

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BU...TION

PERMIT

Permit Number: 090705

Please Read Application And Notes, If Any, Attached

This is to certify that Stephen J. Blatt/self

has permission to Change of Use; From two units to one unit and one professional architectural office.

AT 5 South St

CE 038 E027001

RECEIVED
JUL 28 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HO... NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Hauteau

Health Dept. _____

Appeal Board _____

Other _____
Department Name

James Burke 7/28/09
Director - Building & Inspection Services

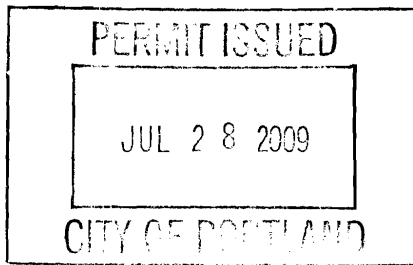
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0705	Issue Date:	CBL: 038 E027001
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Location of Construction: 5 South St	Owner Name: Stephen J. Blatt	Owner Address: P O Box 583	Phone: 207-761-5911
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings Commercial	Zone: B-3
Past Use: Residential / 2 Units	Proposed Use: Change of Use; From two units to one unit and one professional achitectoral office.	Permit Fee: \$595.00	Cost of Work: \$50,000.00
Proposed Project Description: Change of Use; From two units to one unit and one professional achitectoral office.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * see Conditions	INSPECTION: Use Group: B Type: SB DBL 2003
		Signature: (KG)	Signature: JMB 7/28/09
PEDESTRIAN ACTIVITIES DISTRICT (PAID)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

Permit Taken By: gg	Date Applied For: 07/07/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/9/09 ABU	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABU



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

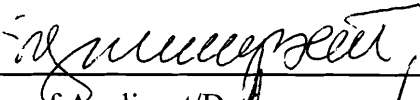
 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

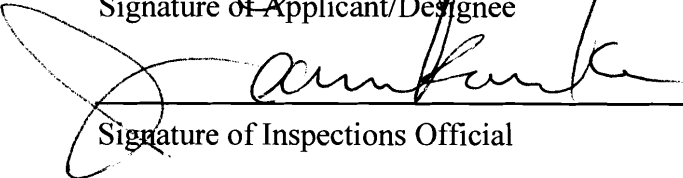
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee



Signature of Inspections Official

 7.28.09
Date

 7/28/09
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0705	Date Applied For: 07/07/2009	CBL: 038 E027001
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Location of Construction: 5 South St	Owner Name: Stephen J. Blatt	Owner Address: P O Box 583	Phone: 207-761-5911
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Change of Use; From two residential units to a professional achitectural office.	Proposed Project Description: Change of Use; From two residential units to a professional achitectural office.
----------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/09/2009

Note: **Ok to Issue:**

- 1) With the issuance of this permit and the certificate of occupancy, the use of this property will be a professional office. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/28/2009

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 07/14/2009

Note: **Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) Fire extinguishers required. Installation per NFPA 10
- 3) All means of egress to remain accessible at all times
- 4) Emergency lights and exit signs are required
- 5) All construction shall comply with NFPA 101

Comments:

7/15/2009-jmb: Left msg with admn. For Stephen B. To call for details on code items, firestop of new duct, clearances to duct of surrounding walls, new exterior stair details, F/C assembly of furnace room and door type, floor joist bearing(center wall or clear?, new exposed cathedral has 2 beams, not 3, any collar ties?, what the attic space is for, is there a loft.

7/20/2009-jmb: Stephen B. Called and I reviewed the details. The structure a post and beam and he had Pinkham and Greer inspect for structural assessment of the roof & beam system. Th e adjacent attic area will be enclosed and the duct work will enter there. He will provide revisions.

Location of Construction: 5 South St	Owner Name: Stephen J. Blatt	Owner Address: P O Box 583	Phone: 207-761-5911
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

7/24/2009-jmb: Received revisions from Steve B., question on the height of the exterior stair wall. He is showing 40", needs 42".
Tried calling Steve, no answer and cannot leave a message

7/27/2009-jmb: Left msg with the admn. For Steve to call

7/28/2009-jmb: Spoke to Steve B., he will build the wall at stairs to min. 42", I noted this ont he plan, ok to issue



General Building Permit Application

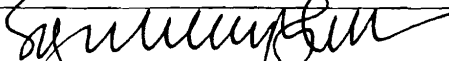
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 5 South Street, Portland, Maine 04101		
Total Square Footage of Proposed Structure/Area 1,962 sf		Square Footage of Lot 4,110
Tax Assessor's Chart, Block & Lot Chart# 38 Block# E Lot# 27	Applicant * must be owner, Lessee or Buyer * Name Stephen J. Blatt Address P.O. Box 583 City, State & Zip Portland, ME 04112	Telephone: 761-5911
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 50,000 C of O Fee: \$ 75.00 Total Fee: \$ 520.00
Current legal use (i.e. single family) If vacant, what was the previous use? Residential - 2 units Proposed Specific use: Professional architectural office Is property part of a subdivision? No If yes, please name Project description: Change of Use; interior renovations, new windows & siding; no additions.		595.00
Contractor's name: Stephen J. Blatt (Owner) Self Address: P.O. Box 583 City, State & Zip: Portland, ME 04112		Telephone: 761-5911 xx call
Who should we contact when the permit is ready: Stephen J. Blatt Mailing address: same as above		Telephone:

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date:

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: Stephen Blatt, Stephen Blatt Architects
 Date: June 16, 2009
 Job Name: Renovations, 5 South Street
 Address of Construction: 5 South Street, Portland, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Business Group B
 Type of Construction Wood frame
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.1.1, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

1609.6 Design option utilized (1609.1.1, 1609.6)
100 m.p.h. Basic wind speed (1809.3)
1.0 Building category and wind importance factor, I_w (table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+/- 0.55 Internal pressure coefficient (ASCE 7)
-26.4 psf Component and cladding pressures (1609.1.1, 1609.6.2.2)
22 psf Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

ASCE 7 Design option utilized (1614.1)
I Seismic use group ("Category")
0.33/0.16 Spectral response coefficients, S_D & S_1 (1615.1)
D Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
42 psf Roof snow loads (1603.7.3, 1608)
60 psf Ground snow load, P_g (1608.2)
42 psf If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
42 psf Sloped roof snowload, P_s (1608.4)
C Seismic design category (1616.3)
1 K Basic seismic force resisting system (1617.6.2)
6.5 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
1616.6.1 Analysis procedure (1616.6, 1617.5)
595 # Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

MEMORANDUM

TO: Jeanne Bourque
FROM: Steve Blatt
DATE: July 23, 2009
RE: 5 South Street

I enclose for your review three sketches addressing your concerns about our renovation project at 5 South St.

- ASK-01 provides details on the new stairway to grade.
- ASK-02 illustrates typical firestopping at each floor through which the major HVAC duct penetrates;
- ASK-03 indicates those areas in context through a section of the building.

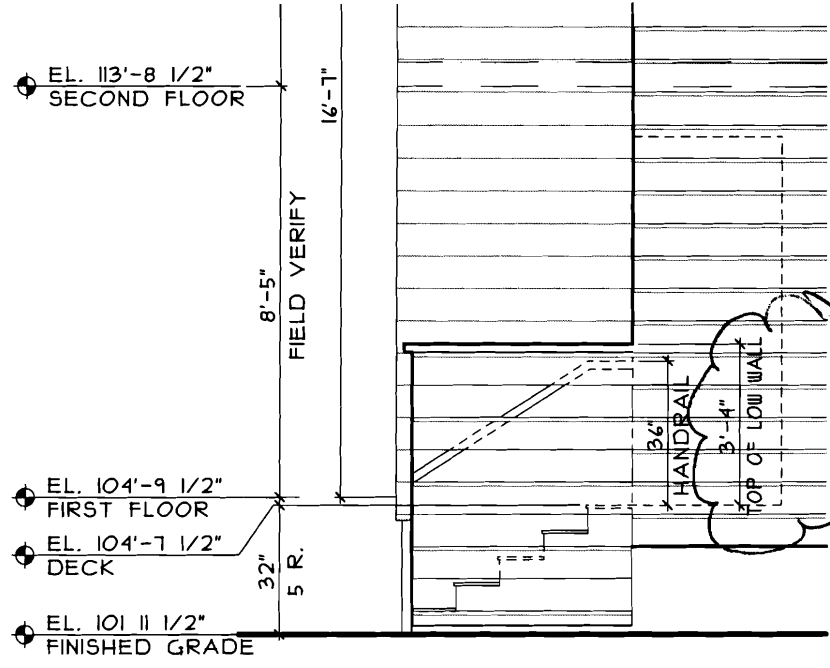
I also checked with my mechanical engineer, and the “chimney” pipe is approved for zero clearance. With regard to your question about the necessity of enclosing the boiler in a separate room in the basement, my mechanical engineer has confirmed that the system as designed does not exceed the threshold of 15 psi or 10 hp, which would require a separation. Furthermore, with regard to the life safety code under Section 38.3.2 Protection From Hazards, we are not considered a high hazard content area, which, if we were so classified, would require a one-hour rating. Nevertheless, it is my intention to have installed one layer of 5/8-inch gypsum board across the entire ceiling of the basement, as indicated on ASK-03.

