

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 101253

PERMIT ISSUED

This is to certify that Steinberg Henry/Emberwoods Inc
has permission to Remove and replace existing structure
AT 11 South St CR 038 E025001 OCT 29 2010

provided that the person or persons, firm or corporation acquiring this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CR 1 R. Gauthier
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

CEC. 5 2010

Inspected by: James E. Galloway
Address of Work: 31 Exchange St.

Construction: Building Fee:

Permit Fee: Site Fee:

Certificate of Occupancy Fee:

Total: 70.00

Building (IL) Plumbing (IS) Electrical (IZ) Site Plan (UZ)

Other:

CEC: 034 E 025

Check #: 518 Total Collected: 70.00

No work is to be started until permit issued.
Please keep original receipt for your records.

Tenant by: [Signature]

TE - Applicant's Copy
CW - Office Copy
Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1253	Issue Date:	CBL: 038 E025001
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Location of Construction: 11 South St	Owner Name: Steinberg Henry	Owner Address: Po Box 2187	Phone:
Business Name:	Contractor Name: Emberwoods / James Ember	Contractor Address: 36 Johnson Road Greene	Phone: 2077139947
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: B-3

Fast Use: Multi Family	Proposed Use: Multi Family / Remove and replace existing stairs.	Permit Fee: \$80.00	Cost of Work: \$6,000.00	CEO District: 1
<p>leg use: 3 residential D.U.</p> <p>Proposed Project Description: Remove and replace existing stairs.</p>		<p>FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>* See Conditions</p> <p>INSPECTION: Use Group: R-2 Type: SB</p> <p>IBC-2003</p> <p>Signature: (KG) Date: JMB 10/29/10</p> <p>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</p> <p>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied</p> <p>Signature: Date:</p>		

Permit Taken By: 88	Date Applied For: 10/05/2010	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> -Minor <input type="checkbox"/> MM <input type="checkbox"/> - <input type="checkbox"/> Denied</p> <p>Date: 10/12/10</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>

PERMIT ISSUED

OCT 29 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CNL:
10-1253	10/03/2010	038 E025001

Location of Construction:	Owner Name:	Owner Address:	Phone:
11 South St	Steinberg Henry	Po Box 2187	
Business Name:	Contractor Name:	Contractor Address:	Phone:
	Emberwoods /James Ember	36 Johnson Road Greene	(207) 713-9947
Lessor/Buyer's Name:	Phone:	Permit Type:	
		Alterations - Multi Family	

Proposed Use:	Proposed Project Description:
Multi Family - 3 family/ Remove and replace existing stairs.	Remove and replace existing stairs.

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 10/12/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits shall be required for future decks, sheds, pools, and/or garages.			
2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.			
3) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.			
4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/29/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 10/26/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) No means of egress shall be affected by this renovation			
2) Two means of egress are required from every story. "State Law Title 25 - 2453"			
3) All construction shall comply with City Code Chapter 10.			
4) The entire structure shall comply with Chapter 10 of the Portland City Code for "Existing Apartments." Compliance shall be insured prior to the issuance of a Certificate of Occupancy.			

Comments:

10/29/2010-jmb: Spoke with James E., he will come in to submit details on the handrail, opening limitations on the stair rise.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

 X Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner uses real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 South St Portland Maine</u>		
Total Square Footage of Proposed Structure/Area <u>Same as existing</u>	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>038</u> Block# <u>E</u> Lot# <u>025</u>	Applicant <u>must be owner, Lessee or Buyer</u> Name <u>Joshua Broder</u> Address <u>11 South St. Portland</u> City, State & Zip <u>Maine</u>	Telephone <u>(207) 653-0573</u>
Lessee (if Applicable) RECEIVED OCT - 5 2010 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$6,000.</u> C of O Fee \$ <u> </u> Total Fee: \$ <u>80.00</u>
	Current legal use (i.e. single family) <u>3 family</u> Number of Residential Units If vacant, what was the previous use? Proposed Specific use <u>Same</u> Is property part of a subdivision? If yes, please name Project description: <u>To remove & replace existing stairs w/ same size. Any brick repair as needed.</u>	
Contractor's name: <u>Ember woods</u> Address: <u>36 Johnson Rd</u> City, State & Zip <u>Greene Maine 04236</u> Telephone: <u>(207) 713-9947</u> Who should we contact when the permit is ready: <u>James Ember</u> Telephone: Mailing address: <u>36 Johnson Rd. Greene ME. 04236</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

