

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that ANJA-BRITT HANSON

Located At 9 SOUTH ST

Job ID: 2011-10-2471-ALTR

CBL: 038- E-026-001

has permission to Replace existing deck in same footprint

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2471-ALTR	Date Applied: 10/12/2011	CBL: 038- E-026-001	
Location of Construction: 9 SOUTH ST	Owner Name: ANJA-BRITT HANSON & DEREK PIERCE	Owner Address: 9 SOUTH ST PORTLAND, ME 04101	Phone: 207-874-8160
Business Name:	Contractor Name: Kolbert, Dan	Contractor Address: 90 Gray ST PORTLAND Me 04102	Phone: (207) 799-8799
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building-Alterations	Zone: B-3
Past Use: Two family	Proposed Use: Same - Two family - replace existing deck in same footprint 27' x 12'4"	Cost of Work: 30000.00	CEO District:
Proposed Project Description: Replace existing deck in same footprint		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i>	Inspection: Use Group: R-3 Type: 5B #RC 09 Signature: <i>[Signature]</i>
Permit Taken By:		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>Ok w/ condition</i> <i>10/31/11</i> <i>ASU</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASU</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-10-2471-ALTR

Located At: 9 SOUTH ST

CBL: 038- E-026-001

Conditions of Approval:

Zoning

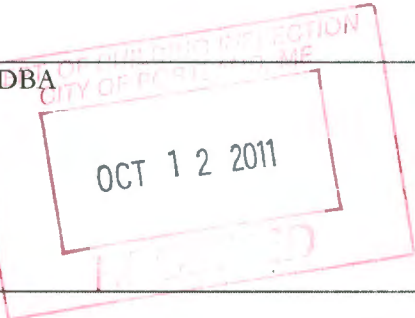
1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

B-3



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>9 SOUTH ST.</u>		
Total Square Footage of Proposed Structure/Area <u>320</u>	Square Footage of Lot <u>3758</u>	Number of Stories <u>2.5</u>
Tax Assessor's Chart, Block & Lot Chart# <u>38</u> Block# <u>E</u> Lot# <u>26</u>	Applicant: (must be owner, lessee or buyer) Name <u>ANJA HANSON + DEREK PIERCE</u> Address <u>9 SOUTH ST</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>874-8160</u>
Lessee/DBA 	Owner: (if different from applicant) Name _____ Address _____ City, State & Zip _____	Cost of Work: \$ <u>30,000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>320</u>
Current legal use (i.e. single family) <u>TWO FAMILY</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>DECK</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>REPLACE EXISTING DECK IN SAME FOOTPRINT</u>		
Contractor's name: <u>KOLBERT BUILDING</u>		Email: <u>DAN@KOLBERTBUILDING.COM</u>
Address: <u>90 GRAY ST</u>		Telephone: <u>799-8799</u>
City, State & Zip: <u>PORTLAND ME 04102</u>		Telephone: <u>650-7650</u>
Who should we contact when the permit is ready: <u>DAN KOLBERT</u>		Telephone: <u>650-7650</u>
Mailing address: <u>90 GRAY ST - 04102</u>		

11.8/11
10.18.11

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: <u>10/11/11</u>
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This is not a permit; you may not commence ANY work until the permit is issued

HANSON-PIERCE DECK
PLOT PLAN
9 SOUTH ST.

B3 zone

nom. n. lot size

nom. minimum yard dimensions (10)

coverage - 100% (10)

21 PLEASANT

Dan is 11/15/11
calling
on status,
James

AND, MAINE

ing Inspections

ceipt

20

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 320

Building (1L) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (U2) _____

Other _____

CBL: 38 E 26

Check #: CC Total Collected \$ 320

No work is to be started until permit issued.
Please keep original receipt for your records.

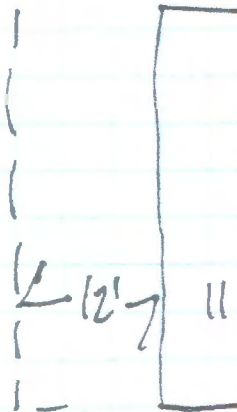
Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

ST.