I hope these responses are satisfactory to your inquiry; please call me with further questions, and thank you.

10 Danforth Street
Post Office Box
583 DTS
Portland, Maine
04112-0583
Voice:
207.761.5911
Fax:
207.761.2105
Email:
sba@sbarchitects.com

cc: File

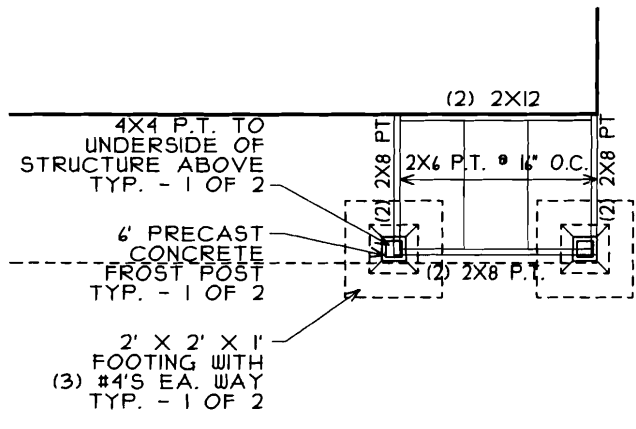
JUL 24 2009



7/28/09
 per Steve B.
 This will be
 min. 42"
 JMB

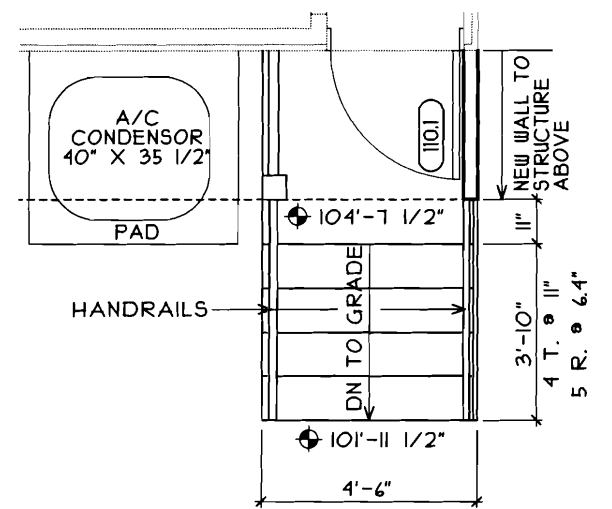
PARTIAL EAST ELEVATION

SCALE: 1/4" = 1'-0"



DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"



PLAN AT EXTERIOR STAIR

SCALE: 1/4" = 1'-0"

JUL 24 2009

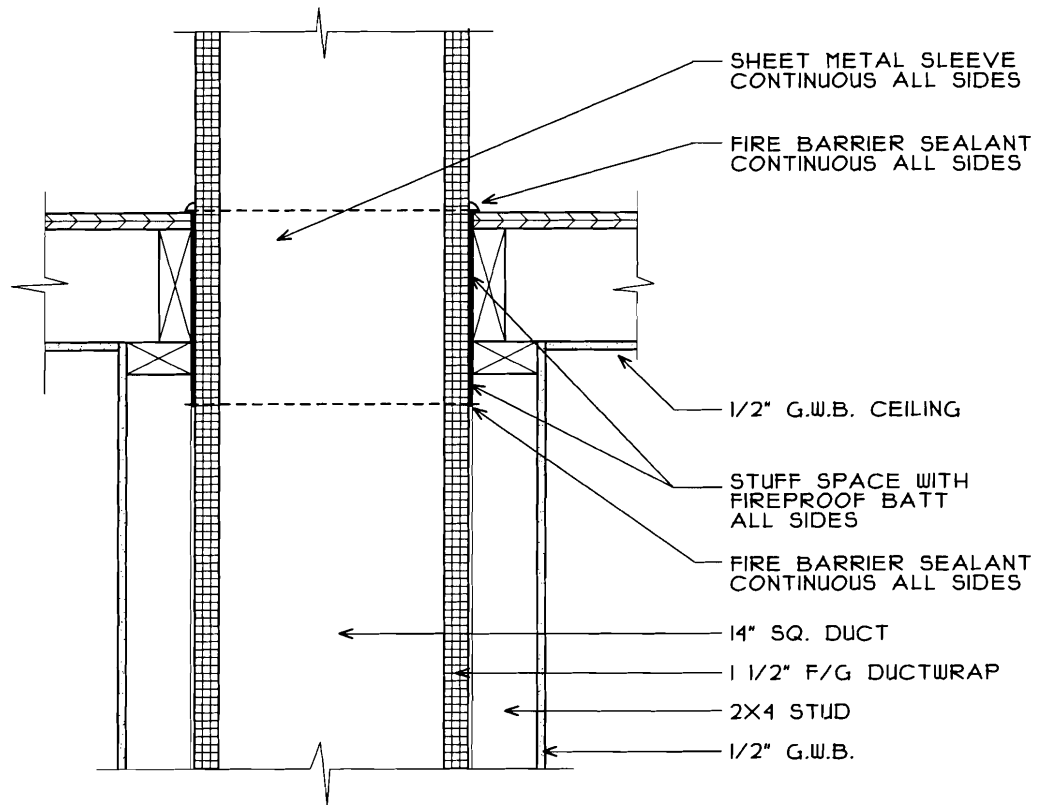
5 South St.
 Portland, Maine

Date: July 21, 2009

Stephen Blatt
 Architects

Reference: A1, A3

ASK-01



FIRESTOP AT DUCT FLOOR PENETRATIONS

SCALE: 1" = 1'-0"