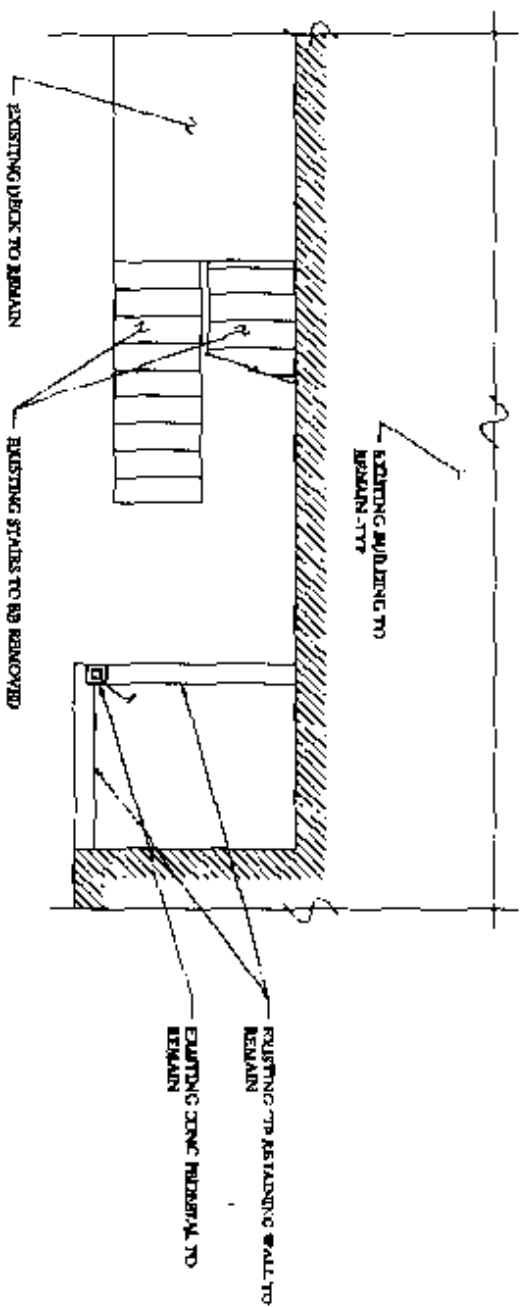
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: James Ember

Date: 9-30-10

This is not a permit; you may not commence ANY work until the permit is issued



EXISTING MAIN LEVEL PLAN

SCALE 1/4" = 1'-0"

Drawing:
**Existing Main
Level Plan**

Date:
8/31/10
Scale:
1/4"=1'-0"
Issued:
FOR CONSTRUCTION

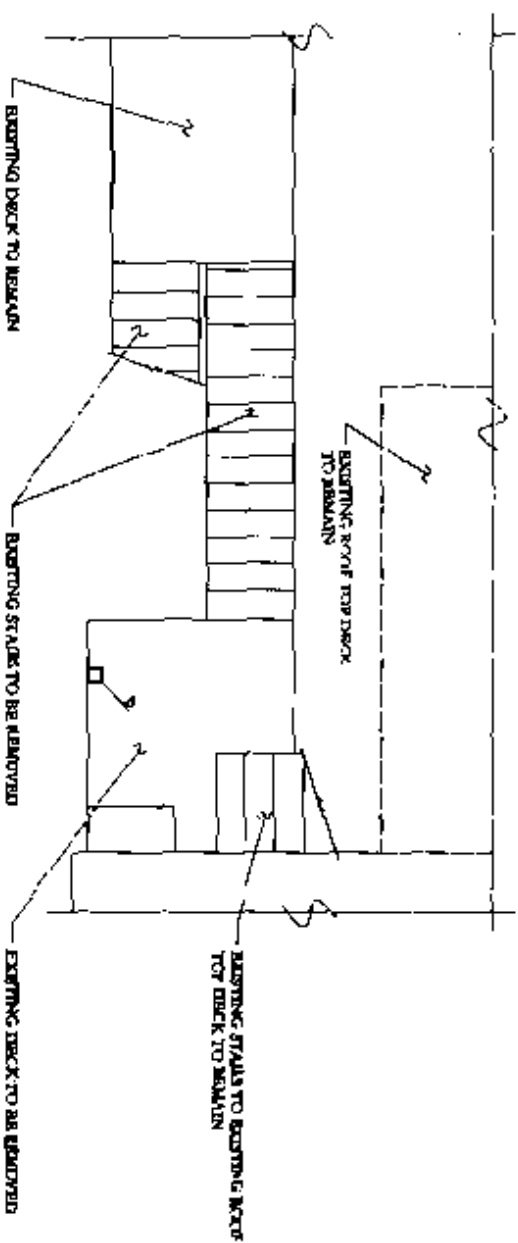
Project:
Exterior Stair Replacement
11 South St.
Portland, ME

