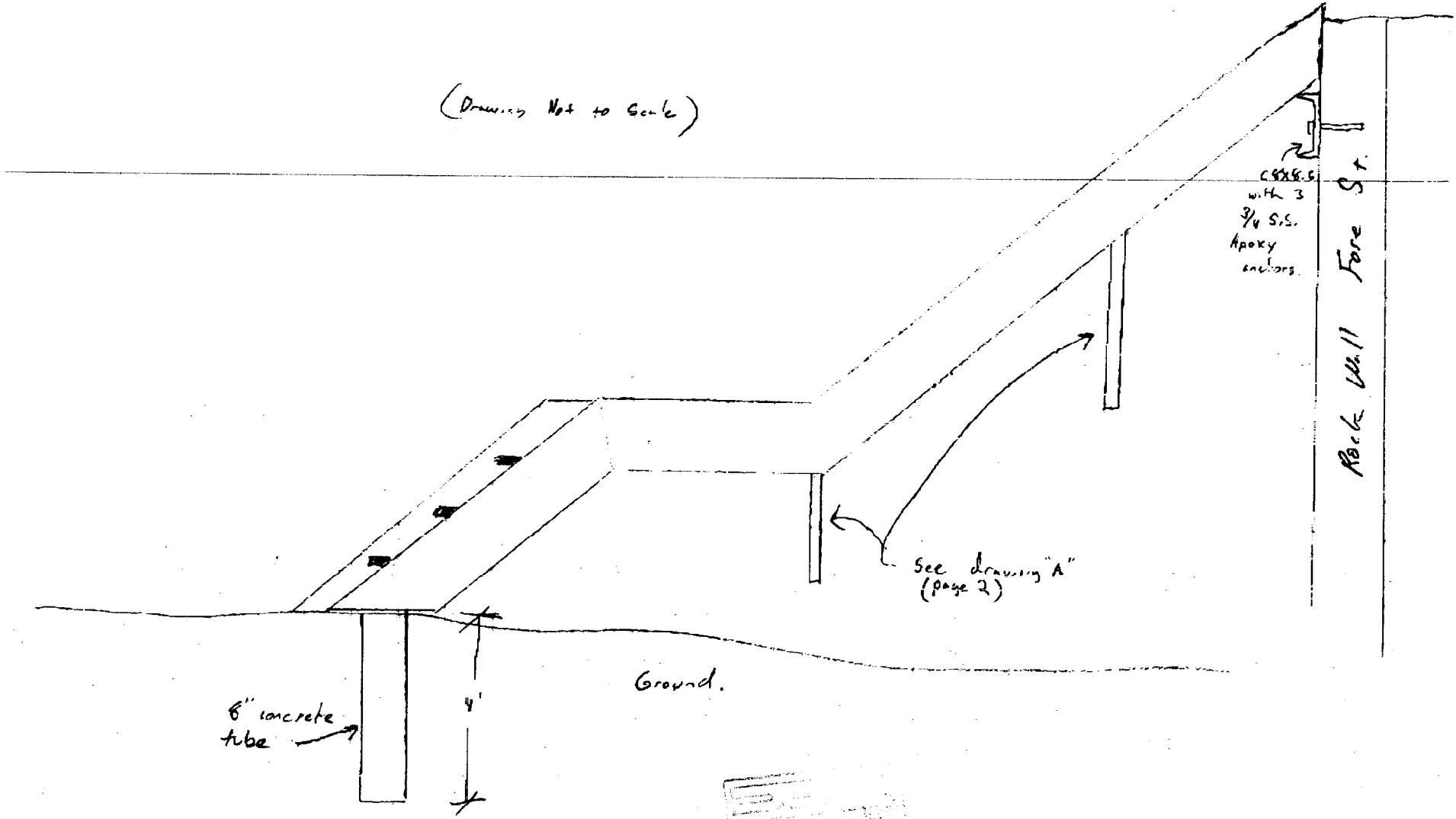
Att: Tammy

*File 874-8716
Pl 874-8706*

Total pages 5



(Drawing Not to Scale)