JUL 24 2009

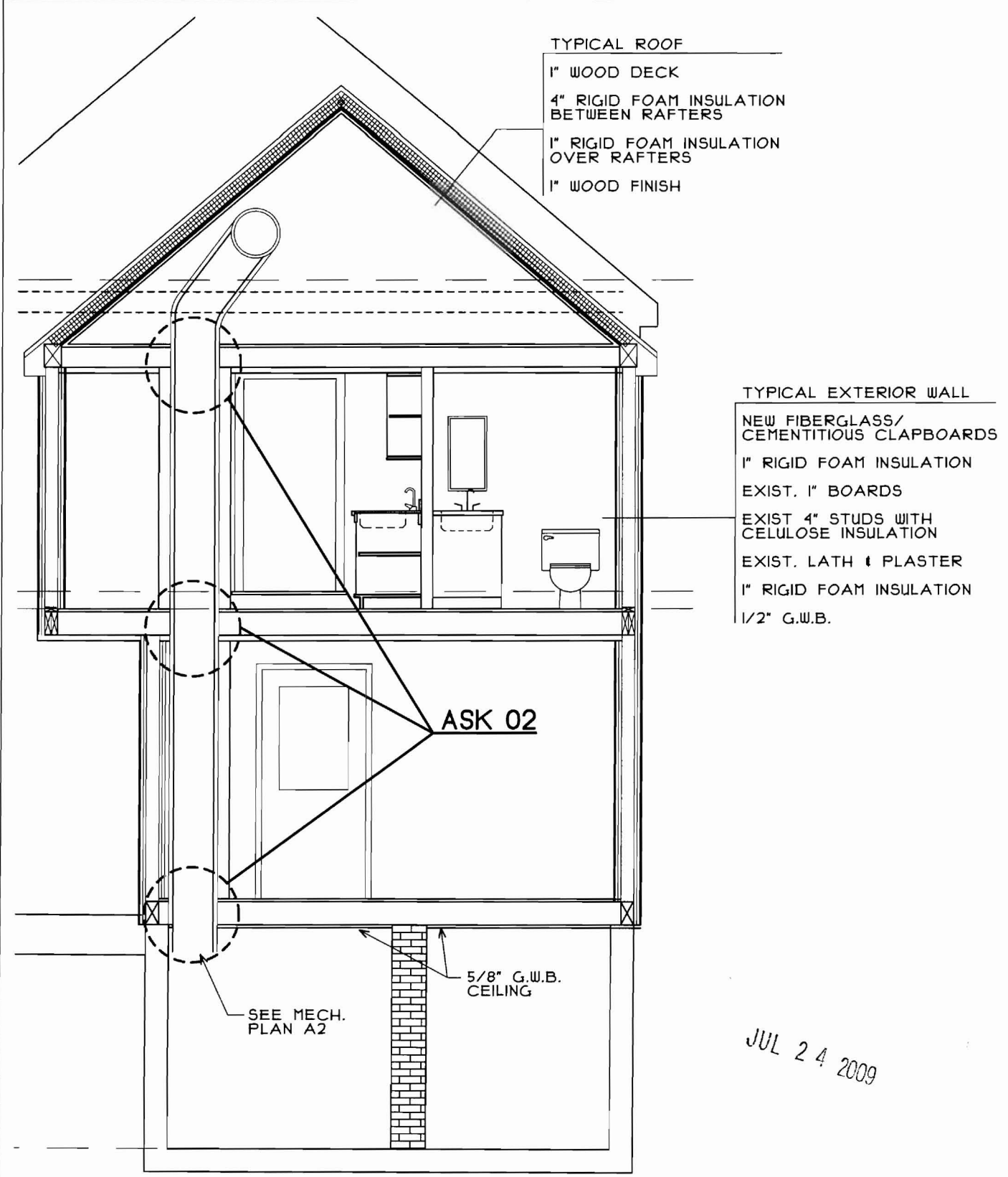
5 South St.
Portland, Maine

Date: July 21, 2009

Stephen Blatt
Architects

Reference: A4

ASK-02



BUILDING SECTION

SCALE: 1/4" = 1'-0"

5 South St.
Portland, Maine

Date: July 21, 2009

Stephen Blatt
Architects

Reference: a4

ASK-03

Fire Department Requirements
5 South Street, Portland, Maine

Applicant: Stephen Blatt
P.O. Box 583 DTS
Portland, Maine 04112
761-5911

Architect: see above

Proposed Use: **Architectural Office** (from Existing Residential Use)
NFPA Classification- **New Business**
IBC Classification-**Business Group B**

Square footage: 1st 956 SF + 2nd 1006 SF = **Total 1,962 SF**

Fire Protection: Existing-unsprinkled
Proposed- unsprinkled

Separate Plans: N/A-No suppression or Detection system required.

Life Safety Plan: See separate plans attached
See code summary below

NFPA Life Safety Code Summary (2006)

The existing 2-story building is proposed to change from Residential Use to a Business Use of an Architectural Office, total approximately 1,962 SF.

Building Classification:

New Business Occupancy -Chapter 38
Offices, Administration Areas and Support Facilities

Permissible Construction:

Business Occupancy: No minimum construction requirements (38.1.6)

Occupant Load (38.1.7)

Per Table 7.3.1.2, Business Use @ 100 SF/per person
1st floor 956 SF/ 100 = 10 persons + 2nd floor 1,006 SF/100 =10 persons
Total SF 1,962 SF=20 persons

Means of Egress-Requirements (38.2)

Two means of egress are provided:

Stair #1: existing interior stair per Table 7.2.2.2.1.1b
Width 36", riser 7 ½" & tread 9 ½" o.k.

Change headroom to 6'-8" minimum.

Stair #28: existing interior stairs per table 7.2.2.21.1b
Width 34", riser 8" riser, 9" tread

Means of Egress- Components -(38.2.2) Means of Egress- Chapter 7

Exit Stair- 7.2.2.1.2(2) Approved, existing non-complying stairs (rated door).

Exit Access corridor- no rating required less than 30. (7.1.3.1)

Capacity Means of Egress (38.2.3)

Per Section 7.3.3.1 Table Stairways .3 in per person .3 x 10 persons = 3"

Minimum 36" width provided

Number of Exits (38.2.4)

Two means of egress are provided.

Arrangement of Means of Egress (38.2.5)

No dead end corridors

Common path of travel-less than 100 ft. o.k.

Travel distance- 30 ft max o.k. -less than 200 ft. o.k.

Emergency Lighting- (38.2.9)

Detection, Alarm & Communication System (38.3.4.1)-not required

-Building's 2nd floor is 1 story above level of exit discharge

- Building has 7 total occupants above level of exit discharge (Less than 50).

--Building has a total of 20 occupants (less than 300 occupants).

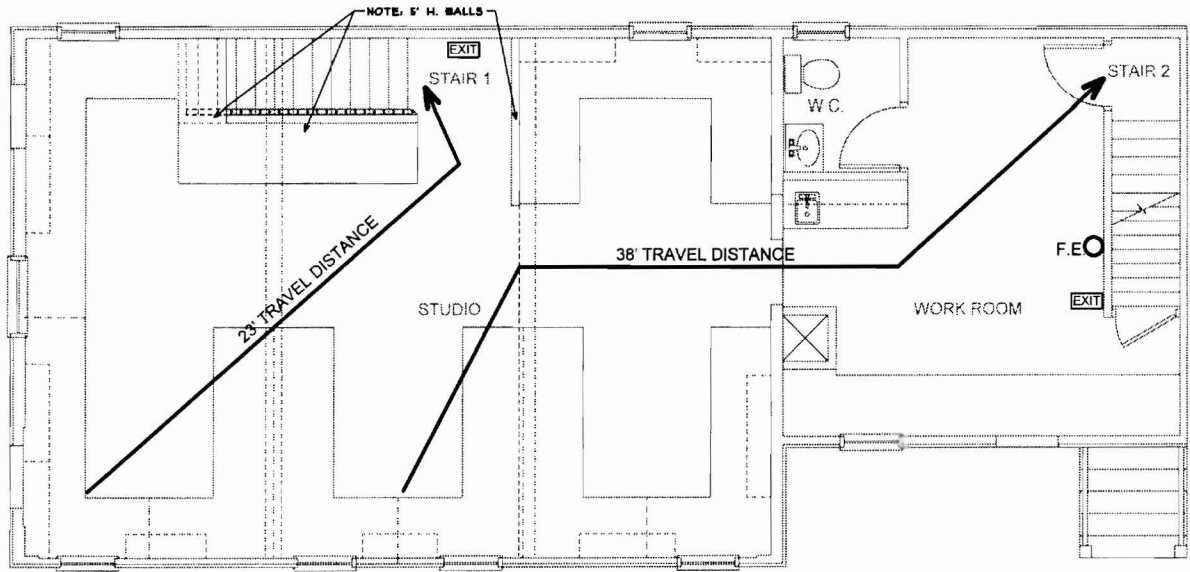
Marking of Means of Egress-(38.10) Exit signs are required.

Protection from Hazards-(38.3.2.1), Section 8.7

Provide 1 hour rated boiler room in basement level.