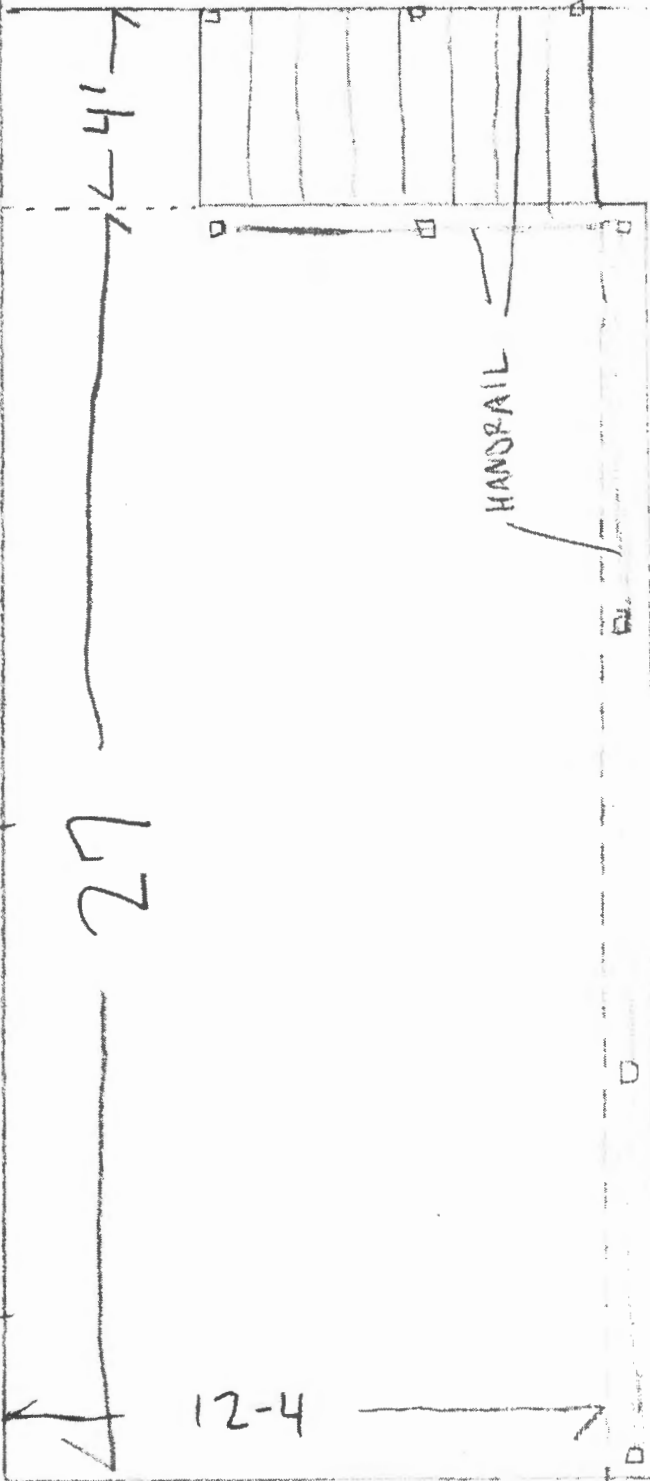
INK

PROPOSED
DECK



HOUSE

EXISTING SLIDING



12-4

27

4'-4"

9'

- 8 TREADS - 10"
9 RISERS - 7 5/16"

HANDRAIL

STAIRS

BELOW
TO
STORAGE

TO
PROPERTY
LINE

311

1/4" = 1'