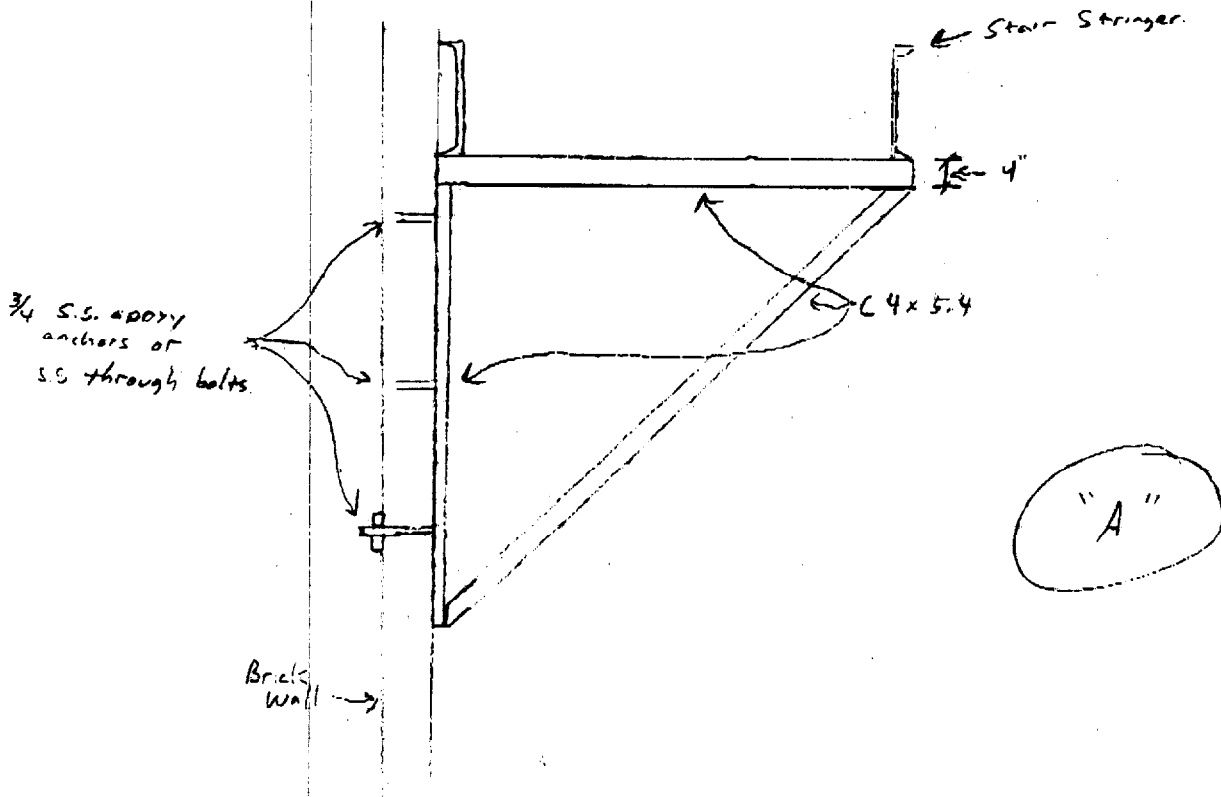
CRACKS
with 3
3/4 S.S.
epoxy
anchors.

See drawing "A"
(page 2)

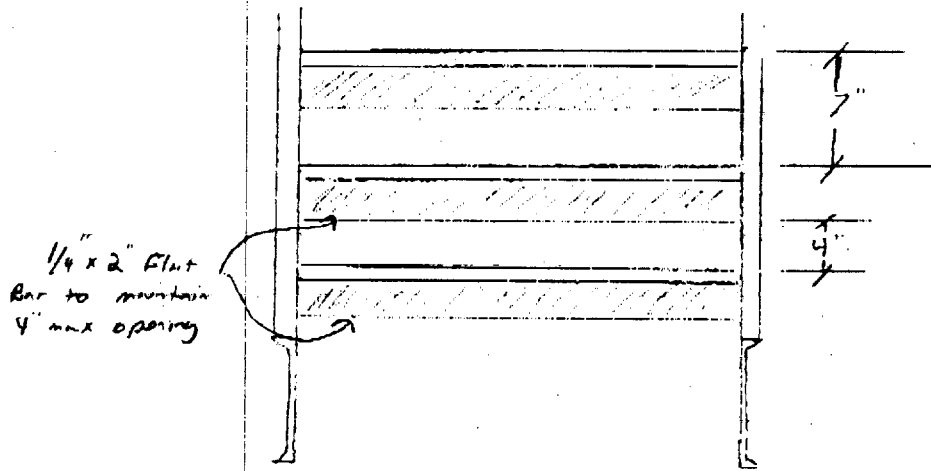
Ground.