**Structural
Integrity**
77 Oak Street
Portland, ME 04106
Tel: 207.625.1234
Fax: 207.625.1235
www.structuralintegrity.com
MECHANICAL ENGINEERING
License No. 10-00990

E-1



6/24/10



EXISTING UPPER LEVEL DECK PLAN

SCALE 1/4"=1'-0"

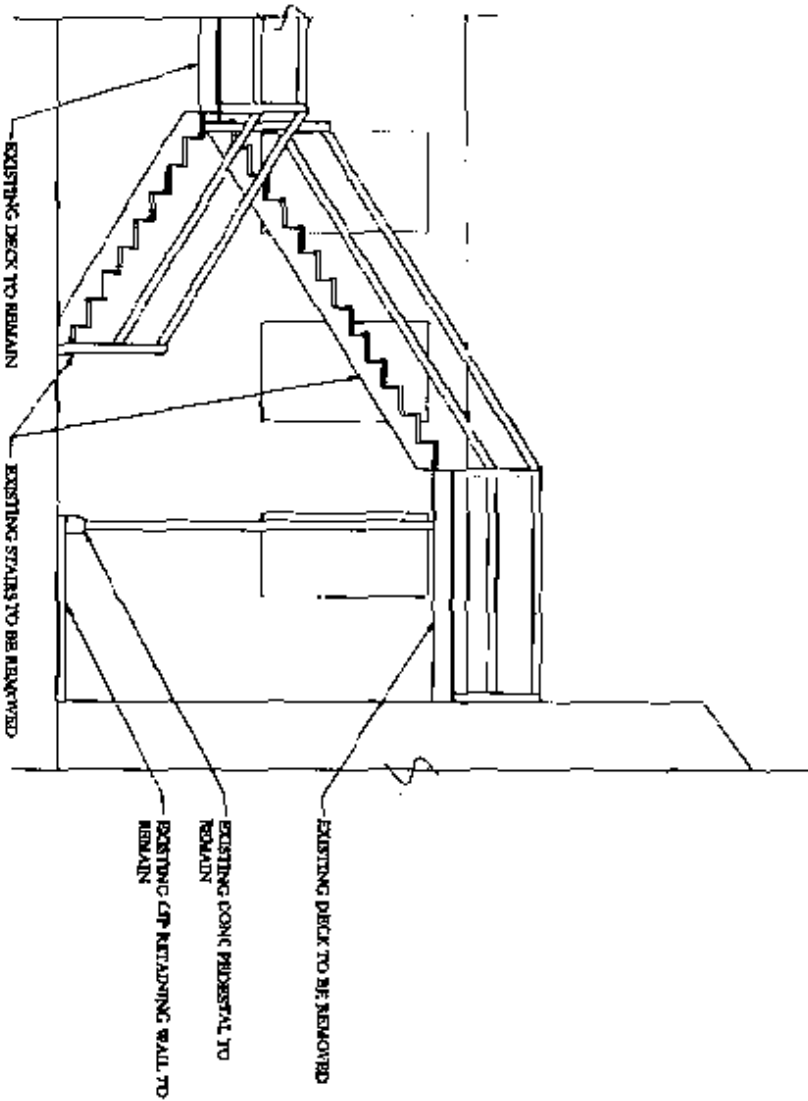
Drawing:
**Existing Upper
Level Plan**

Date:
8/31/10
Scale:
1/4"=1'-0"
Issued:
FOR CONSTRUCTION

Project:
Exterior Stair Replacement
11 South St.
Portland, ME

**Structural
Integrity**
11 Oak Street
Portland, ME 04101
(207) 788-7700
www.structuralintegrity.com
SEMP 00000-00000000
SI # 10-00590

