

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that G & L Enterprises

Located At 19 SOUTH ST

Job ID: 2012-04-3655-ALTCOMM

CBL: 038- E-029-001

has permission to Construct internal walls alongside basement walls

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-04-3655-ALTCOMM

Located At: 19 SOUTH ST

CBL: 038- E-029-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. The use of this property shall remain as eight (8) offices on the first floor and six (6) dwelling units on the second & third floors. Any change of use shall require a separate permit application for review and approval.

Fire

All construction shall comply with City Code Chapter 10.

A 60-minute fire door assembly shall be installed at the top of the basement stair.

Common path of travel shall not exceed 35 feet.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-04-3655-ALTCOMM	Date Applied: 4/2/2012	CBL: 038- E-029-001	
Location of Construction: 19 SOUTH ST	Owner Name: G & L ENTERPRISES LLC	Owner Address: 19 SOUTH ST, #5 PORTLAND, ME 04101	Phone: 207-650-9686
Business Name:	Contractor Name: M & C Restoiraion & Remodeling - Marko Crnogorac	Contractor Address: 33 Candlewick Rd., Portland ME 04102	Phone: (207) 408-2158
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Mixed use - 1 st floor 8 offices & 6 dwelling units above	Proposed Use: Same - Mixed use - 1 st floor 8 offices & 6 dwelling units above - build interior walls in part of basement to separate laundry room for tenants from rest of basement	Cost of Work: 2000.00	CEO District:
		Fire Dept: 5/23/12 Signature: <i>Bjarnwald</i>	Inspection: Use Group: 12/B Type: Signature: <i>[Signature]</i>
Proposed Project Description: Construct internal walls in part of basement for laundry room		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Mir <input type="checkbox"/> MM Date: <i>OK w/cond. how</i> <i>4/18/12 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Entered 4/2/12



General Building Permit Application

2012-04-Altcomm

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>19 SOUTH ST #5 PORTLAND ME 04101</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>38 E 29</u>	Applicant *must be owner, Lessee or Buyer* Name <u>LINDA NORDON</u> Address <u>19 SOUTH ST #5</u> City, State & Zip <u>PORTLAND ME 04101</u>	Telephone: <u>207-650-9686</u> <u>2000</u>
Lessee/DBA (If Applicable) RECEIVED APR 02 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,400.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>40.00</u>
Current legal use (i.e. single family) <u>business</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Basement</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Constructing Interior walls alongside basement in 115' cube off laundry room in basement for trucks</u>		
Contractor's name: <u>MARKO CRNOGORAC</u> Telephone: <u>207-408-2158</u> Address: <u>33 CANDLEWYCK RD</u> City, State & Zip: <u>PORTLAND ME 04102</u> Telephone: <u>207-408-2158</u> Who should we contact when the permit is ready: <u>MARKO</u> Telephone: <u>207-408-2158</u> Mailing address: _____		

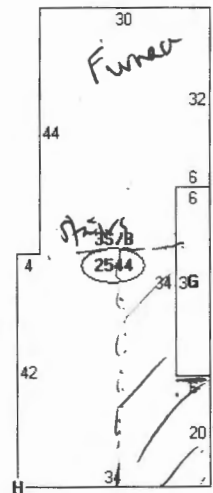
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Marko Crnogorac Date: 4-2-12

