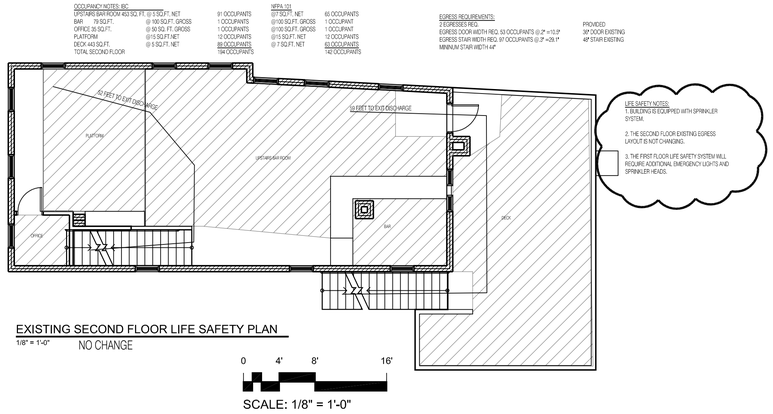
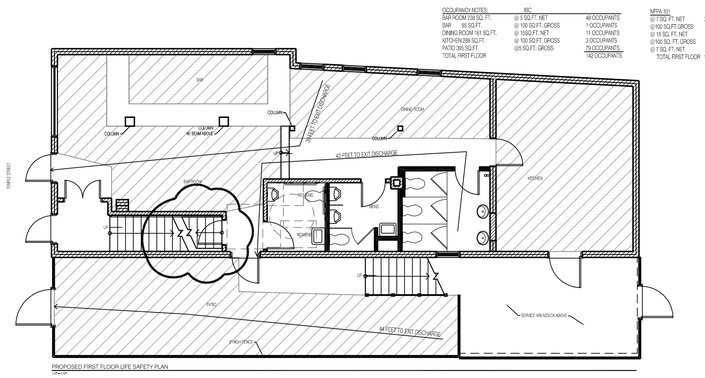


EXISTING SECOND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0" NO CHANGE

SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR LIFE SAFETY PLAN
1/8"=1'-0"

GENERAL NOTES

1. General Contractor shall verify all dimensions and report any discrepancies to the architect before proceeding with work. Do not scale drawings. Work from dimensions only. General contractor shall coordinate all work so it meets Local, State and Federal codes.
2. Mechanical/plumbing work shall be design/build by a qualified contractor to meet all applicable codes and Owner requirements.
3. The existing Sprinkler System shall be designed for new room configuration.
4. The electrical/data/fire safety work shall be a design/build by a qualified, licensed contractor. Work shall meet all Local, State and National codes and owner requirements.
5. Provide appropriate reinforcing within partitions for support of all grab bars, shelving brackets, cabinets, door frames, fire extinguishers and lighting, hose bibs, bells and all other wall mounted equipment or appliances indicated in plans.
6. All door frames shall be located a minimum of 3" off adjoining walls except where noted or dimensioned otherwise. 4" at masonry walls.
7. All handicapped bathrooms, grab bars, and door openings shall meet the requirements of ANSI 117.1 latest editions and the American Disability Act (ADA) for handicapped accessibility.
8. All gypsum wallboard within 3'-0" of plumbing fixtures shall be moisture resistant unless the wall has ceramic tile which requires concrete backer board.
9. All structural modifications shall be engineered by a licensed structural engineer.
10. Before penetrating or otherwise modifying joists, beams or other structural members, consult with the structural engineer on maximum size and location.
11. All penetrations through fire and smoke rated walls and floor/ceiling assemblies shall be firestopped by specific subcontractor requiring penetration.

PROJECT SUMMARY

This project consists of bathroom renovations and expansion to existing facilities on the interior of first floor of the Brian Boru pub/restaurant. One window is being filled in on the exterior.

The existing restrooms include a men's room with two urinals and one toilet stall, and 2 women's restrooms, one of which doubles as an accessible restroom (although it does not meet the standards).

The proposed plan creates a code compliant unisex accessible restroom and creates a new womens room, for an increase of one stall dedicated to the women's facilities. The door to the kitchen will need to be relocated.

LIFE SAFETY CODE 2009 & IBC CODE 2015- BUILDING SUMMARY:

Existing 2 Story Assembly Group A-2
Existing Automatic Sprinkler System
Existing Construction Type 3 (unprotected)
Existing masonry exterior walls, masonry separation wall, wood interior walls and roof joists.