6" concrete
tube

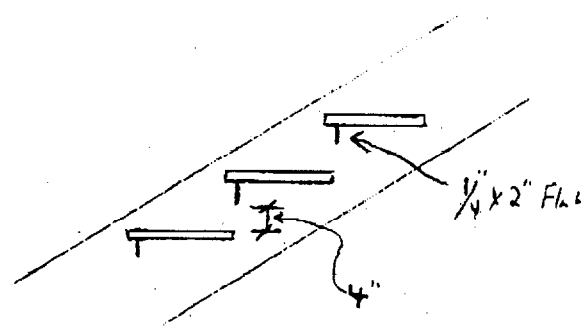
RECEIVED
 APR 23 2003
 PORTLAND INSPECTION
 CITY OF PORTLAND, ME



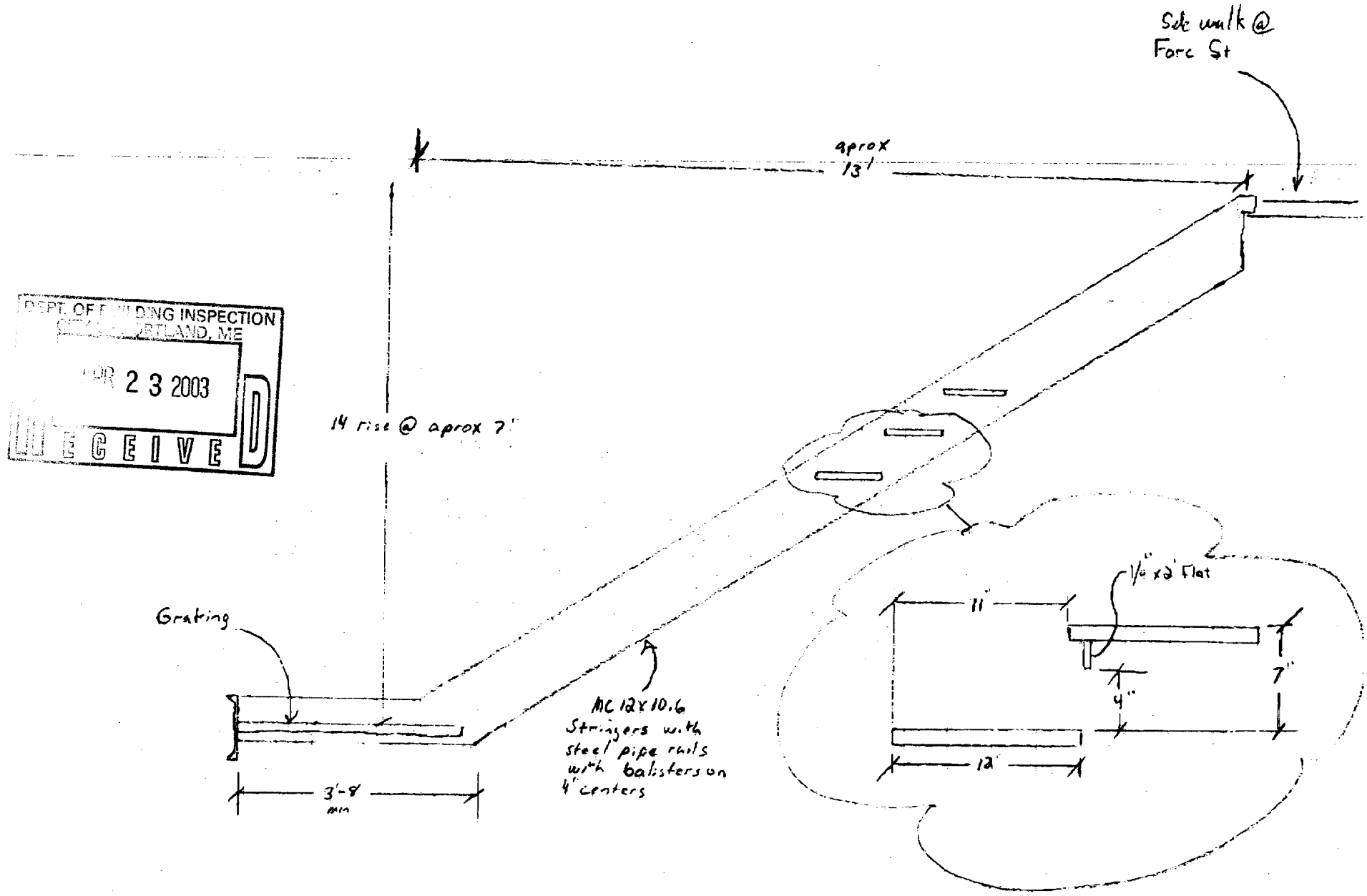
"A"