TO
PROP.
LINE

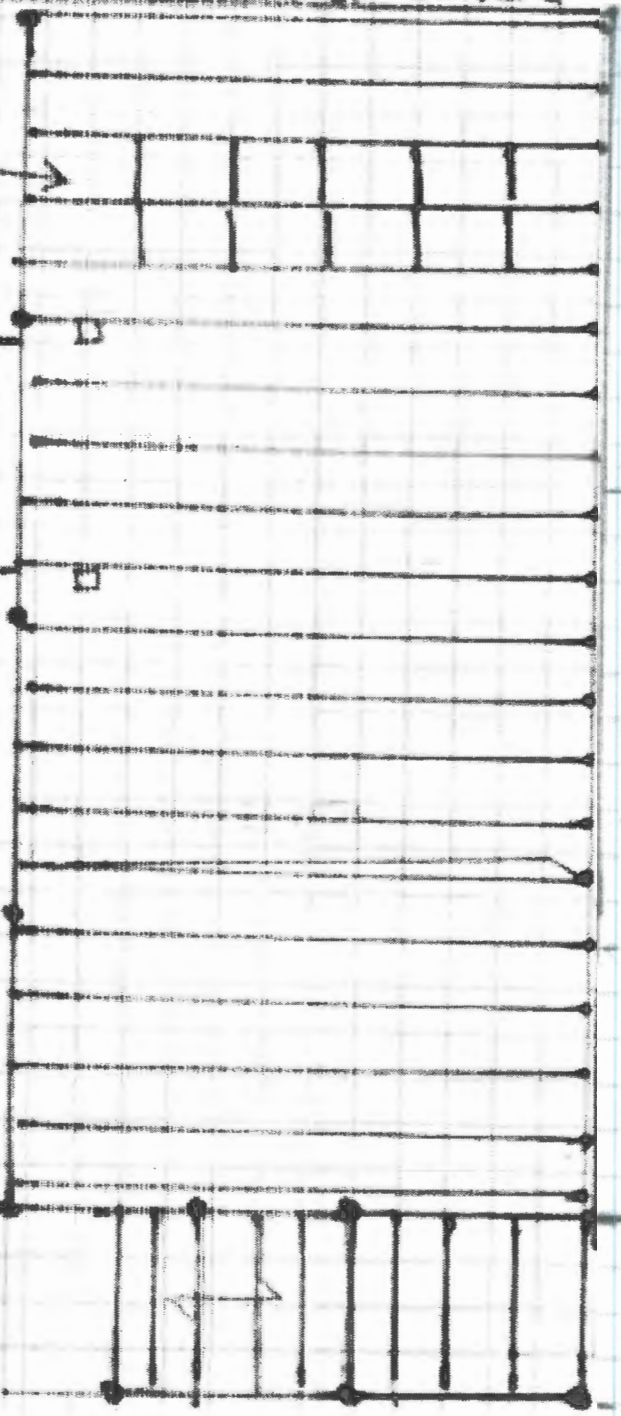
9 SOUTH ST

PICCOLI-MANSON
PLAN
OK

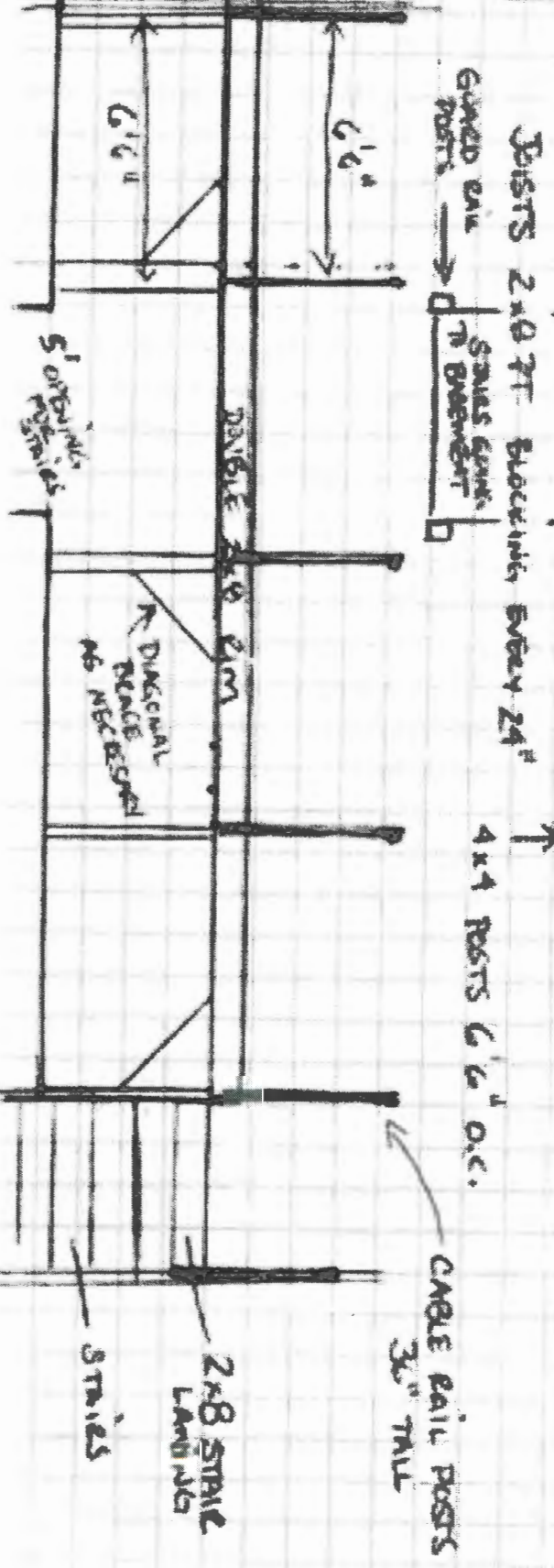
HOUSE

EXISTING BACK

SCALE 1/4" TO FOOT



9 South St
Pierce Hanson
Deck



5' ORBITAL POSTS

DIAGONAL BRACE MAKE AS NECESSARY

2x8 STRIKE LANDINGS
STAIRS

KOLBERT

90 Gray St., Portland ME 04102



BUILDING

(207) 799-8799 Phone & Fax

www.KolbertBuilding.com

October 11, 2011

Construction Details
Hanson-Pierce Deck Renovation
9 South St., Portland

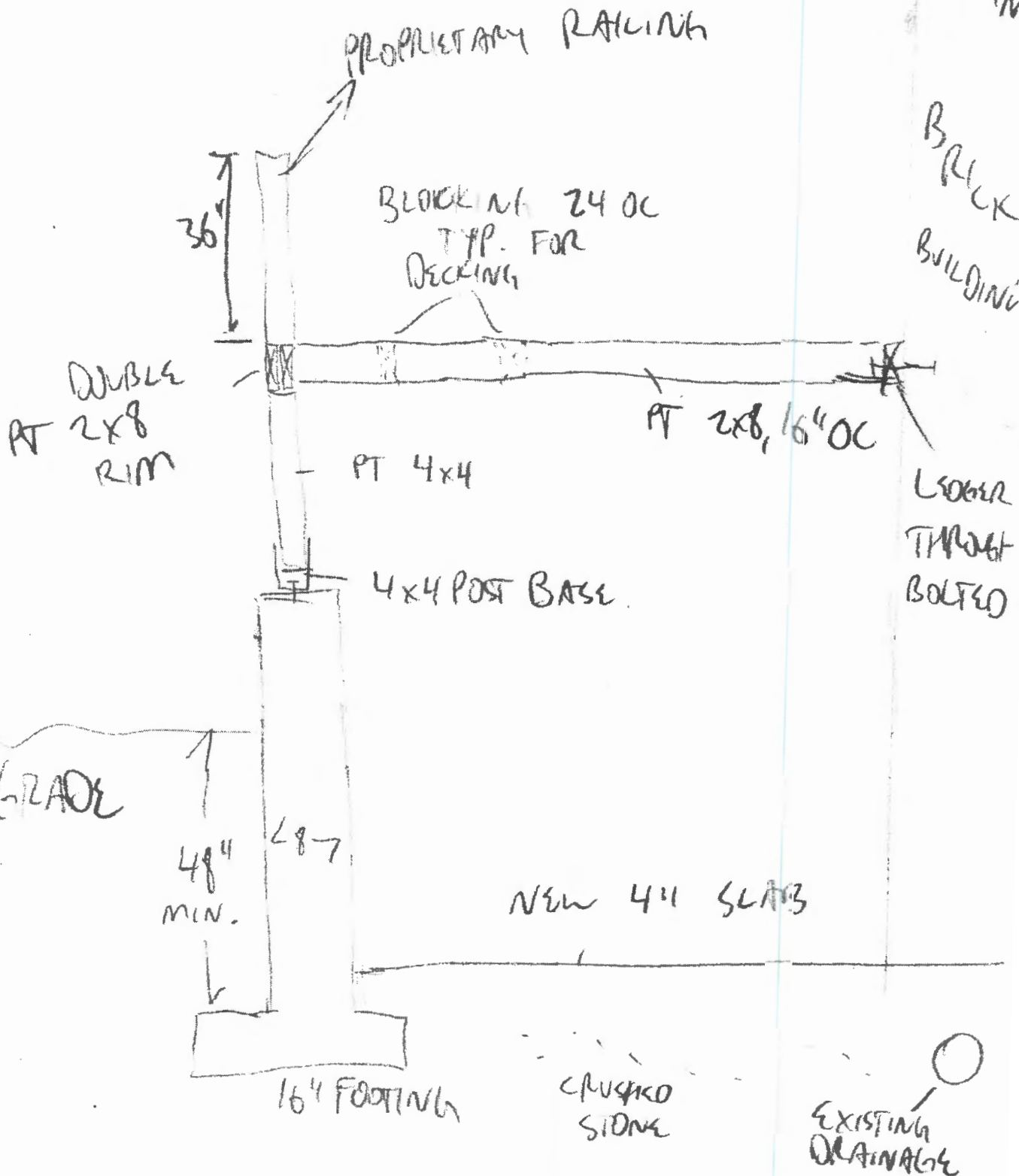
Framing