This is not a permit; you may not commence ANY work until the permit is issue

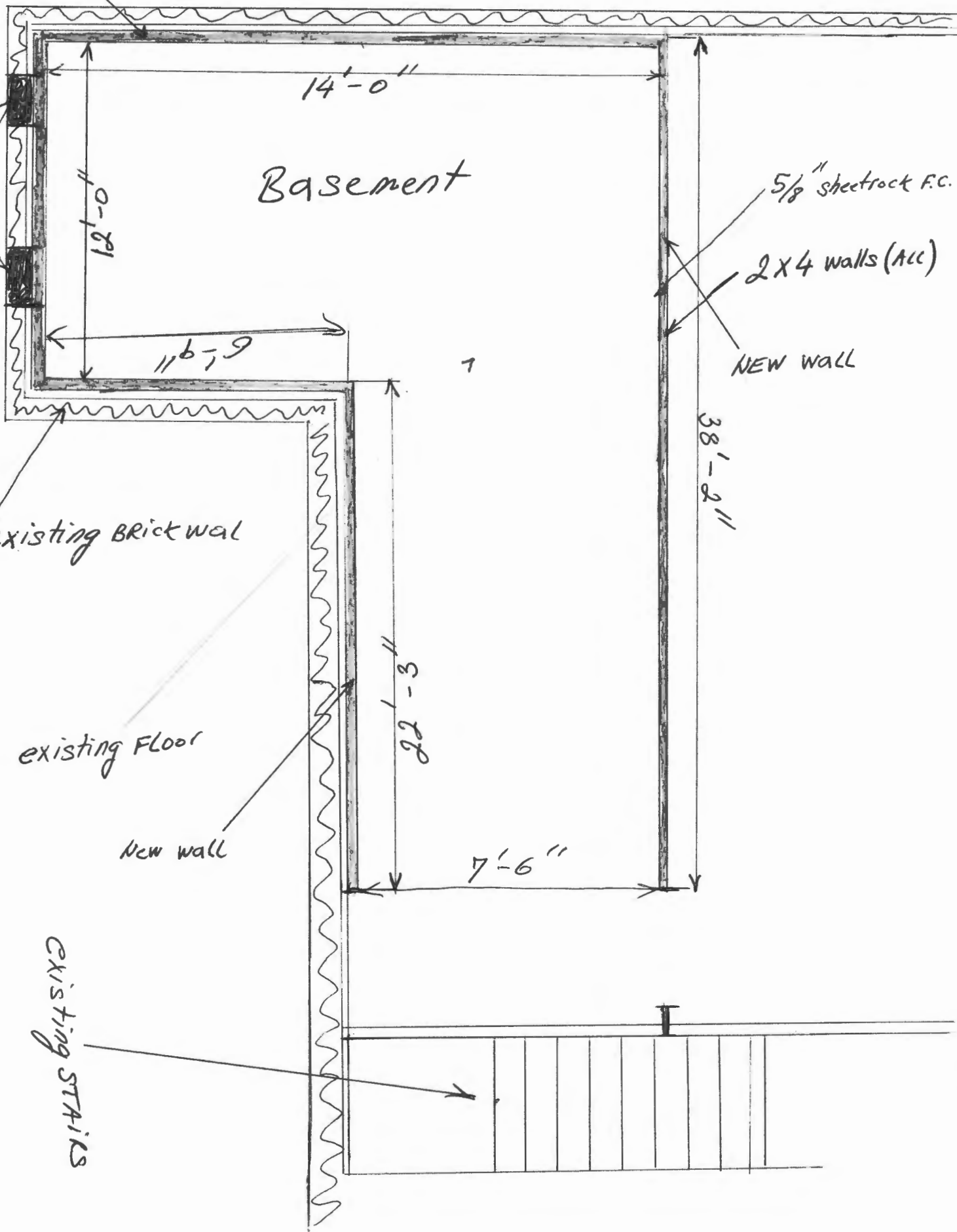


Descriptor/Area	
A: 086	2544 sqft
B: 053	2544 sqft
C: 011	2544 sqft
D: PORCH COVERED	20 sqft
E: PORCH COVERED	204 sqft
F: 3S/B	2544 sqft
G: 1S PORCH	204 sqft
H: PA1	3000 sqft

Southst.
↑

AQUARIUS P. MANAGEMENT LLC (LINDA NORDON)
19 SOUTH ST #5
PORTLAND ME 04101
207-650-9686

NEW WALL



Basement

5/8" sheetrock F.C.

2x4 walls (All)

NEW WALL

38'-2"

14'-0"

12'-0"

11'-6"

11'-8"

7'-6"

NEW WALL

existing Floor

existing STAIRS

existing windows

existing brick wall



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Receipts Details:

Tender Information: Cash

Tender Amount: 40.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 4/2/2012

Receipt Number: 42403

Receipt Details:

Referance ID:	5895	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	40.00	Charge Amount:	40.00
Job ID: Job ID: 2012-04-3655-ALTCOMM - Construct internal walls alongside basement walls			
Additional Comments: 19 South St. #5			

Thank You for your Payment!