"B"



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 APR 23 2003
 FIVE



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 APR 23 2003
 RECEIVED

ACERO DESIGN

1207 HIGHLAND AVE.
SO. PORTLAND, ME 04106

Description

We are applying for a permit for the installation of an outside stair.

The stair will be starting at Fore St. sidewalk and proceed down to the ground below (aprox 11').

Stair will be constructed of MC12 x 10.6 for stringers and grating treads.

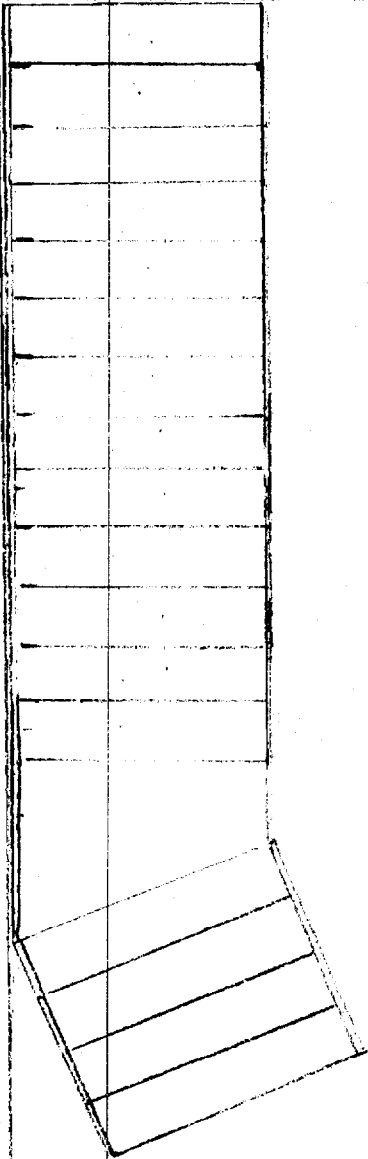
Rails will be constructed of 1-1/4" sch 40 pipe and 1/2" balusters 4" centers.