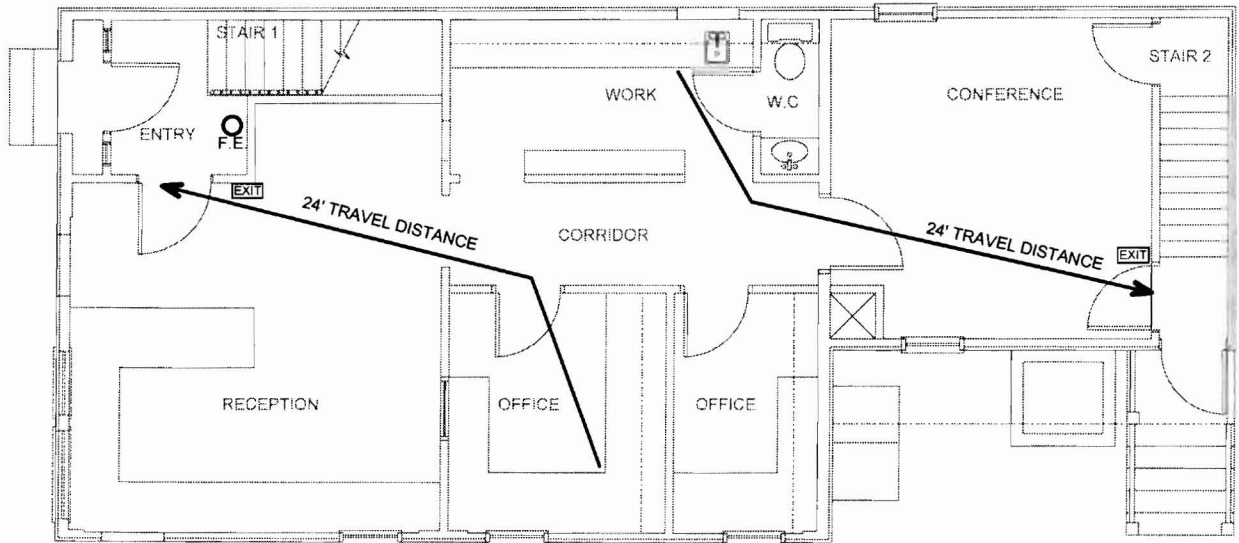
Extinguishing Requirements-(38.3.4.1) Portable extinguishers required per 9.7.1.1

Provide 2 fire extinguishers- 1st floor at main en trance & 2nd floor near stair 2



Second Floor Plan

Scale: 1/8" = 1'-0"



Ground Floor Plan

Scale: 1/8" = 1'-0"

- EXIT EXIT SIGN
- F.E. FIRE EXTINGUISHER
- NOTE: FIRE EXTINGUISHER IN BASEMENT

**LIFE SAFETY DIAGRAMS
5 SOUTH STREET**

June 26, 2009



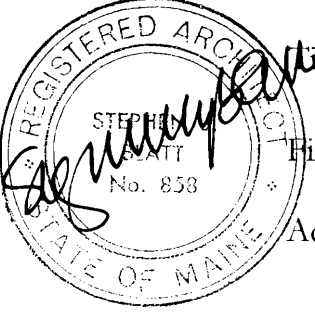

Certificate of Design

Date: June 16, 2009

From: Stephen Blatt, Stephen Blatt Architects

These plans and / or specifications covering construction work on:
Renovations, 5 South Street, Portland

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

(SEAL)  Signature: 
 Title: President
 Firm: Stephen Blatt Architects
 Address: 10 Danforth St.
Portland, ME 04101
 Phone: 761-5911

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



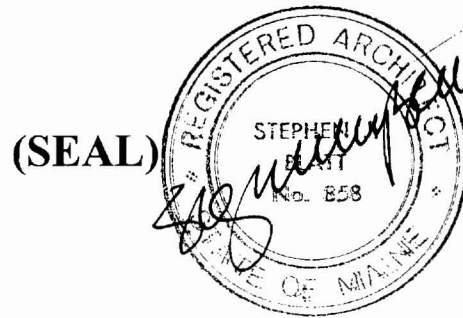
Accessibility Building Code Certificate

Designer: Stephen Blatt Architects

Address of Project: 5 South Street, Portland, ME 04101

Nature of Project: Renovations to existing residential 2-unit
building for use as professional architectural office

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *Stephen Blatt*

Title: President

Firm: Stephen Blatt Architects

Address: 10 Danforth St.
Portland, ME 04101

Phone: 761-5911

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Reviewed modification to exempted site plan with Anne Machado on 7/9/09. Applicant was granted exemption from site plan review for change of use for renovation of existing building from residential to architectural office. Removal of 2-story shed at rear, construction fo new shed for stairway, new siding, new windows, light renovations and upgrades to interior. The only modification is that he palns to demo the two-story rear shed but not to reconstruct. We are ok with this. It still qualifies as an exemption.

A handwritten signature in black ink, appearing to read "Anne Machado".

7/10/09

re: # 2009 - 0001



2009-0001

Application for Exemption from Site Plan Review Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

1. Applicant Information

Stephen Blatt

Applicant/Owner

P.O. Box Box 583

Mailing Address

Stephen Blatt

Consultant/Agent

761-5911 / 761-2105 /

Phone Fax Cell

2. Project Information

December 30, 2008

Application Date

Offices of Stephen Blatt Architects

Project Name/Description

5 South Street

Address of Proposed Site

Chart 38 Block E Lot 27

Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development:

Renovation of existing building for use as an architectural office

Removal of 2-story shed at rear, construction of new shed for stairway, new siding, new windows, light renovations, and upgrades to interior

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>Yes</u>	<u>yes</u>
b) Footprint Increase Less Than 500 sq. ft.	<u>Yes</u>	<u>yes</u>
c) No New Curb Cuts, Driveways, Parking Areas	<u>Yes</u>	<u>yes</u>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>Yes</u>	<u>yes</u>
e) No Additional Parking/No Traffic Increase	<u>Yes</u>	<u>yes</u>
f) No Known Stormwater Problems	<u>Yes</u>	<u>yes</u>
g) Sufficient Property Screening Exists	<u>Yes</u>	<u>yes</u>
h) Adequate Utilities	<u>Yes</u>	<u>yes</u>

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

JAN 12 2009

Planner's Signature

Mary Costa

Date

1/7/08
(2009)

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (503-74-8703), to determine what other City permits, such as a building permit, will be required.

Stephen Blatt
Architects

December 30, 2008

Dept. of Planning & Urban Development
City of Portland
City Hall - 389 Congress St.
Portland, ME 04101

Re: 5 South Street: Renovation

To Whom It May Concern:


Attached please see my application for an Exemption from Site Plan Review. The proposed project meets all of the provisions in standards a-h:

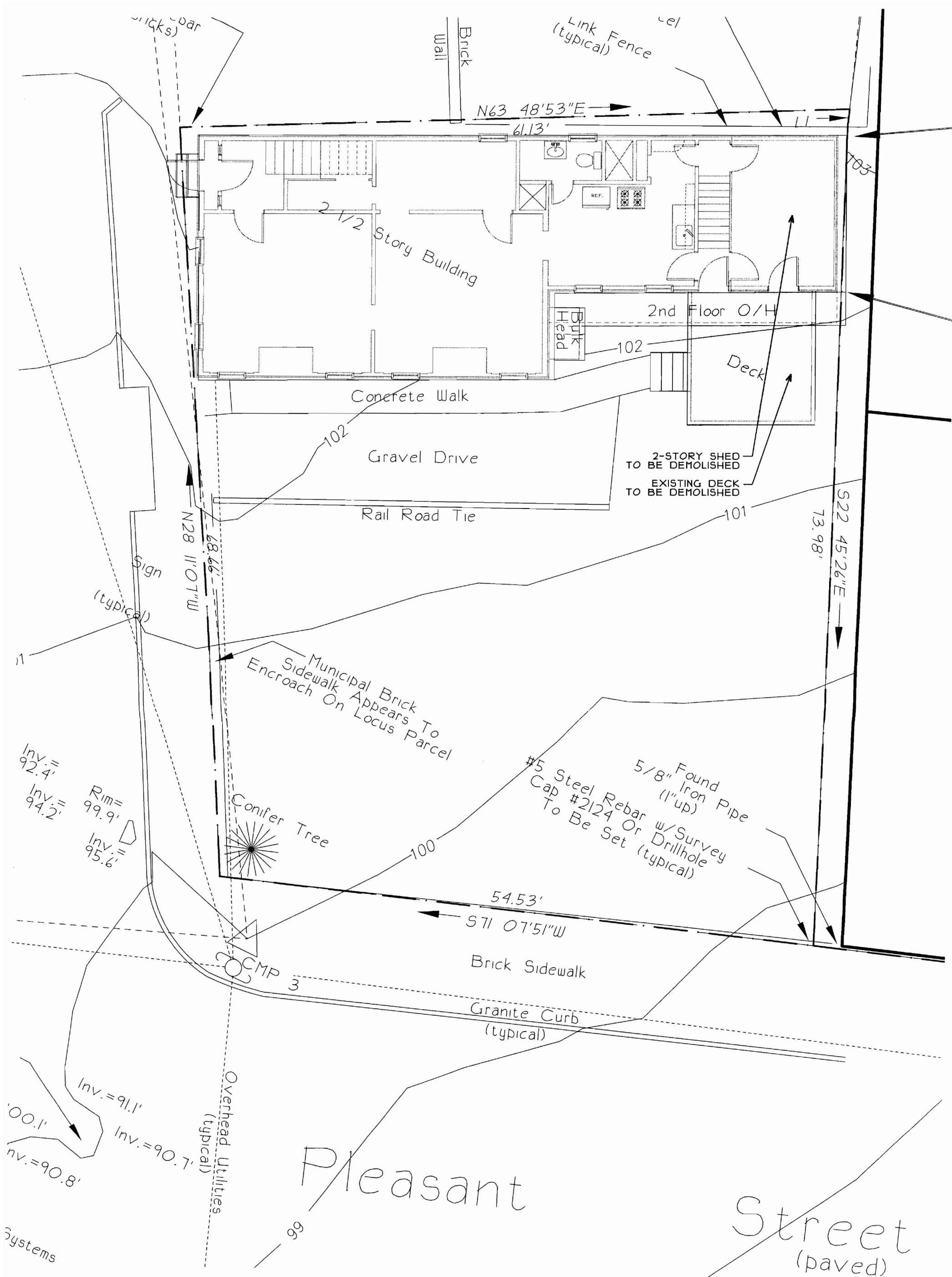
- a. The proposed project includes the demolition of an attached 2 ½ story shed at the rear of building. The shed is constructed on posts beyond the foundation of the main portion of the building. It is 9'-7 ½" x 14'-3" (137 s.f. footprint). A survey indicates that this shed extends 4" beyond the property line.
- b. The shed described in a. above is to be replaced with new construction containing an interior stairwell. The addition will be 7'-9 ½" x 14'-3" (111 s.f.). This is well below the 500 s.f. threshold and, further, addresses the issue of the current structure's encroachment on the property line.
- c. Yes, no new curb cuts, driveways, parking areas.
- d. Yes, the curbs and sidewalks are in sound condition and comply with ADA.
- e. Yes, no new parking is required, on or off the site and the project does not significantly increase traffic.
- f. Yes, there are no known stormwater problems.
- g. Yes, sufficient property screening exists.
- h. Yes, existing utility connections are adequate.

The demolition and addition described in sections a. and b. above result in a net decrease of 26 s.f. in the footprint of the building. The existing building is 2,261 s.f. gross on two floors; the proposed project decreases that size to 2,203 s.f. Additionally, the existing 150 s.f. deck will be replaced by a smaller (50 s.f.) exterior deck and steps to grade.

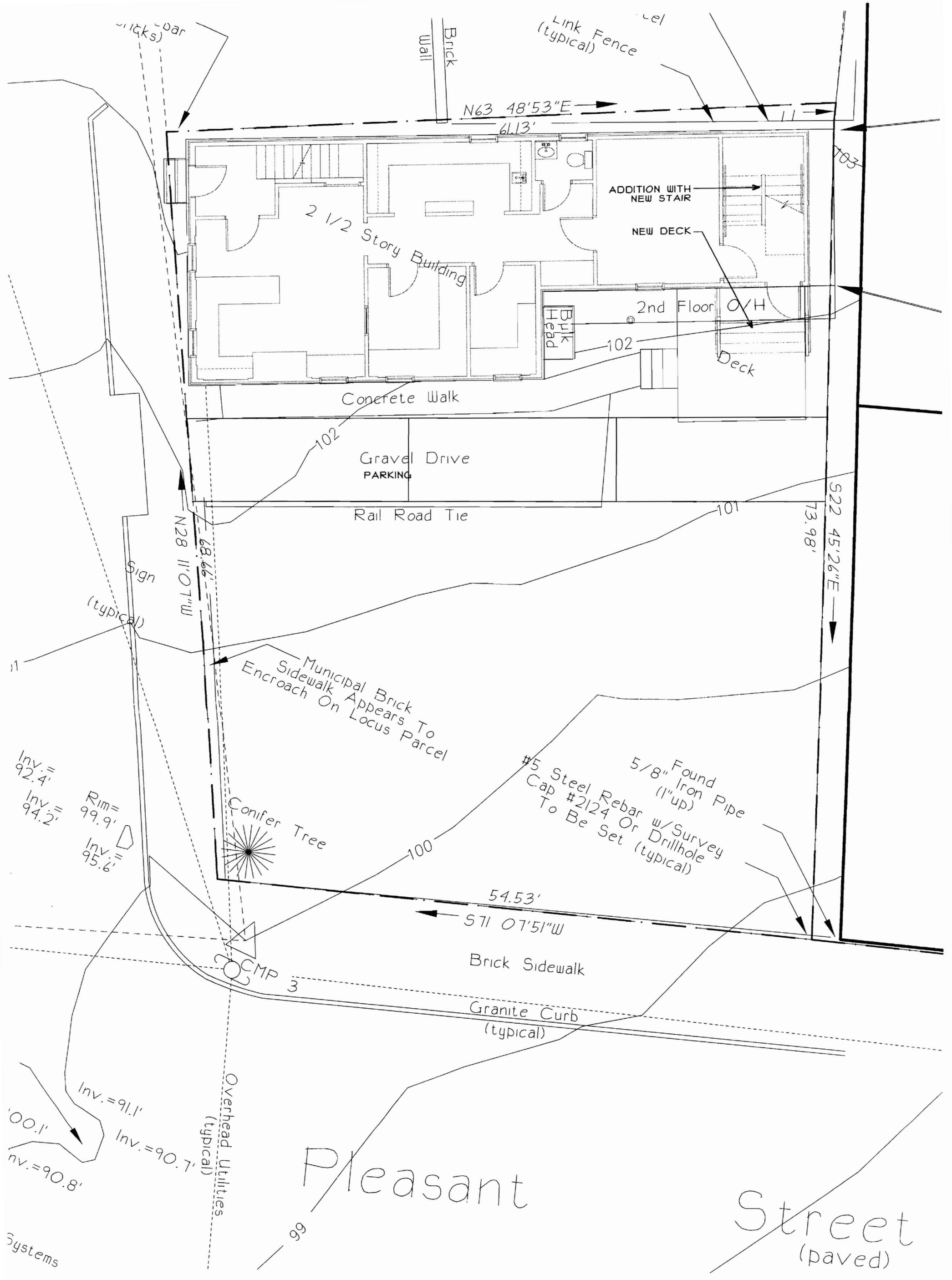
10 Danforth Street
Post Office Box
583 DTS
Portland, Maine
04112-0583
Voice:
207.761.5911
Fax:
207.761.2105
Email:
sba@sbarchitects.com
www.sbarchitects.com