E-2

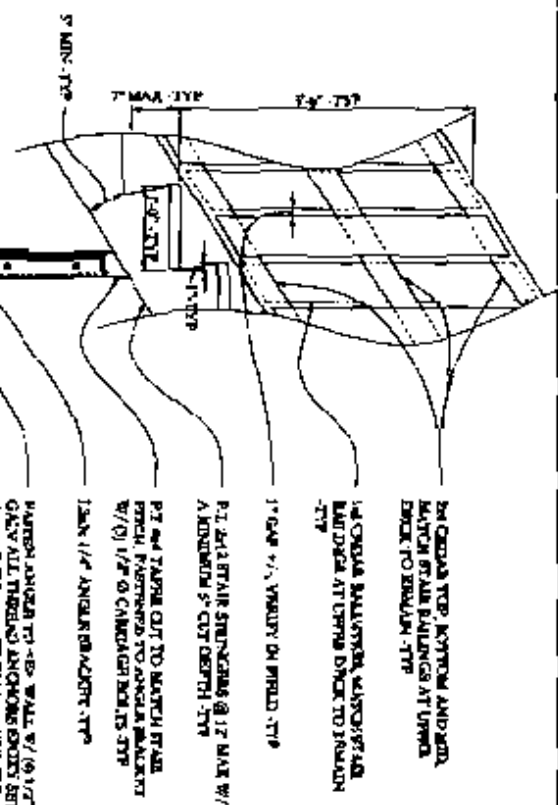


EXISTING STAIR / DECK ELEVATION

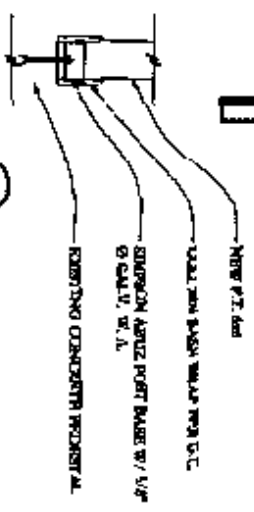


SCALE 1/4"=1'-0"

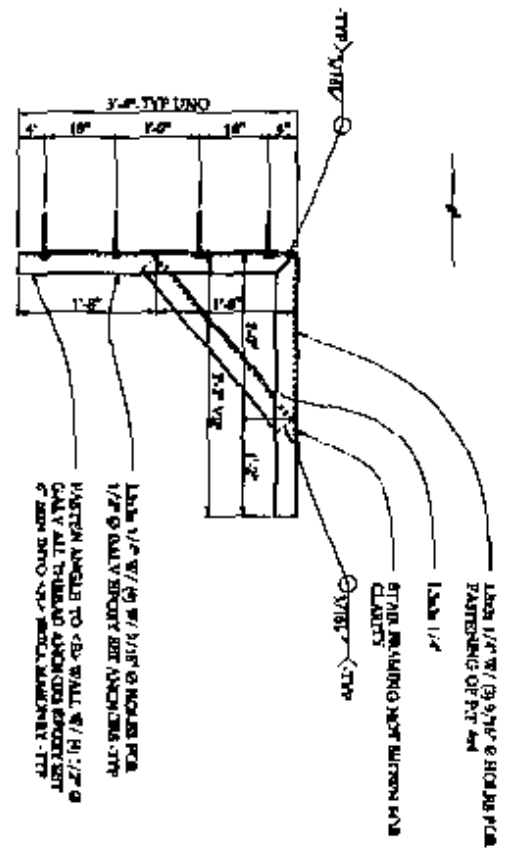
Drawing: Existing Elevation	Date: 8/31/10	Scale:	Project: Exterior Stair Replacement	Structural Integrity	Project Location: 11 South St. Portland, ME	Project Number: SI # 10-0090	E-3
Issued: FOR CONSTRUCTION							



