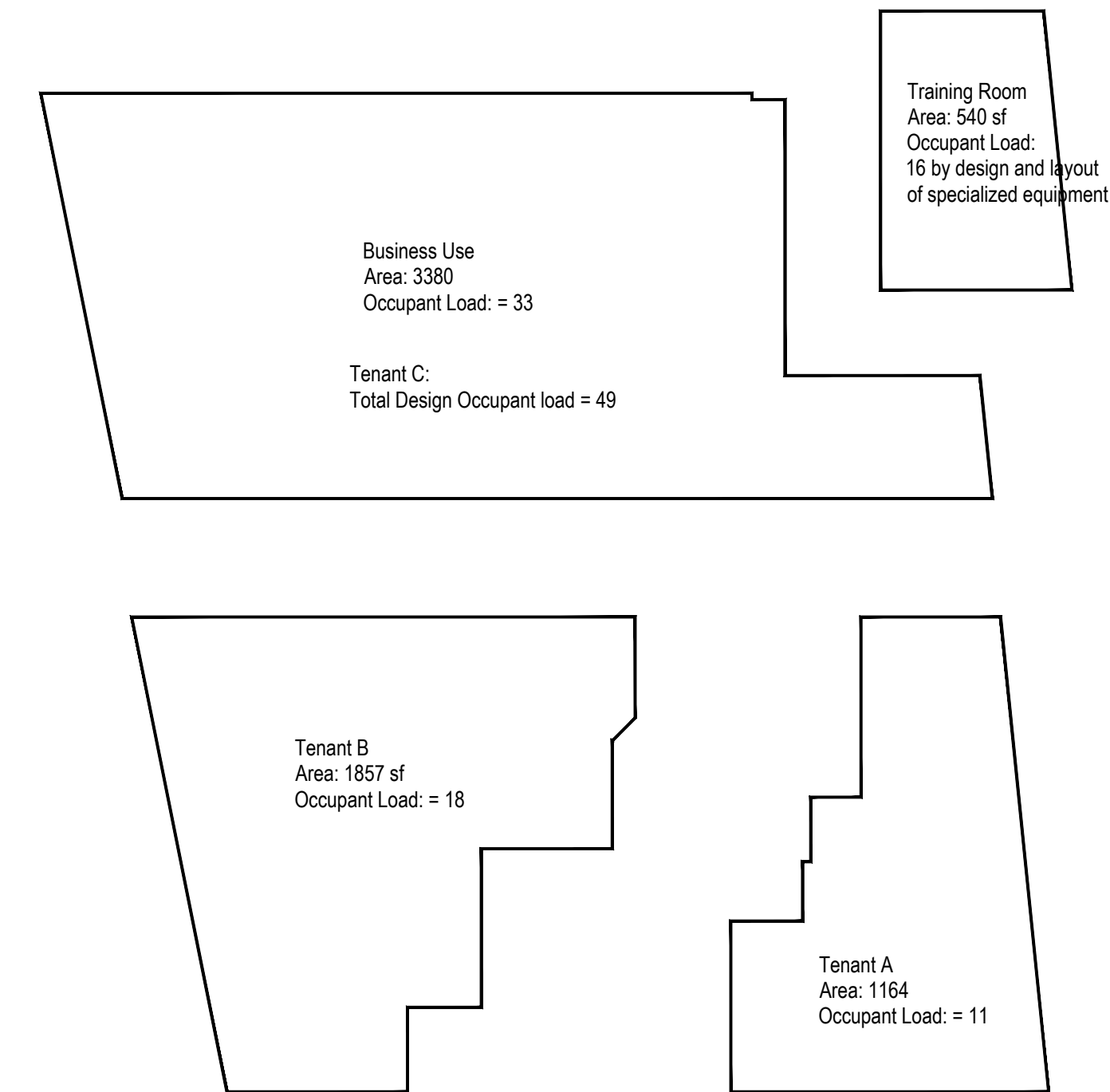


LOCATION



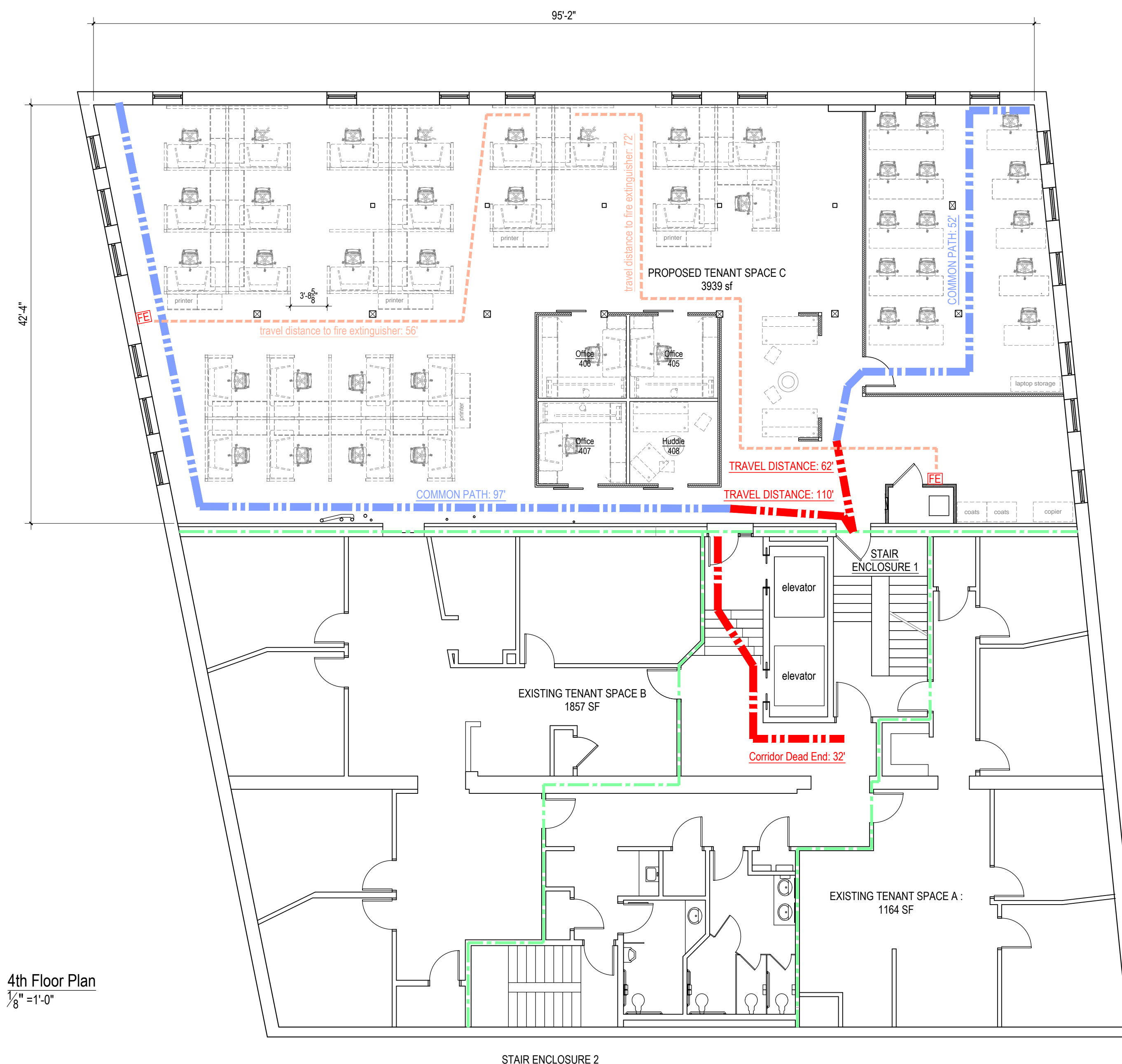
EXTERIOR VIEW FROM COMMERCIAL STREET



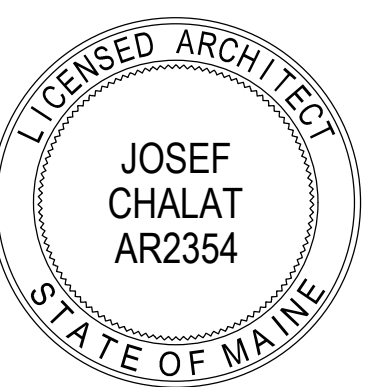
OCCUPANT LOAD BREAKDOWN

IBC and NFPA Relevant Codes

| | IBC | NFPA | Discussion or Finding |
|---|---|--|--|
| Use Group B, Business Occupancy (existing, unchanged) | 305 | | Existing 3,938 sf tenant space |
| Use Group Existing Business Occupancy | | Chapter 39 | Existing 3,938 sf tenant space |
| Construction Type: not investigated | Table 601 | | The existing construction type does not have bearing on this project |
| Building Height and Area limitations | Table 503 | | The existing area is unchanged |
| Alarm System | Chapter 9 | 39.3.4 | Existing alarm system to be modified as required. Alarm shall be design/build by licensed alarm contractor by separate permit |
| Sprinkler System | Chapter 9 | | Existing Sprinkler system to be modified as required Sprinkler design/build by licensed sprinkler contractor by separate permit |
| Fire Extinguishers | | 39.3.5 | 75' Maximum travel distance in accordance with NFPA 10: (2) provided |
| Occupant Load: Proposed Tenant Space | Table 1004.1.1 1 per 100 sf 1 per 15 sf | Table 7.3.1.2 1 per 100 sf 1 per 15 sf | Tenant C 49 Occupants |
| Occupant Load : Entire 4th floor | Table 1004.1.1 1 per 100 sf 1 per 15 sf | Table 7.3.1.2 1 per 100 sf 1 per 15 sf | Tenant A 11 occupants Tenant B 18 occupants Tenant C 49 Occupants Total 95 Occupants |