Yours truly,

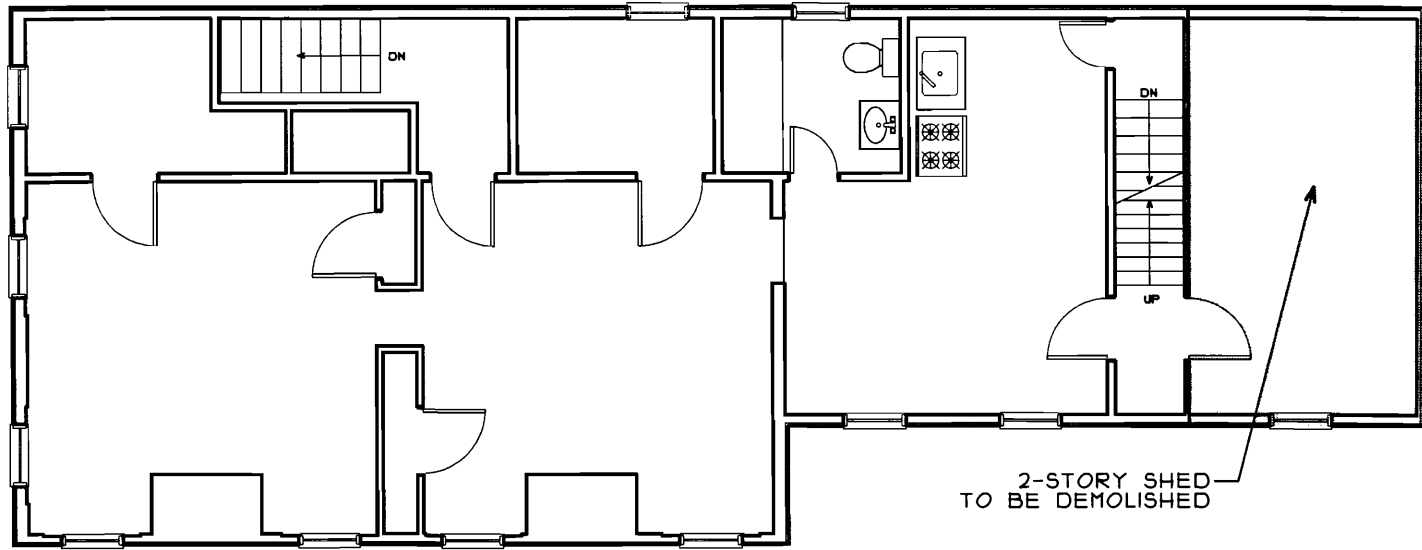

Stephen J. Blatt, AIA



5 SOUTH STREET
Existing Site Plan
December 30 2008

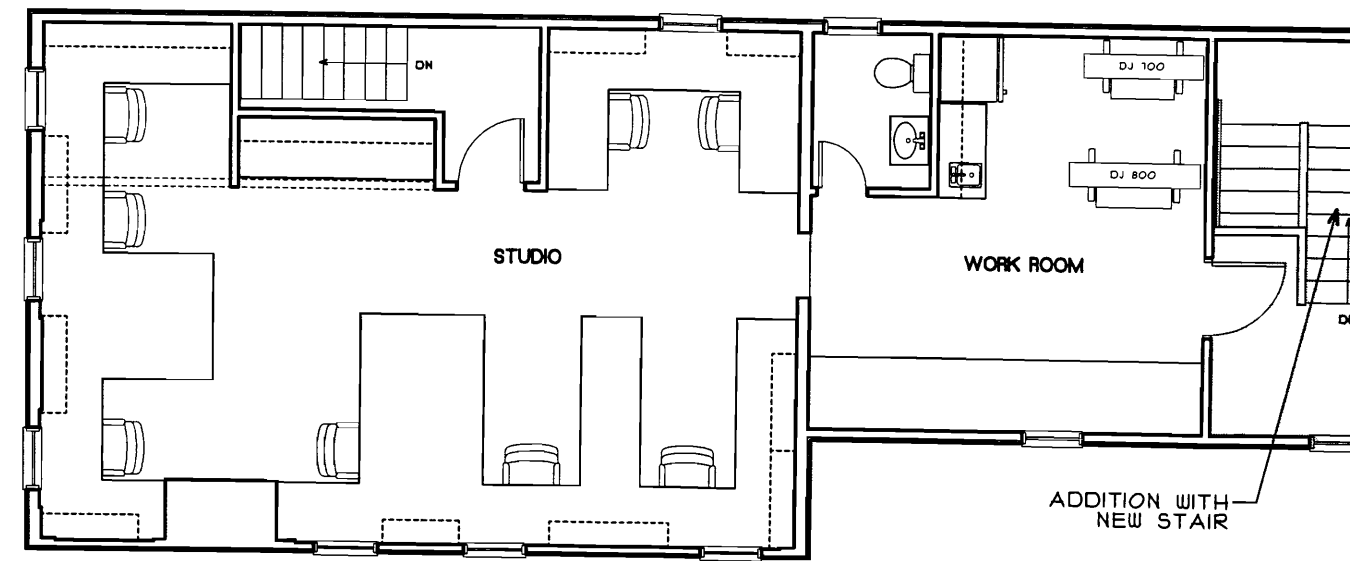


**5 SOUTH STREET
Proposed Site Plan
December 30, 2008**



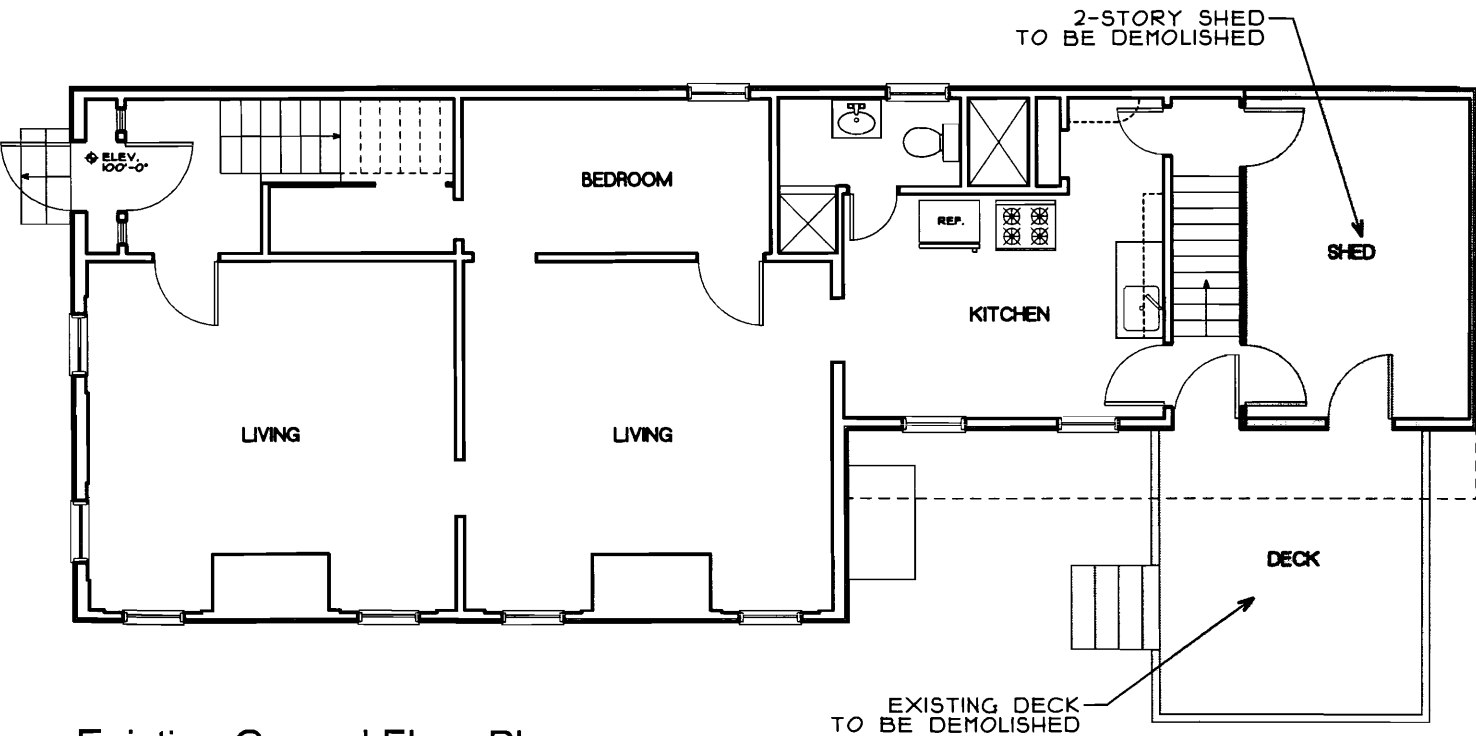
Existing Second Floor Plan

SCALE: 1/8" = 1'-0"