- 1 Ledger will be bolted through existing brick structure, two ½" bolts every 24". 2x8 pads or ledger on interior to distribute load. All fasteners HD galvanized or stainless steel.
- 2 Deck joists, beam and ledger will be pressure treated (PT) 2x8's. Beam will be double 2x8, posted every 6'6" approximately
- 3 Support posts will be PT 4x4's
- 4 Joists will be supported with galvanized joist hangers
- 5 Stair stringers will be cut from PT 2x12's

Decking/Railing/Stairs

- 1 Decking and railing will be from LockDry. PDF of installation manual attached.
- 2 Stair treads will be 5/4 x 6 Eastern White Cedar
- 3 Railings are cable rail, spaced 3-1/2" on center and with sufficient tension to pass 4" ball test. Guard rails will be 36" above decking; stair rails will be 34-38" inches above nosing.
- 4 Stairs will have a rise of approximately 7-5/16" and a run (net tread) of 10"

PIERCE-MANSON DECK 9 SOUTH ST



FINISHER

MAIN

STARTER



#10 X 3/4" PANTORX



TRIM INSTALLS WITH OFFSET NIB LEG DOWN PROVIDING A DRIP EDGE AND DRAINAGE.

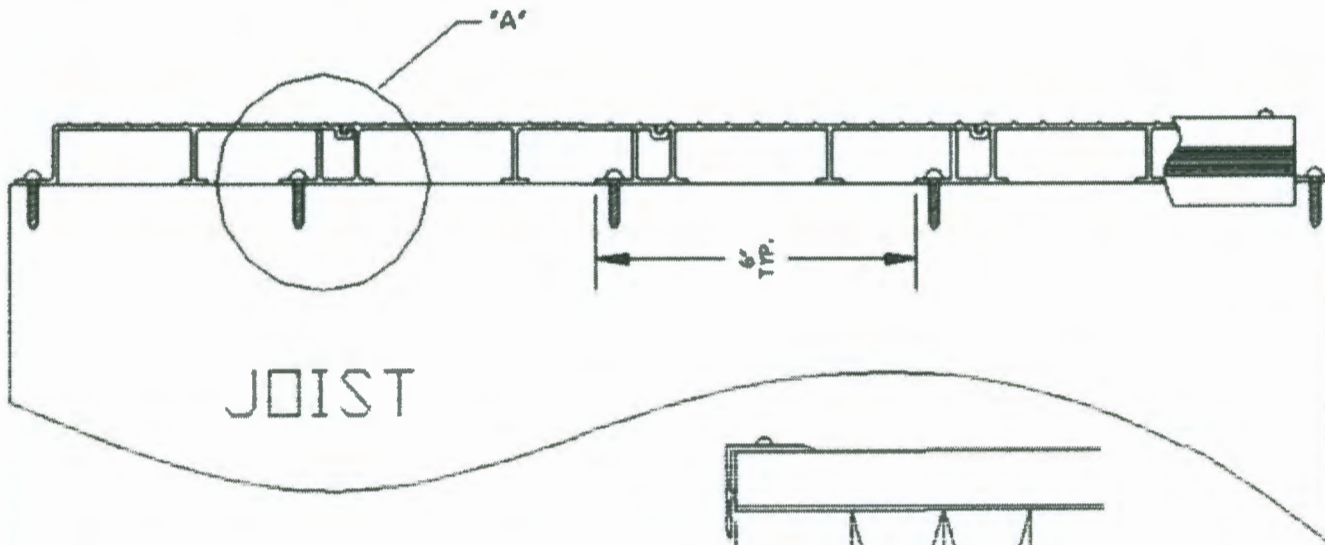
1 1/2" X 1 1/2" EDGE TRIM USED TO COVER THE OPEN END OF THE FLOORING.