Occupancy Load -see code drawing notes

Common Path of Travel

ALLOWED	PROVIDED
75 feet	20 feet

Egress Travel Distance

ALLOWED	PROVIDED
250 feet	59 feet

Maximum Dead End Corridor

ALLOWED	PROVIDED
20 feet	0 feet

DRAWING INDEX

CO1 COVER AND LIFE SAFETY
EX1 EXISTING PLAN
A1 PROPOSED FLOOR PLAN AND ELEVATIONS
A2 ACCESSIBILITY NOTES
S1 TYPICAL STRUCTURAL DETAILS

OWNER

B&B Real Estate LLC
Dan Steele cell-207-671-8584
59 Center Street,
Portland,ME 04101

CBL 38C 030

Zone B3

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
03/01/2019

REGISTERED ARCHITECT
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Brian Boru
59 CENTER STREET, PORTLAND, MAINE
DAN STEELE

SHEET TITLE: COVER SHEET

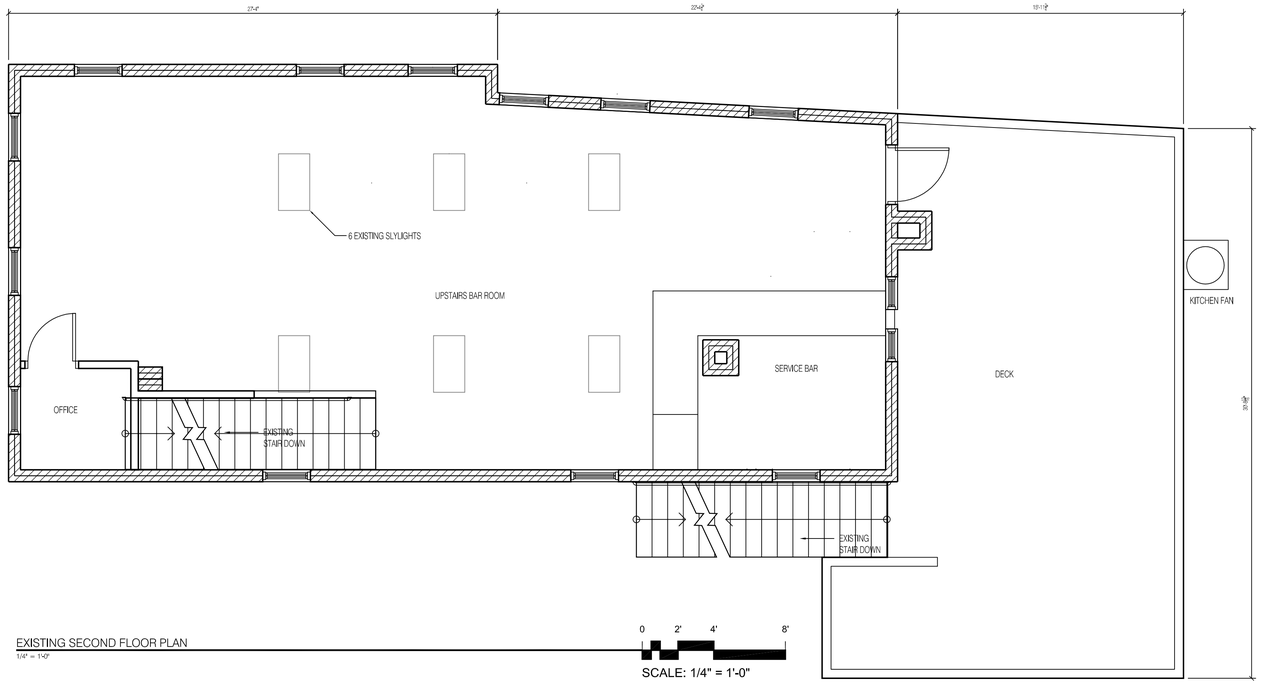
PERMIT SET

REVISION

DRAWN BY:

DATE: March 1, 2019

CO

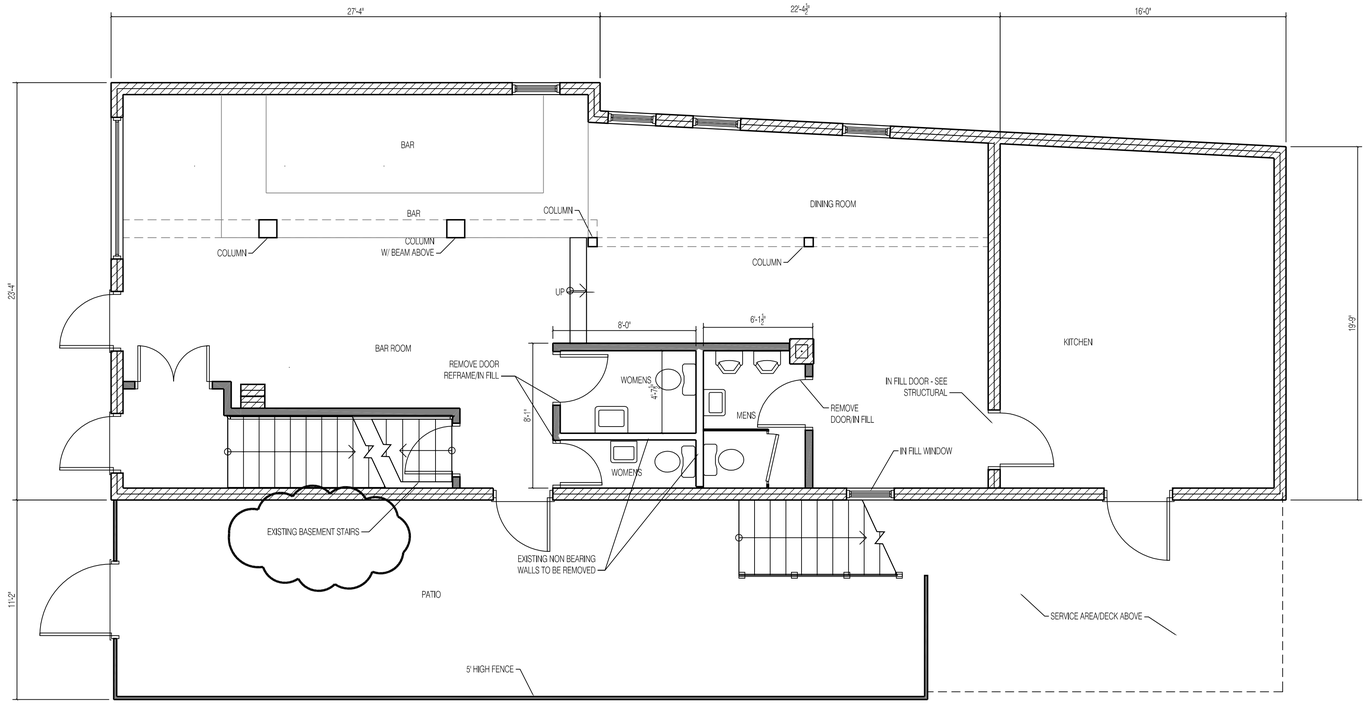


EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

CENTER STREET



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SHEET TITLE
EXISTING FLOOR PLANS

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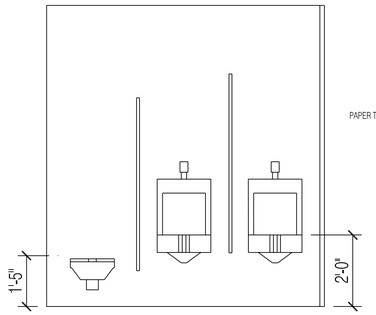
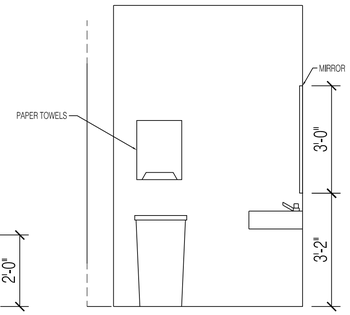
DATE: March 1, 2019

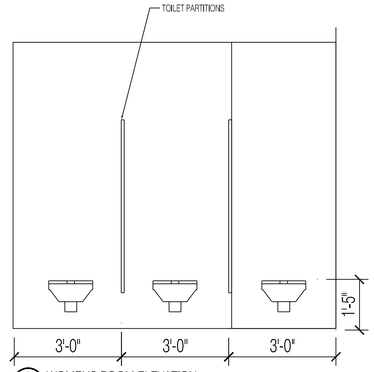
EX1



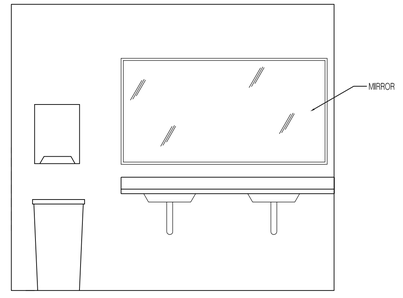
5 MENSROOM
1/2" = 1'-0"



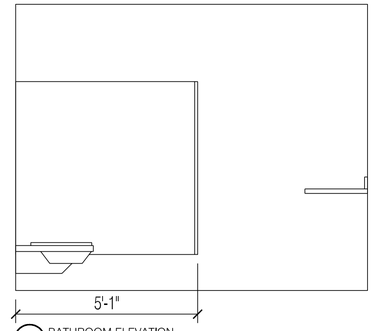
6 MENSROOM
1/2" = 1'-0"



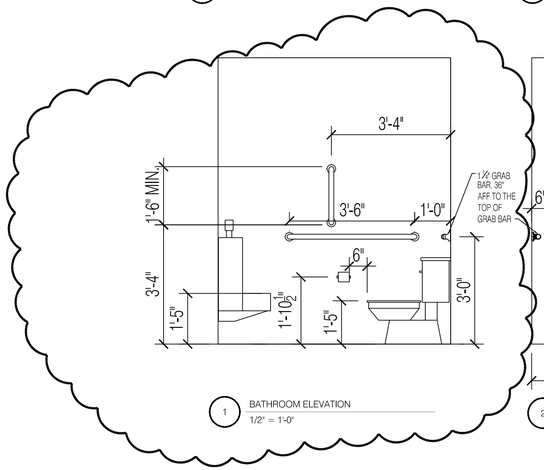
7 WOMENS ROOM ELEVATION
1/2" = 1'-0"