— will have 42" high guard

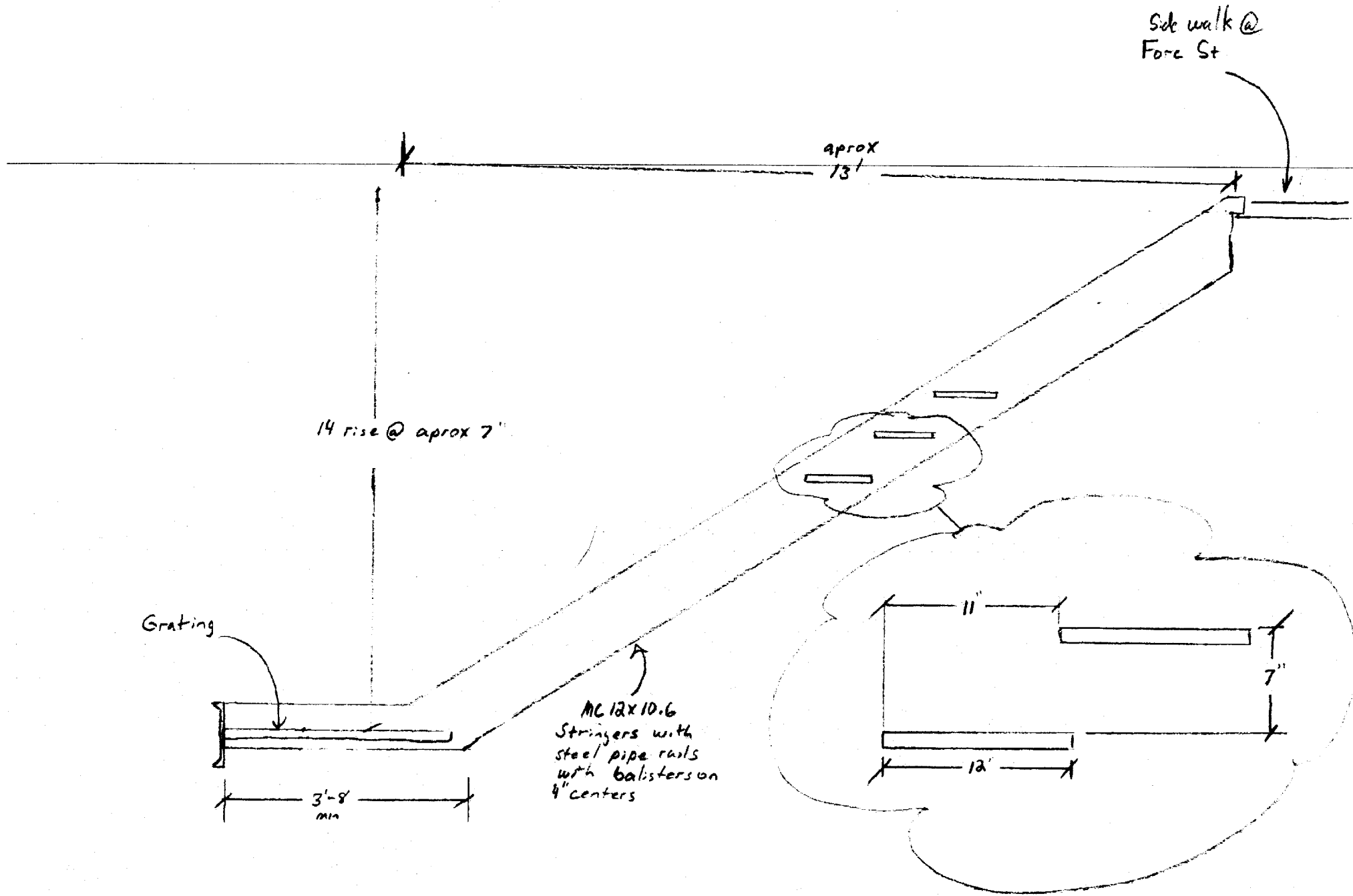
Stair will be supported by attaching to the building from the top down to the landing and at the landing and last 4 treads will be supported with concrete at ground elevation.

Sidewalk @ Fore St

outside Wall



MC 12x10G stringers



Side walk @
Fore St

aprox
13'

14 rise @ aprox 7'

Grating

3'-8"
min

MC 12x10.6
Stringers with
steel pipe rails
with balusters on
4" centers

11"
7"
12"

Fore St

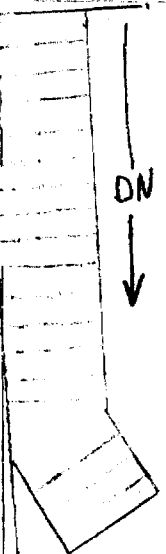
sidewalk

Location of
new outside
stair



470
Fore St.

DN
↓



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>470 Fore St.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>038</u> Block# <u>F</u> Lot# <u>8</u>	Owner: <u>Harbor Plaza Assop.</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>s Todd Foss 1207 Highland Ave. So. Portland 04106 207 767-7338</u>	Cost Of Work: \$ <u>11,000</u> Fee: \$
Current use: <u>Hair Salon/Spa</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Hair Salon/Spa</u>		
Project description: <u>build new exterior stairway.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Todd Foss</u>		
Mailing address: <u>1207 Highland Ave. So. Portland 04106 767-7338</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>767-7338</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>T. Todd Foss</u>	Date: <u>8/27/03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