SECTION **A-A** $\frac{3}{4}''=1'-0''$



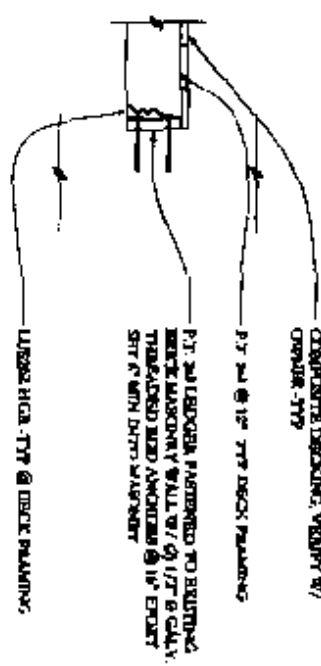
SECTION **B-B** $\frac{3}{4}''=1'-0''$



SECTION **C-C** $\frac{3}{4}''=1'-0''$

Drawing	Date: 8/31/10	Scale: 3/4"=1'-0"	Project: Exterior Stair Replacement 11 South St. Portland, ME	Structural Integrity BUILD WITH DEDICATION 877-668-6860	S-4
	Issued: FOR CONSTRUCTION				

4/21/10



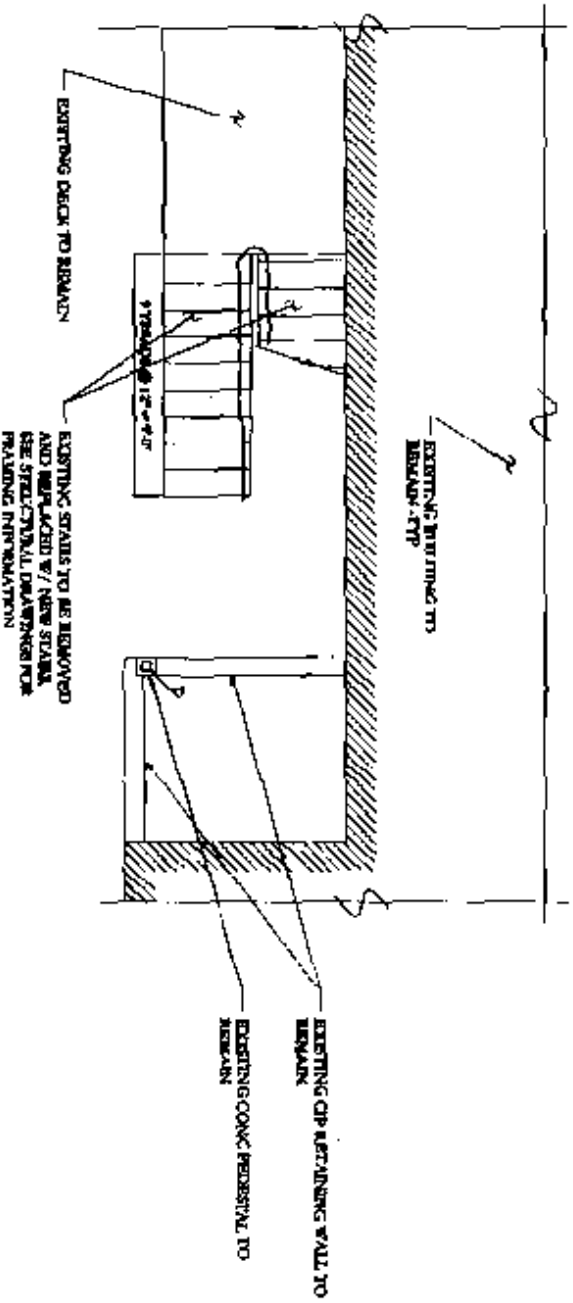
SECTION  3/4"=1'-0"