NOTE:

1/8" DROP PER FOOT AWAY FROM THE STRUCTURE IS REQUIRED

NOTE:

TO AVOID WATER POOLING ON DECK SURFACE, RAFTERS AND/OR JOIST MUST REMAIN FLAT TO WITHIN 1/4".

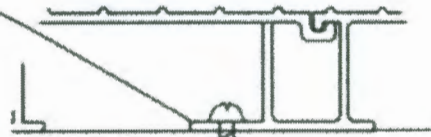


JOIST

RECOMMENDED 2" MINIMUM OVERHANG

FASCIA

DRILL A 13/64" PILOT HOLE THROUGH ALUMINUM ONLY !!

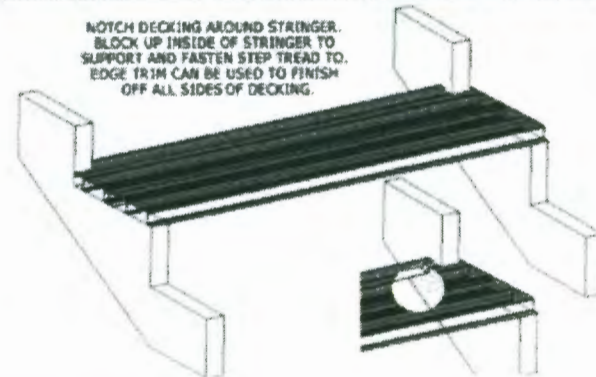


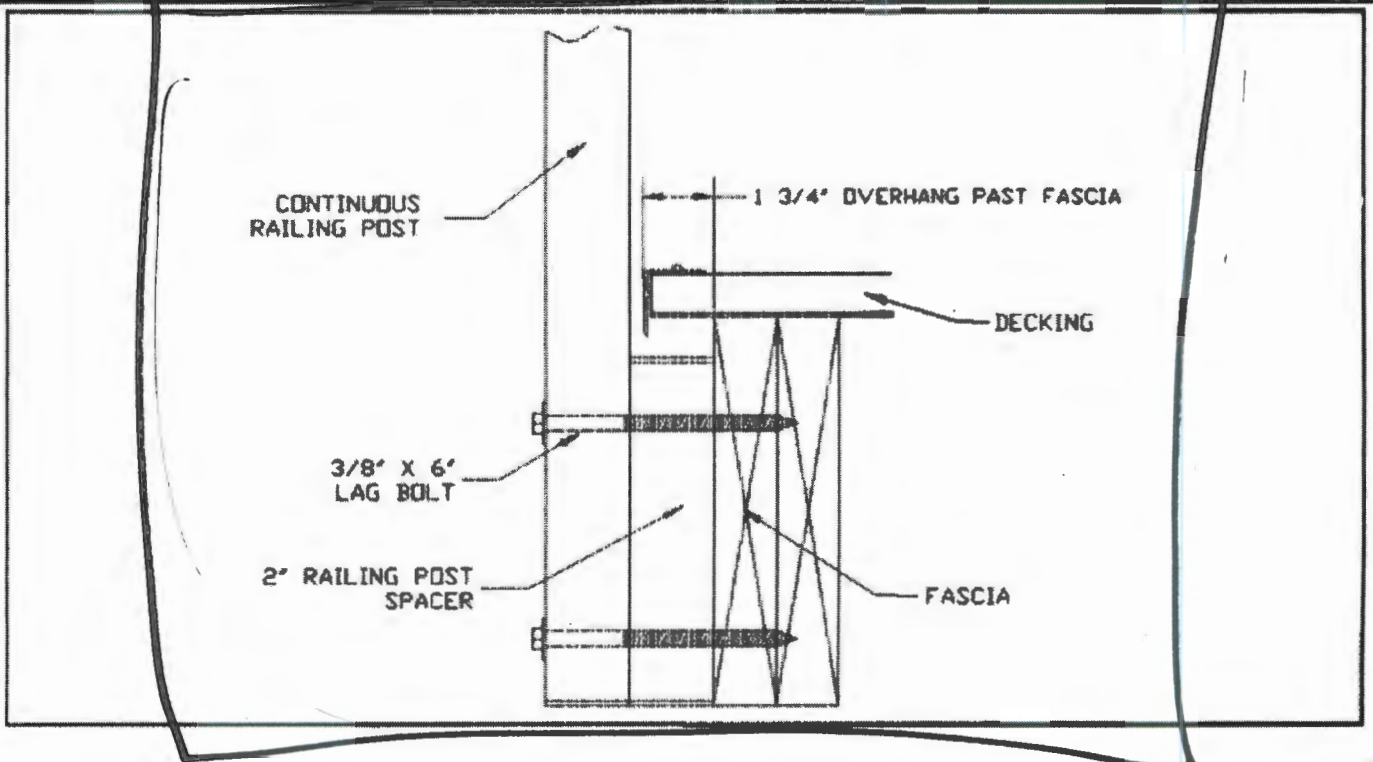
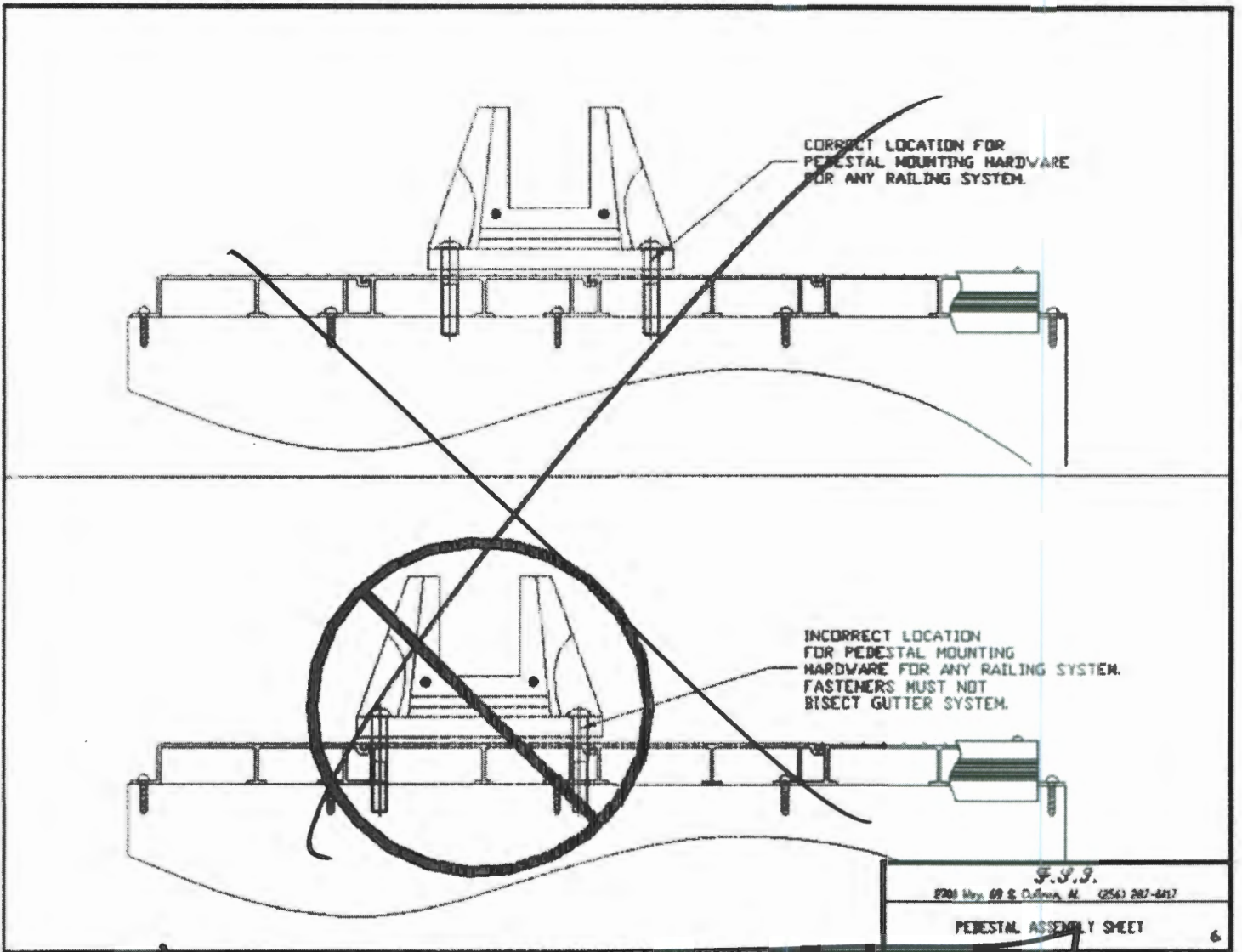
#10 X 1 1/2" S.S. WOOD SCREW