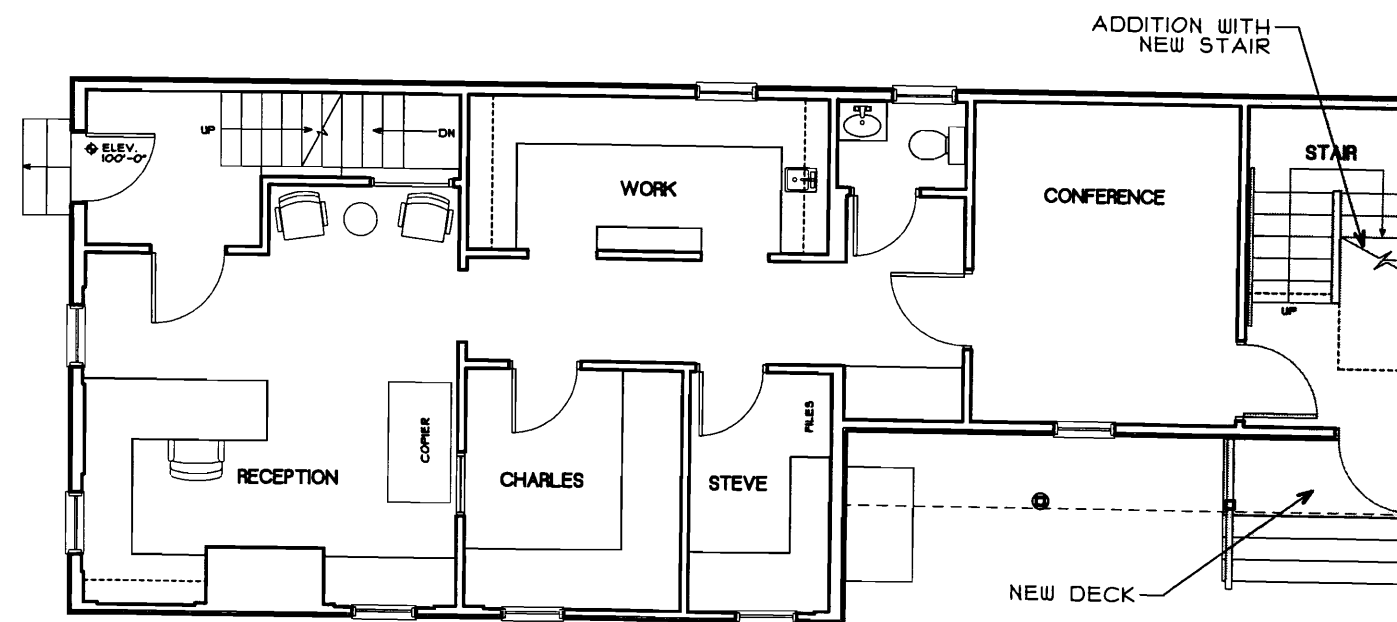
Proposed Second Floor Plan

SCALE: 1/8" = 1'-0"