5-



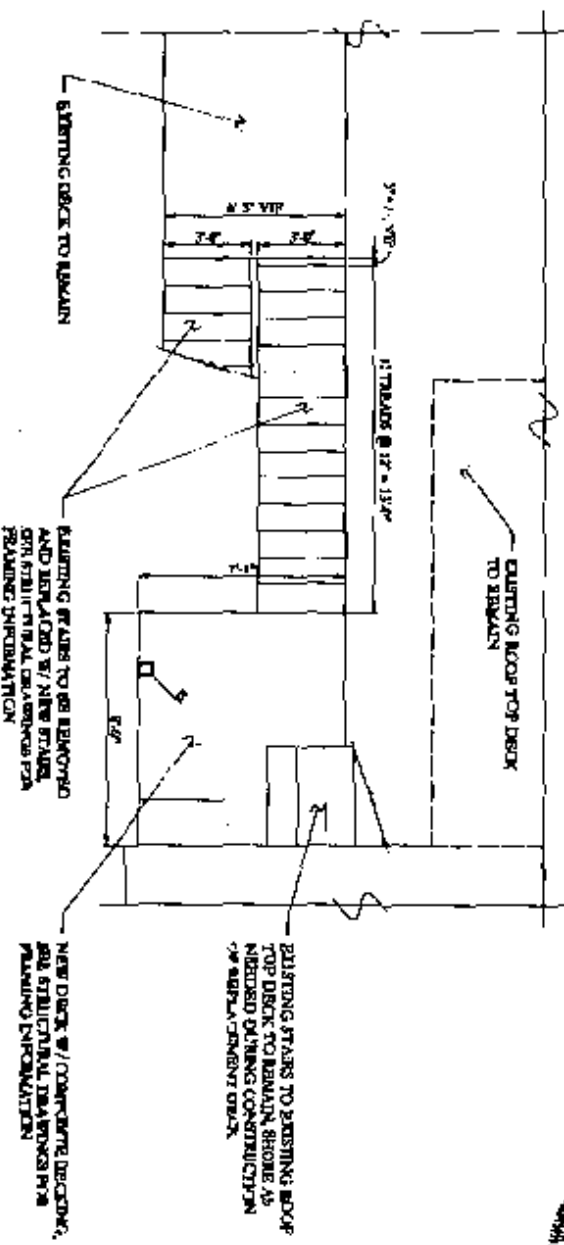
Continue existing
road 10' height
from road nose.



MAIN LEVEL PLAN

SCALE 1/8"=1'-0"

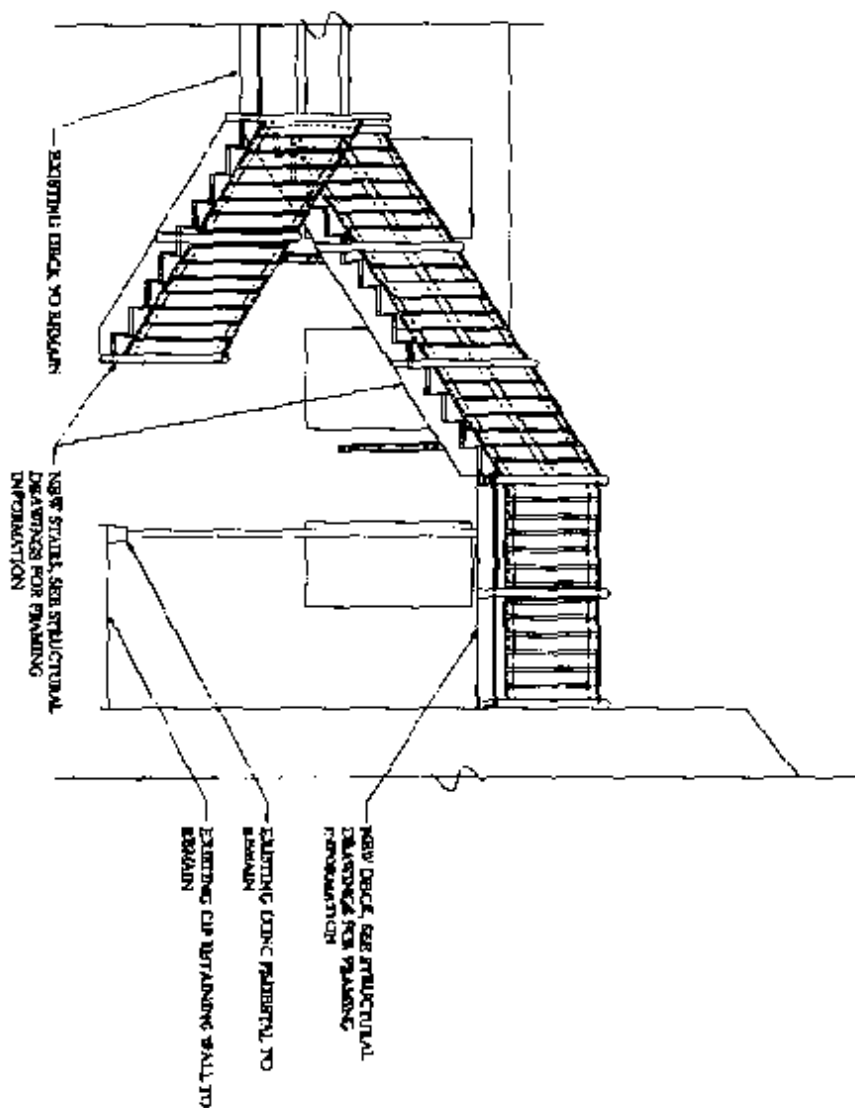
Drawing: Main Level Plan	Date: 8/31/10 Scale: 1/8"=1'-0"	Project: Exterior Stair Replacement 1) South St. Portland, ME	Structural Integrity 77 Old Town Portland, ME 04101 (207) 774-1000 www.structuralintegrity.com SEAL: 10-0090	A-1
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UPPER LEVEL DECK PLAN