VIEW IN CIRCLE 'A'

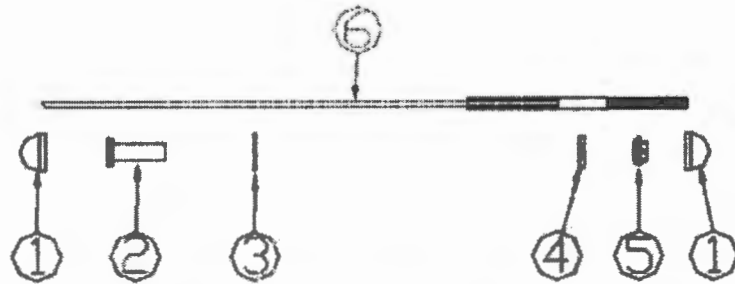
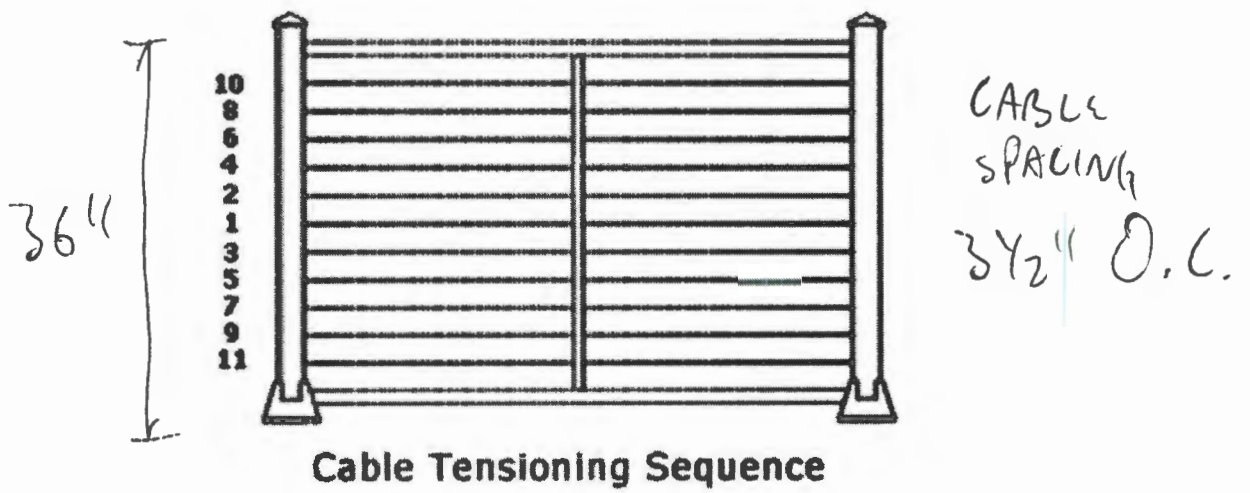
STARTER AND FINISHER STEP TREAD INSTALLATION FOR STEP TREAD RUNS LESS THAN 12"

NOTCH DECKING AROUND STRINGER. BLOCK UP INSIDE OF STRINGER TO SUPPORT AND FASTEN STEP TREAD TO. EDGE TRIM CAN BE USED TO FINISH OFF ALL SIDES OF DECKING.





Cable Railing Assembly Details



1:	COLORED END CAP
2:	S.S. QUICK CONNECT FITTING
3:	3/4" NYLON WASHER
4:	3/4" NYLON WASHER
5:	1/4" S.S. WASHER NUT
6:	1/8" S.S. CABLE ASSEMBLY