ACERO DESIGN

1207 HIGHLAND AVE.
SO. PORTLAND, ME 04106

Description

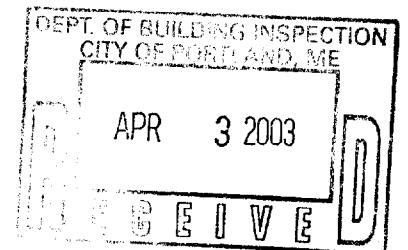
This is a map of the property that Harbor Plaza Asso. owns.

The three buildings on the one property are Harbor Hotel, MEMC, and 468 Fore St. (Akari).

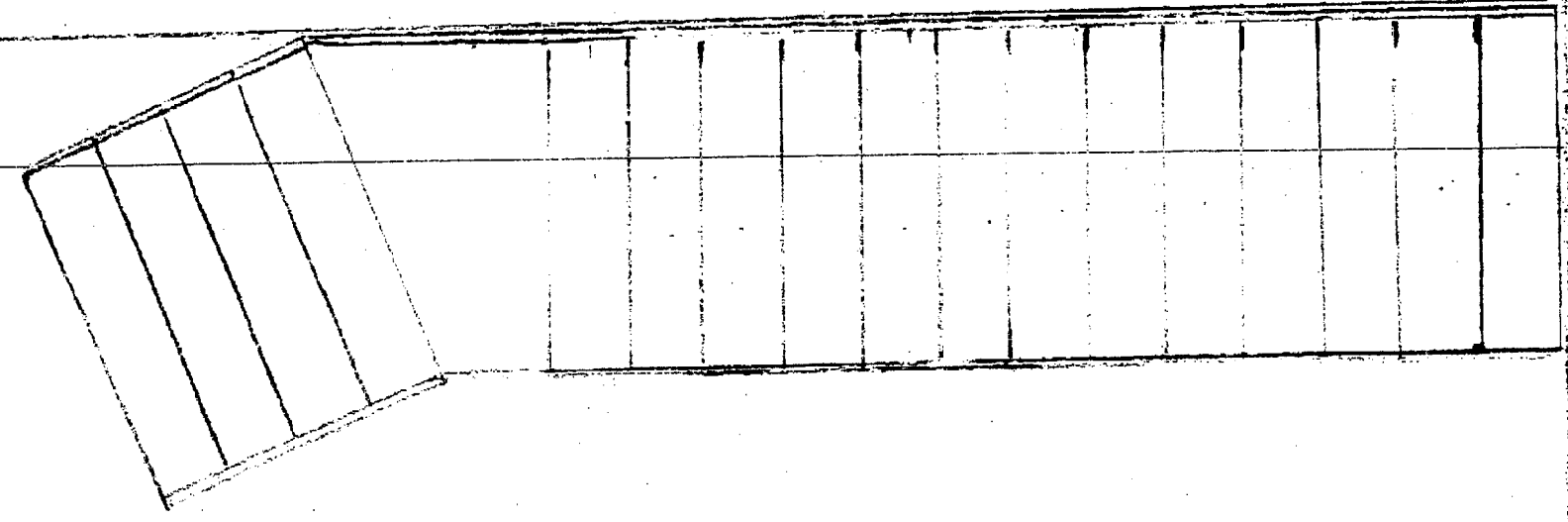
We would be installing the stair between the hotel and 468 Fore St. The stair would be attached to 468, starting at Fore St. side walk and going down to the ground below.

There is no setback between the buildings as all three buildings are on one plot are owned by Harbor Plaza Asso.

The stair will start at Fore St. side walk which is the City's property. The distance between the side of the stair and Hotel is aprox 30'.