SCALE 1/4" = 1'-0"

Drawing: Upper Level Plan	Date: 8/31/10	Scale: 1/4" = 1'-0"	Project: Exterior Stair Replacement 11 South St. Portland, ME	Structural Integrity 77 Oak Street Portland, ME 04101 Tel: 508-771-1111 Fax: 508-771-1112 www.structuralintegrity.com 2010-2011 Maine Building Code SI # 16-0090	A-2
	FOR CONSTRUCTION				



STAIR/ DECK ELEVATION

SCALE 14-1-05

Donnell

Elevation

Chavez

83110

Recall:

14-00000

Frequently:

FOR CONSTRUCTION

Project:

Exterior Stair Replacement

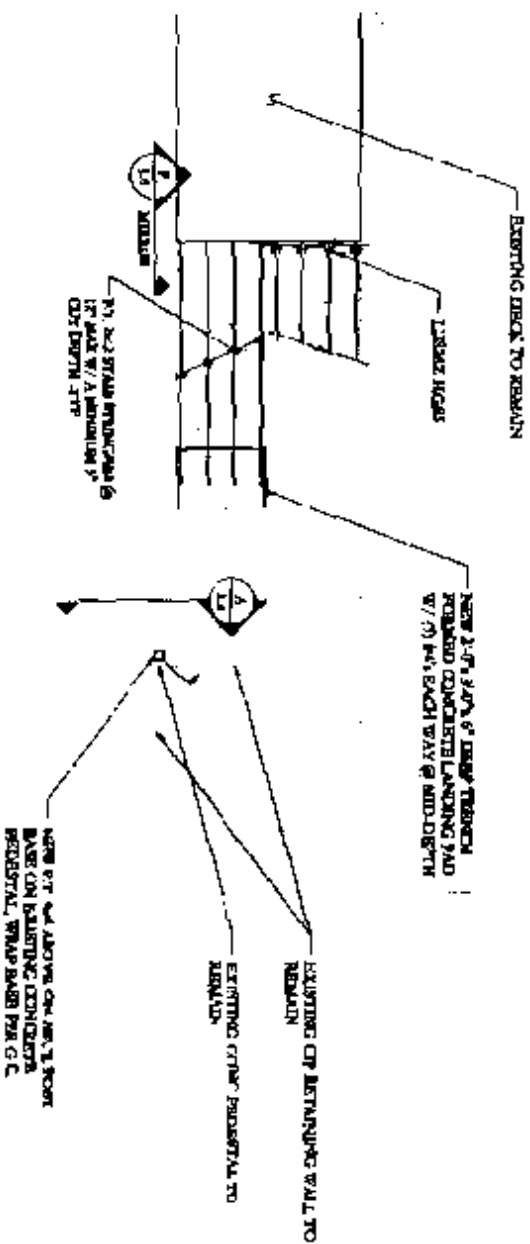
11 Score for
Portland, ME

Structural

77 Oak Street
 Portland, ME, 04101
 P: 207/774-0001
 F: 207/765-1534
<http://www.maine.gov/legis>

MAINE STATE POLICE
 1000 State Police Training Center
 1000 State Police Training Center
 SC # 10-00256