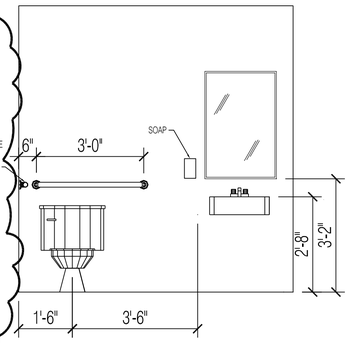
8 WOMENS ROOM ELEVATION
1/2" = 1'-0"



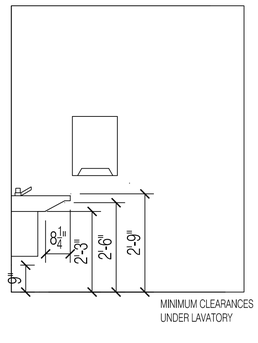
9 BATHROOM ELEVATION
1/2" = 1'-0"



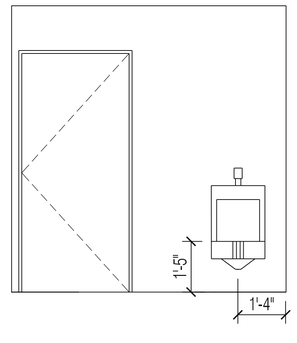
1 BATHROOM ELEVATION
1/2" = 1'-0"