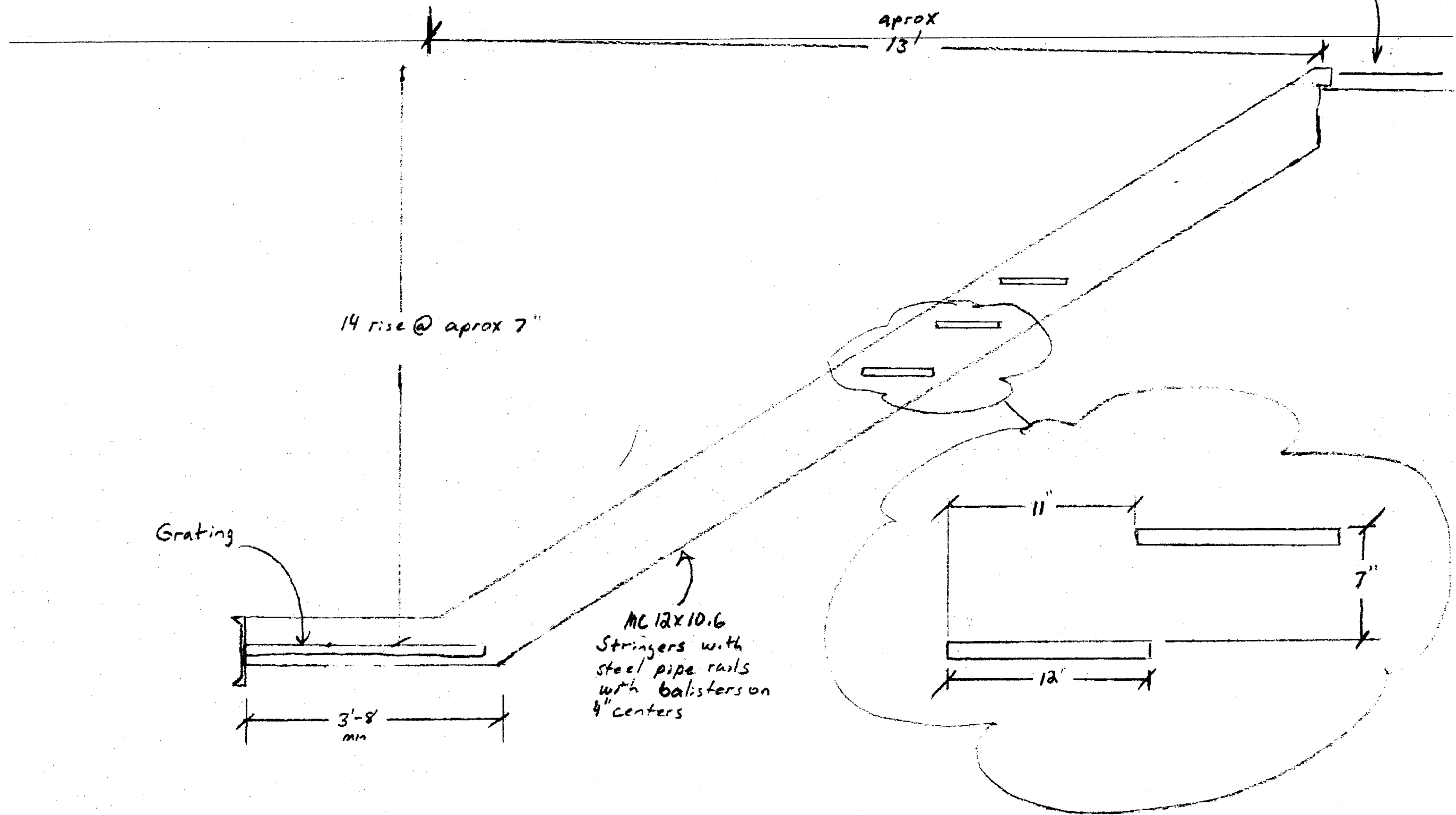
outside Wall



Sidewalk @ Fore St

MC 12x10G Stringers

Side walk @
Fore St



aprox
13'

14 rise @ aprox 7"

Grating

3'-8"
min

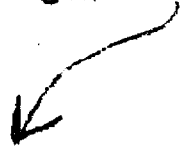
MC 12x10.6
Stringers with
steel pipe rails
with balusters on
4" centers

11"
7"
12"