A-3



MAIN LEVEL FRAMING PLAN

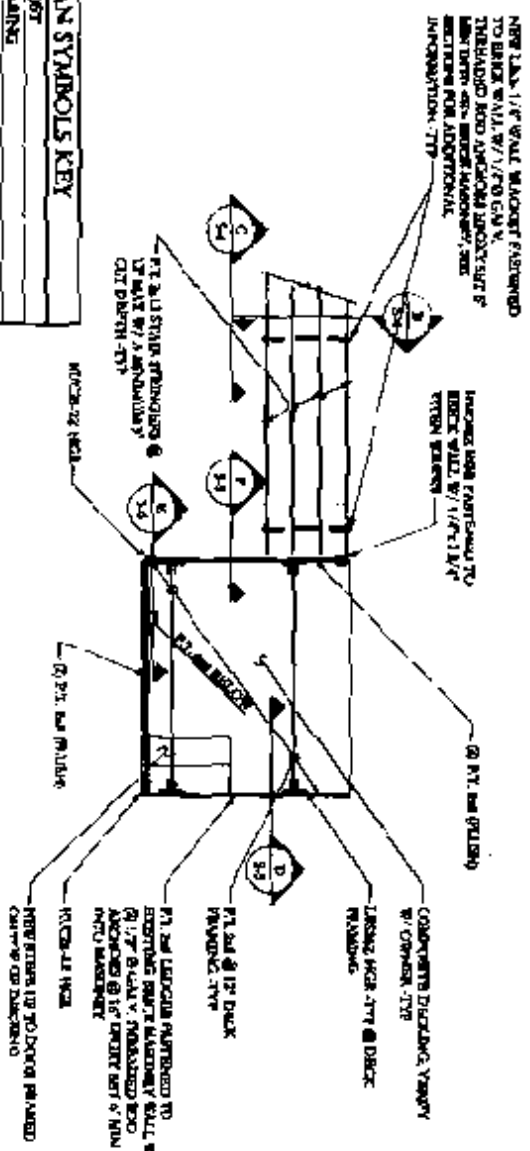
- NOTES
1. ALL REINFORCING TO BE PROVIDED IN ACCORDANCE WITH A.C.I. 308.3-1.1.
 2. ALL EXPOSED CONNECTIONS TO BE GALVANIZED STEEL.

SCALE 1/4" = 1'-0"

Drawing: Main Level Framing Plan	Date: 6/3/10	Scale: 1/4" = 1'-0"	Project: Exterior Stair Replacement 11 South St. Portland, ME	Structural Integrity 700-234-1111 www.structuralintegrity.com 3100 7TH AVENUE PORTLAND, ME 04106 SI # 10-0090	S-1
	Issued: FOR CONSTRUCTION				



FRAMING PLAN SYMBOLS KEY	
D	WOOD JOIST
—	JOIST BRACING
—	RAISED FLOOR BRACING WITH JOIST
—	INDICATES NEW MEMBER
—	INDICATES EXISTING MEMBER



UPPER LEVEL DECK FRAMING PLAN

NOTES:
 1. ALL FRAMING TO BE PRESSURE TREATED OR NATURALLY DECAY RESISTANT.
 2. ALL JOISTS CONNECTED TO BE GAIL VANNERD - JTB

SCALE: 1/8"=1'-0"

Drawing: Upper Level Framing Plan	Date: 8/31/10	Scale: 1/8"=1'-0"	Project: Exterior Stair Replacement 11 South St. Portland, ME	Structural Integrity 10 Oak Street Portland, ME 04101 Tel: 781-774-4444 Fax: 781-774-4444 www.structuralintegrity.com License No. 14400 License Expires 12/31/10 License Renewal Fee \$100 License Renewal Date 12/31/10 License Renewal Fee \$100	S-2
	Issued: FOR CONSTRUCTION				