2 BATHROOM ELEVATION
1/2" = 1'-0"



3 BATHROOM ELEVATION
1/2" = 1'-0"

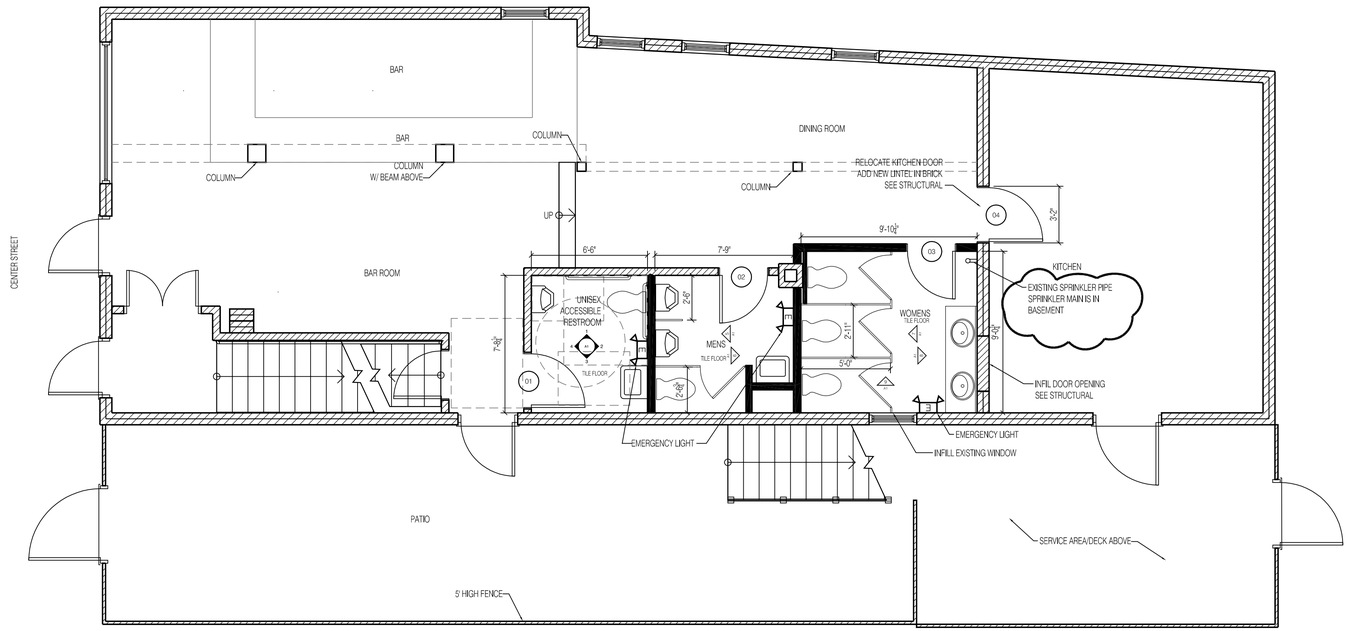


4 BATHROOM ELEVATION
1/2" = 1'-0"

NOTES:
1. MAINTAIN ALL MINIMUM CLEARANCES SHOWN IN ELEVATIONS.
2. MIRRORS TO BE CENTERED OVER SINKS.
3. PROVIDE APPROPRIATE BLOCKING IN WALLS BEHIND ALL FIXTURES, PARTITIONS, AND ACCESSORIES.
4. INSTALL BLOCKING BEHIND OWNER INSTALLED EQUIPMENT AS WELL AS CONTRACTOR SUPPLIED EQUIPMENT.
5. CONTRACTOR RESPONSIBLE FOR MEETING A.D.A.A.G. CODE FOR HANDICAP ACCESSIBLE MOUNTING HEIGHTS SHOWN IN SECTIONS 4.16-4.24 OF THE ADA HANDBOOK AND THE MAINE HUMAN RIGHTS ACT.
6. PROVIDE H.C. APPROVED INSULATION OF WASTE & HOT WATER PIPES AT SINKS.
7. MIRROR SHALL BE H.C. APPROVED

DOOR AND FRAME SCHEDULE

DOOR				Frame Material	NOTES
MARK	SIZE				
	WD	HGT	THK		



PROPOSED FIRST FLOOR
1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

WALL LEGEND
NEW — 3 1/2" STUD / 1/2" PLYWOOD / 5/8" TYPE X GWB
EXISTING
BRICK

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DAN STEELE

SHEET TITLE
PROPOSED FIRST FLOOR PLAN

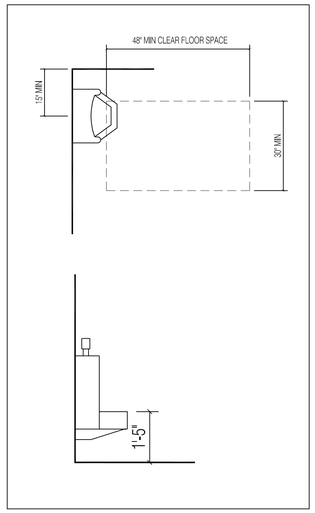
PERMIT SET

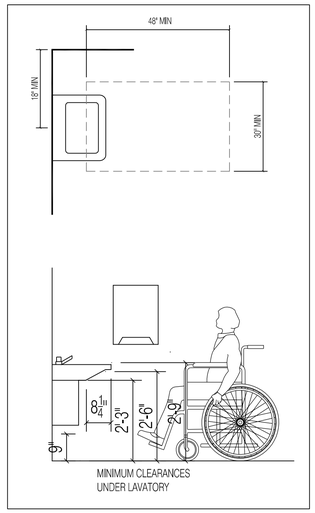
REVISION

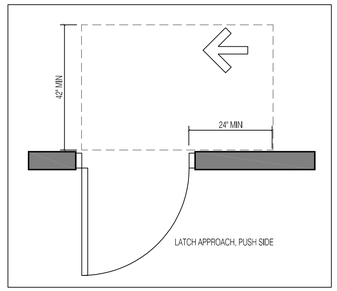
DRAWN BY:

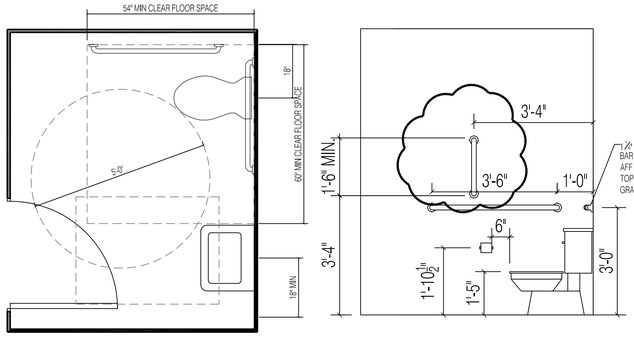
DATE: March 1, 2019

A1









ACCESSIBILITY NOTES:

1. MAINTAIN ALL MINIMUM CLEARANCES SHOWN IN PLANS AND ELEVATIONS.
2. MIRRORS TO BE CENTERED OVER SINKS.
3. PROVIDE APPROPRIATE BLOCKING IN WALLS BEHIND ALL FIXTURES, PARTITIONS, AND ACCESSORIES.
4. INSTALL BLOCKING BEHIND OWNER INSTALLED EQUIPMENT AS WELL AS CONTRACTOR SUPPLIED EQUIPMENT.
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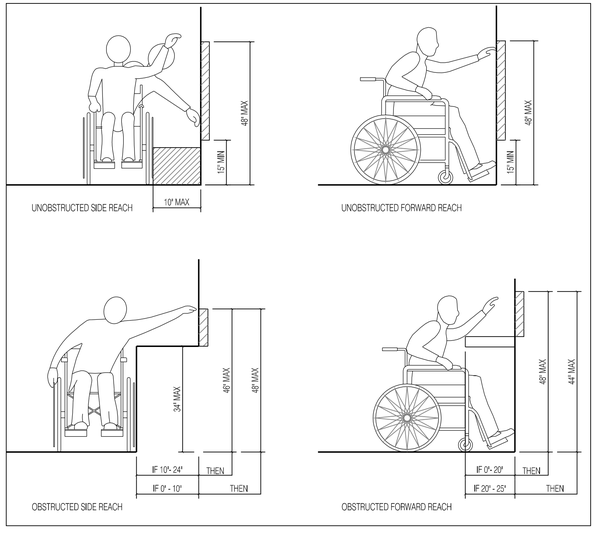
6. PROVIDE H.C. APPROVED INSULATION OF WASTE & HOT WATER PIPES AT SINKS.
7. MIRROR SHALL BE H.C. APPROVED
8. LEVER DOOR HANDLES SHALL BE ADA COMPLIANT
9. CHANGES IN LEVEL BETWEEN ¼" AND ½" SHALL BE BEVELED, OVER ½" SHALL BE RAMPED.



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SHEET TITLE
GENERAL ACCESSIBILITY NOTES

PERMIT SET

REVISION

DRAWN BY:

DATE: March 1, 2019

A2

STRUCTURAL GENERAL NOTES

Modification to Existing Building
59 Center St
Portland, ME

DESIGN LOADS: International Building Code; IBC 2015 Edition, except as noted
Occupancy Category, Table 1604.5 II - Standard
Roofs:

Ground Snow,	Pg		60 psf (used for drifting calculations)
Flat Roof Snow,	Pf		46.2 psf
Snow Exposure Factor	Ce	Table 1608.3.1	1.0
Snow importance Factor,	Is	Table 1604.5	1.0
Snow Thermal Factor,	Ct	Table 1608.3.2	1.1

Floors:

Residential	40 psf
Corridors & Public Spaces	100 psf
Decks	100 psf

SHOP DRAWINGS:
Construction Documents are copyrighted and shall not be copied for use as erection plans or shop details.
Use of SI Inc.'s electronic files as base for shop drawings requires prior approval by SI Inc,
signed release of liability by subcontractor,
payment of an administration fee of $100 per drawing sheet to SI Inc, and
deletion of SI Inc's name and Logo from all sheets so used.
The General Contractor and his subcontractors shall submit in writing any requests to modify the plans or specifications.
All shop and erection drawings shall be checked and stamped by the General Contractor prior to submission for Engineer's review.
Submittals not reviewed by the contract submittals will be returned without review.
Furnish one (1) reproducible and two (2) prints of shop and erection drawings to the Structural Engineer for review prior to fabrication for concrete reinforcing steel, masonry reinforcing steel, structural steel and connection design calculations, Ecospan and roof bar joist shops and calculations, wood trusses and calculations, CFS trusses and calculations, CFS wall framing and calculations. Submit in a timely manner to permit ten (10) working days for review.
Shop drawings submitted for review do not constitute "in writing" unless specific suggested changes are clearly marked.
In any event, such changes by means of the shop drawing submittal process become the responsibility of the one initiating such change.

FIELD VERIFICATION OF EXISTING CONDITIONS:
Contractor shall thoroughly inspect and survey existing structure to verify conditions that affect the work shown on the drawings.
Contractor shall report any variations or discrepancies to the Architect before proceeding.

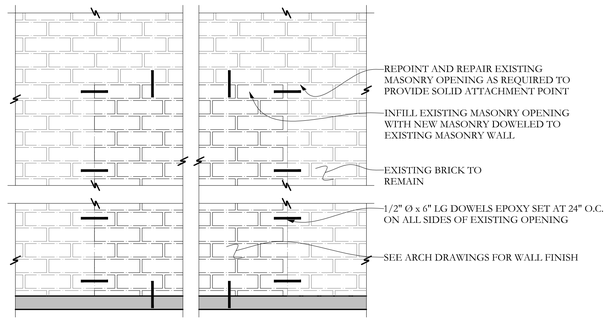
STRUCTURAL ERECTION AND BRACING REQUIREMENTS:
The structural drawings illustrate the completed structure with elements in their final positions, properly supported and braced.
These construction documents contain typical and representative details to assist the contractor.
Details shown apply at all similar conditions unless otherwise indicated.
Although due diligence has been applied to make the drawings as complete as possible, not every detail is illustrated, nor is every exceptional condition addressed.
All proprietary connections shall be installed in accordance with the manufacturers' recommendations.
All work shall be accomplished in a workmanlike manner and in accordance with the applicable code and local ordinances.
The general contractor is responsible for coordination of all work, including layout and dimension verification, materials coordination, shop drawing review, and the work of subcontractors.
Any discrepancies or omissions discovered in the course of the work shall be immediately reported to the architect for resolution.
Continuation of work without notification of discrepancies relieves the architect and engineer from all consequences.
Unless otherwise specifically indicated, the drawings do not describe methods of construction.
The contractor, in the proper sequence, shall perform or supervise all work necessary to achieve the final completed structure, and to protect the structure, workmen, and others during construction.
Such work shall include, but not be limited to, bracing, shoring for construction equipment, shoring for excavation, formwork, scaffolding, safety devices and programs of all kinds, support and bracing for cranes and other erection equipment.
Do not backfill against basement or retaining walls until supporting slabs and floor framing are in place and securely anchored, unless adequate bracing is provided.
Temporary bracing shall remain in place until all floors, walls, roofs and any other supporting elements are in place.
The architect and engineer bear no responsibility for the above items, and observation visits to the site do not in any way include inspection of them.