Fore St

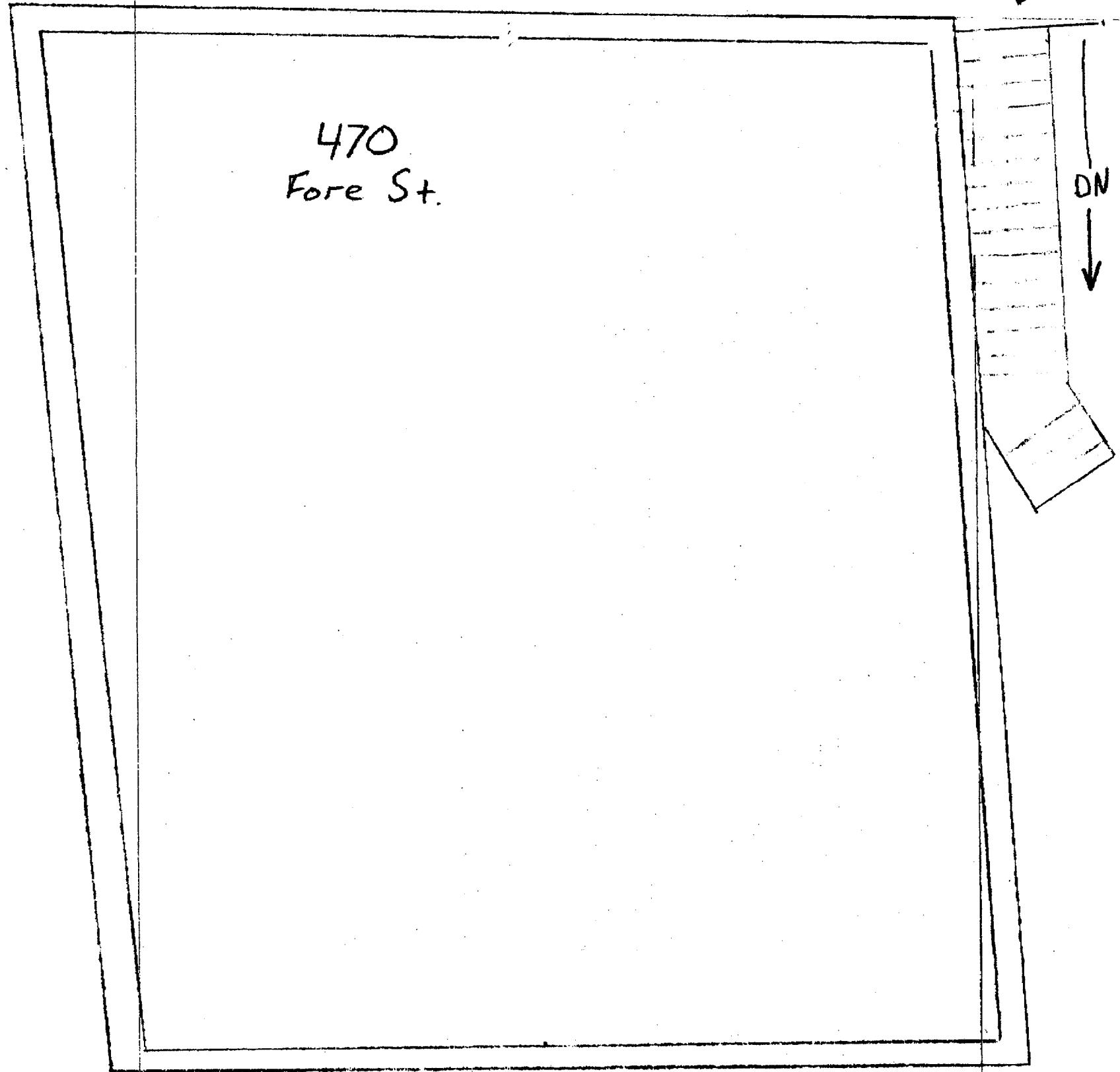
Sidewalk

Location of
new outside
stair



470
Fore St.

DN



Fore St.

side walk

468
Fore St

New Stair
Location starting
at Fore St
Side walk and
going down to
ground below

(Harbor Hotel)
Building

ME
Building

side walk

Union St

B-3
Zone doesn't
require setbacks
Not in the historic
Dist. J
4/15/03