| Means of Egress Illumination | | | Provided, see lighting plan |
| Direction of Door Swing | 1008.1.2 | | occupant load greater than 50, door must swing in direction of travel |
| Stairway Capacity | | 39.2.3 | 44" provides egress capacity of 146; (2) stairs are sufficient for 4th floor |
| Exit Access Doorways | Section 1015.1 Table 1015.1 | | 1 exit from tenant space required |
| Number of Exits | | 39.2.4.2 | 1 exit allowed for distance permitted as common path of travel |
| Common Path of Travel: Sprinklered business occupancy | Table A.7.6 (NFPA) | Table A.7.6 (NFPA) | 100' allowed. 96' provided from most remote point in tenant space |
| Exit Access Travel Distance: Sprinklered business occupancy | Table A.7.6 (NFPA) | Table A.7.6 (NFPA) | 300' allowed 110' maximum provided |
| Dead Ends in Corridors: Sprinklered business occupancy | Table A.7.6 (NFPA) | Table A.7.6 (NFPA) | 50' allowed, 32' provided |



4th Floor Plan
1/8" = 1'-0"



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4th Fl. Office Tenant Improvement
245 Commercial Street
Portland, Maine

Building Owner:
Casco View Holdings, Inc.
PO Box 1137
Portland, ME 04104

Owner Contact
Catherine Lamson,
Senior Vice President
Chief Administrative Officer
207-791 3304

City of Portland Information:
CBL 038 F006001

Date Purpose
2016-05-12 fast track permit

Code Review

Sheet Number

a0.1