STRUCTURAL STEEL:
Structural steel shall be detailed, fabricated, and erected in accordance with latest AISC Specifications, and Code of Standard Practice.
Structural steel wide flange beams shall conform to ASTM A992.
Except as noted, framed beam connections shall be bearing-type with 3/4" diameter, snug tight, A325-N bolts, detailed in conformance with Part 4, Tables II and III, for 0.6 times the allowable uniform loads tabulated in Part 2 of the AISC Manual, 9th Edition. Install bolts in accordance with AISC "Specification for Structural Joints Using ASTM A325 or A490 Bolts". See plans and sections for specific connection design loading criteria.
All beams shall have full depth fitted web stiffener plates each side of webs where columns are either above, below, or above and below.
Anchor rods shall conform to ASTM F1554, Grade 36), with weldability supplement S1.
Headed anchor studs (HAS) shall be attached to structural steel with equipment approved by the stud manufacturer according to the stud manufacturer's recommendations.
Welding shall be done by a certified welder in accordance with AISC and AWS specifications and recommendations using E70-electrodes. Where not specifically noted, minimum weld shall be 3/16" fillet by length of contact edge.
All post-installed anchors shall have current ESR reports, and shall be installed in accordance with the manufacturer's requirements.
Submit all proposed alternates to those specified for review prior to fabrication.
Expansion anchors shall be approved "wedge" type unless specifically noted to be "sleeve" type.
Chemical anchors shall be approved epoxy or similar adhesive type and shall have current ESR report. Where base material is not solid, approved screen tubes shall be used.
Grout beneath column base and beam-bearing plates shall be
minimum 28-day compressive strength of 7,500 psi,
approved pre-bagged, non-metallic, non-gaseous, bleed free,
non-shrink, when tested in accordance with ASTM C1107
Grade B or C at a flow cone fluid consistency of 20 to 30 seconds

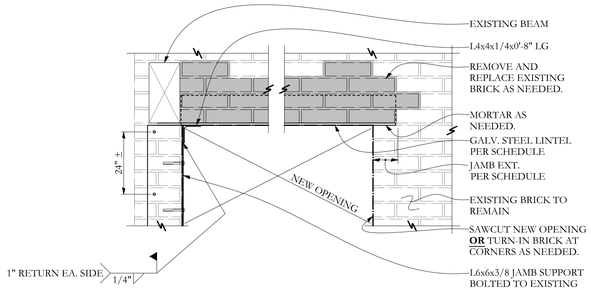
STRUCTURAL MASONRY:
Design is based on Unit Strength Method
MSJC, Section SC-1.4 B.2.
Compressive strength of masonry assembly used for design is 1500 psi, based on net-bedded area.
Hollow load-bearing concrete masonry (CMU) shall be medium-weight units conforming to ASTM C90,
Grade N1, minimum compressive strength 1,900 psi based on average net area.
Mortar shall be Type S conforming to ASTM C270.
Masonry cement shall not be used.
Provide full shoved mortar in all head and bed joints.
Admixtures shall not be added for any reason unless approved by the Architect.
Except for lintels, bond beam units shall be produced from standard vertically voided units with pre-cut knockout cross walls.
Grout used in masonry walls and block cells shall be:
coarse grout, as defined by ASTM C476, with a minimum cube strength = 2,000 psi.
3000 psi concrete using 3/8" diameter aggregate. placed by vibrating unless an approved self consolidating mix is used
Lifts shall not exceed five feet in height
If grout pour height exceeds 5 feet, clean-out holes shall be provided.
Space continuous horizontal joint reinforcing at 16" maximum in all CMU walls.
Joint reinforcing shall be welded type with 9 gage side-wires and 9 gage trussed or ladder cross wires.
Reinforcing bars shall be as for reinforced concrete except as noted.
At splices, lap bars 48 diameters.
Provide reinforced grouted vertical cells
at corners, ends of walls, jambs of openings, each side of vertical control joints, and
at spacing shown on drawings.
Reinforcement shall be secured against displacement prior to grouting
by wire bar locators or other suitable devices at intervals not exceeding 200 bar diameters or 10 feet