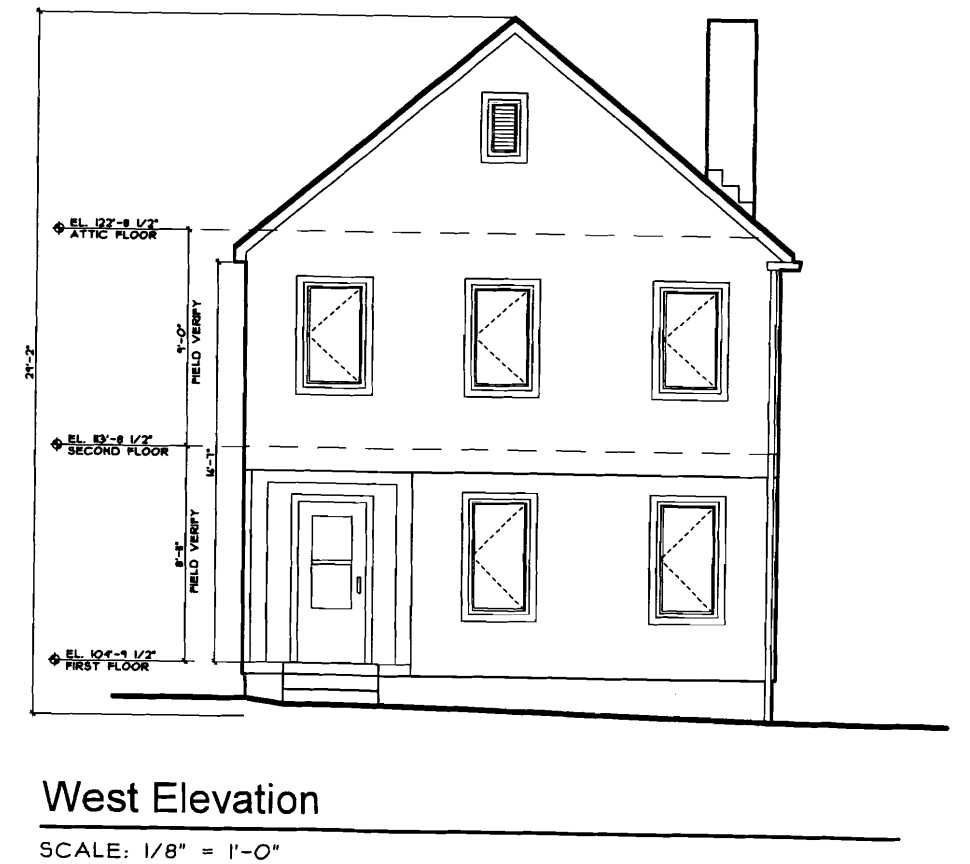
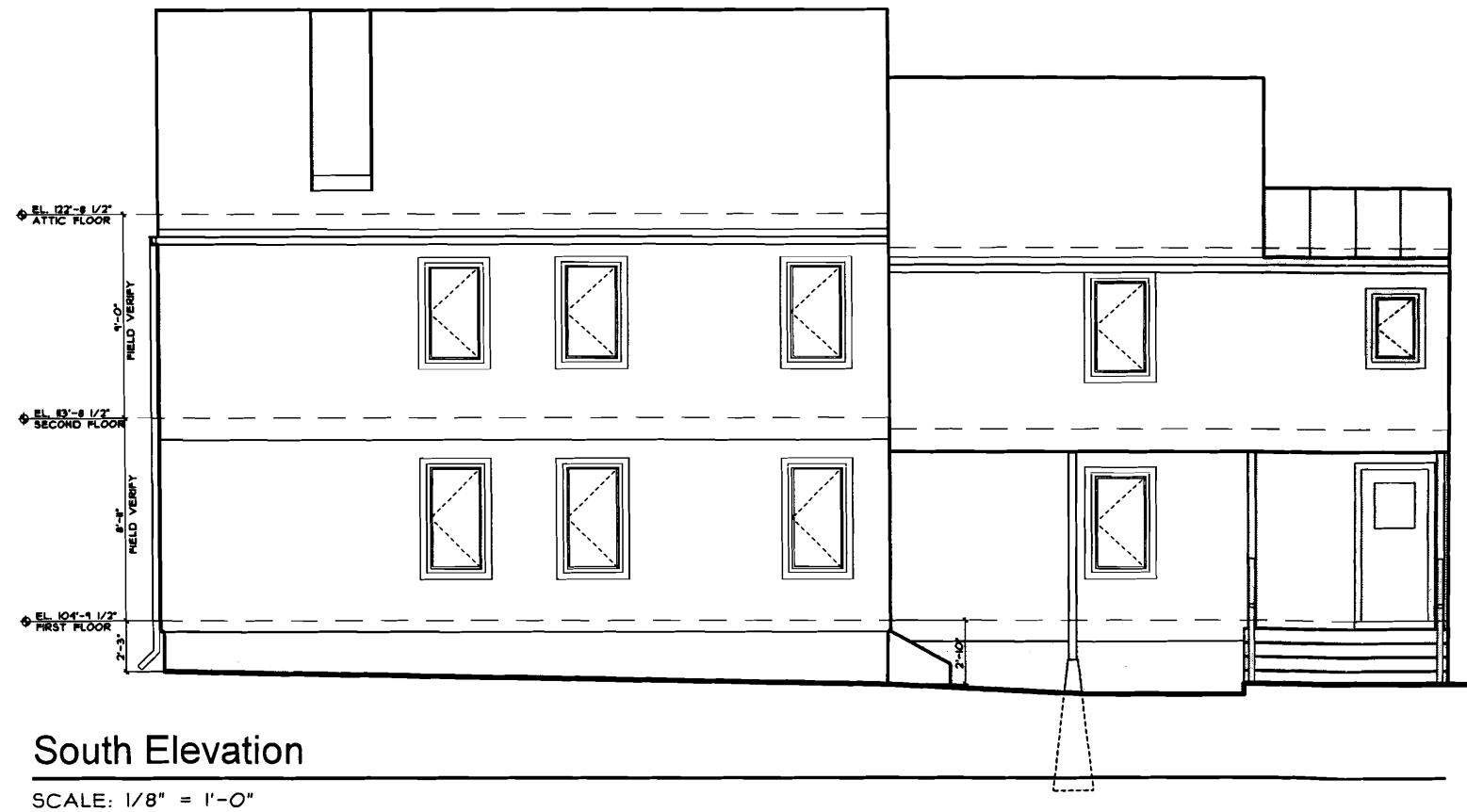
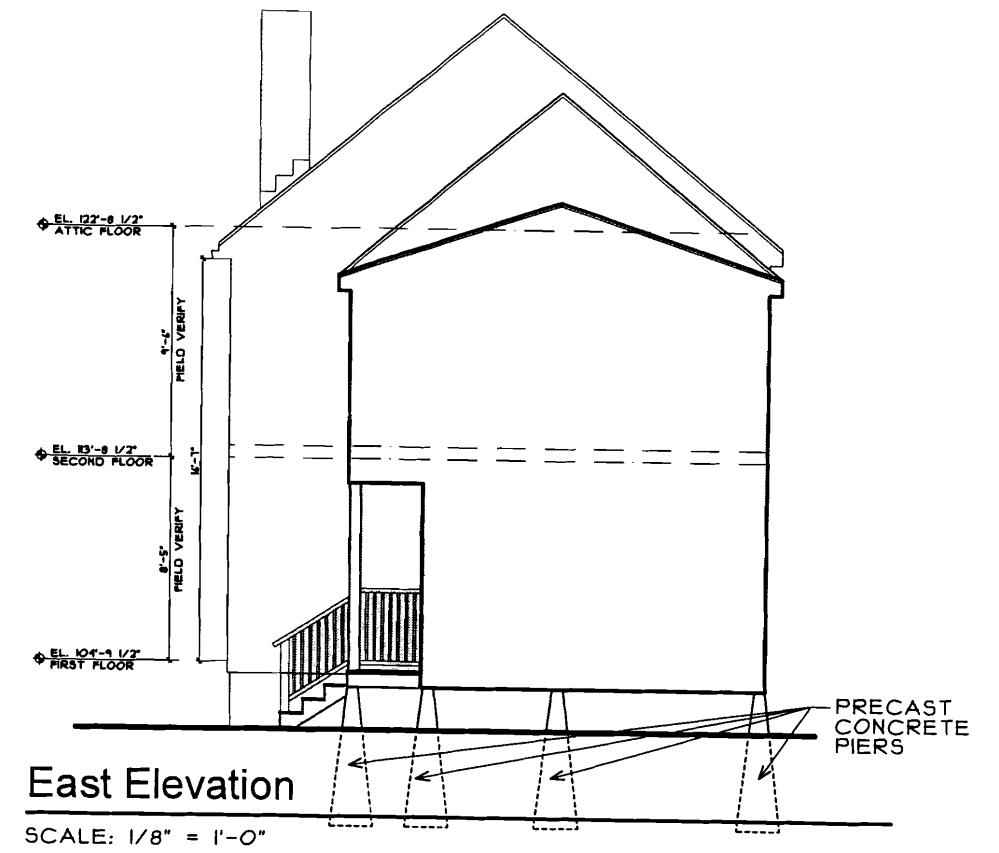
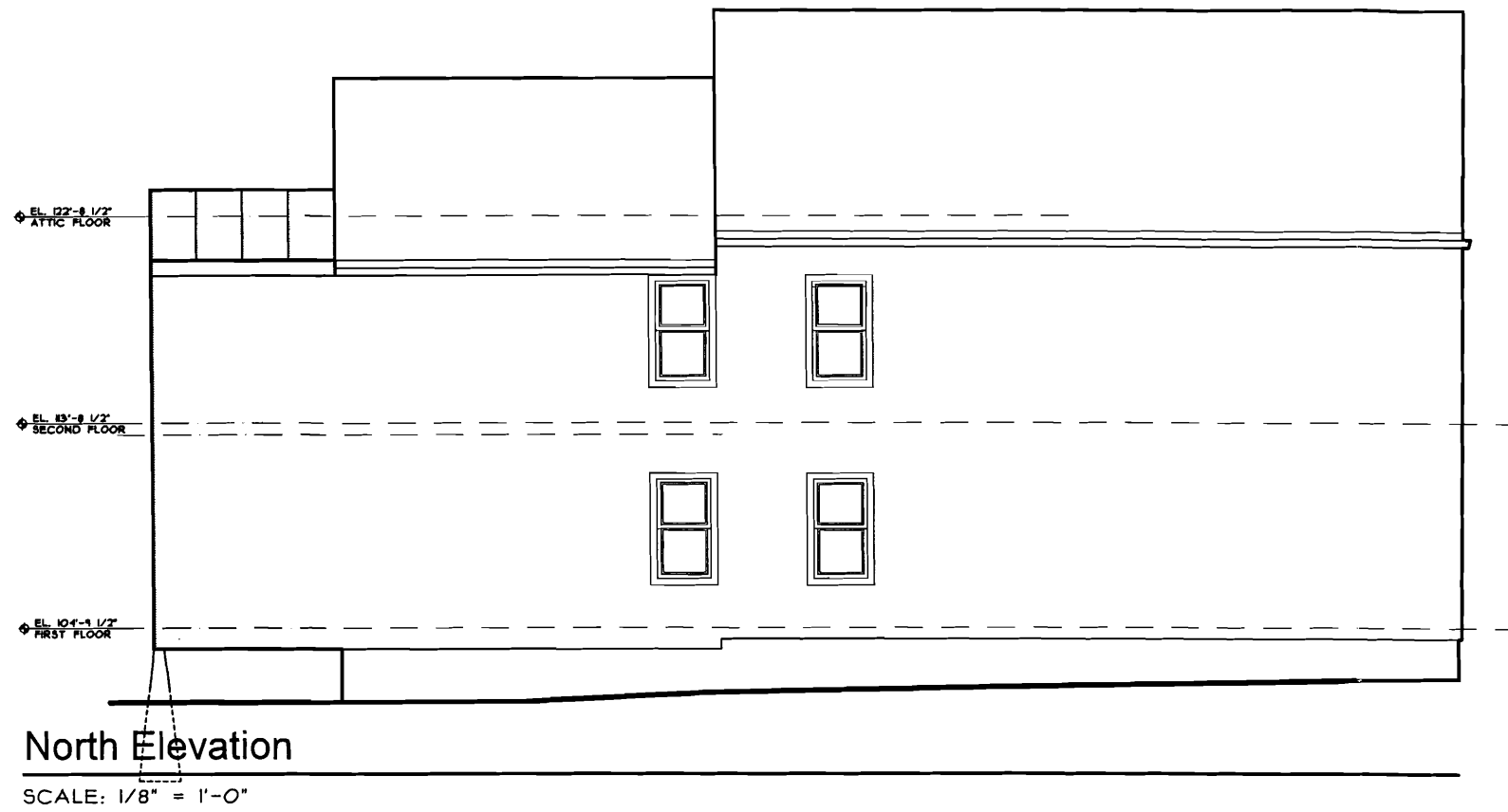
Existing Ground Floor Plan

SCALE: 1/8" = 1'-0"



Proposed Ground Floor Plan

SCALE: 1/8" = 1'-0"



5 SOUTH STREET

December 30, 2008