ABBREVIATIONS KEY

AB	Anchor Rod (Bolt)	EF	Each Face	MACH	Machine	SC	Slip Critical
ADDL	Additional	EJ	Expansion Joint	MASY	Masonry	SCH	Schedule
ADJ	Adjustable	ELEV	Elevation	MATL	Material	SDST	Self Drilling Self Tapping
AFF	Above Finished Floor	ELEC	Electric (Electrical)	MAX	Maximum	SECT	Section
ALT	Alternate	ENGR	Engineer	MB	Machine bolt	SF	Square Feet
AMT	Amount	EQ	Equal	MECH	Mechanical	SHT	Sheet
ANCH	Anchor, Anchorage	EQUIP	Equipment	MEZZ	Mezzanine	SHTG	Sheathing
APPROX	Approximate	EQUIV	Equivalent	MFR	Manufacture, -er, -ed	SIM	Similar
ARCH	Architect, -ural	ES	Each Side	MIN	Minimum	SLH	Short Leg Horizontal
ATR	All Thread Rod	EST	Estimate	ML	Microllam (Trus-joist brand LVL)	SLV	Short Leg Vertical
AVG	Average	E-W	East to West			SOG	Slab on Grade
BC	Bottom of Concrete	EXC	Excavate	MO	Masonry Opening	SP	Spaces
BL	Brick Ledge	EXP	Expansion	MTL	Metal	SPEC	Specifications
BLK	Block	EXT	Exterior	NF	Near Face	SQ	Square
BLKG	Blocking	FND	Foundation	NIC	Not In Contract	ST	Snug Tight
BM	Beam	FF	Far Face, Finished Floor	NS	Near Side	STD	Standard
BOT	Bottom	F-F	Face to Face	N-S	North to South	STIFF	Stiffener
BRG	Bearing	FIG	Figure	NTS	Not to Scale	STL	Steel
BW	Bottom of Wall	FL	Flush	OCJ	OSHA Column Joist	STRUCT	Structure, -al
CB	Counterbore	FLG	Flange	OD	Outside Diameter	SUPT	Support
CF	Cubic Foot	FLR	Floor	OF	Outside Face	SY	Square Yard
CG	Center of Gravity	FO	Face of	OH	Opposite Hand	SYM	Symmetrical
CIP	Cast in Place	FP	Full Penetration	OPNG	Opening	T&B	Top and Bottom
CJ	Construction Joint (Control Joint)	FS	Far Side	OPP	Opposite	T&G	Tongue and Groove
		FTG	Footing	OSB	Oriented Strand Board	TB	Top of Beam
CLG	Ceiling	GA	Gage (Gauge)	PAF	Powder Actuated Fast'nr	TC	Top of Concrete
CLR	Clear	GALV	Galvanized	PC	Precast	TD	Top of Deck
CM	Construction Manager (Management)	GC	General Contractor	PCF	Pounds Per Cubic Foot	THD	Thread
		GEN	General	PEN	Penetration	THK	Thick, -ness
CMU	Concrete Masonry Unit	GL	Glue laminated (Glulam)	PERP	Perpendicular	TJ	Top of Joist
COL	Column	GND	Ground	PL	Property Line	TL	Top of Ledge
COM	Common	GR	Grade	PLF	Pounds per Linear Foot	TPG	Topping
COMB	Combination	GT	Girder Truss	PNL	Panel	TRANS	Transverse
CONC	Concrete	GYP BD	Gypsum Board	PP	Panel Point	TW	Top of Wall
CONN	Connection	HAS	Headed Anchor Stud	PS	Prestressed	TYP	Typical
CONT	Continue (Continuous)	HORIZ	Horizontal	PSF	Pounds per Square Foot	ULT	Ultimate
COORD	Coordinate, -tion	HT	Height	PSI	Pounds per Square Inch	UNO	Unless Noted Otherwise
CS	Countersink	ID	Inside Diameter	PSL	Parallel Strand Lumber (generic term)	VERT	Vertical
CTR	Center	IF	Inside Face			VIF	Verify in Field
CY	Cubic Yard	INT	Interior (Intermediate)	PT (1)	Post Tensioned	WA	Wedge Anchor
DAB	Deformed Anchor Bar	JB	Joist Bearing	PT (2)	Pressure Treated	WP	Work Point
DET	Detail	JST	Joist	PTN	Partition	WT	Weight
DEV	Develop	JT	Joint	PWD	Plywood	WWF	Welded Wire Fabric
DIAG	Diagonal	K	Kip (1,000 lbs.)	QTY	Quantity	XS	Extra Strong
DIM	Dimension	LD	Load	R	Radius	XSECT	Cross-section
DL	Dead Load	LL	Live Load	RE	Reference (refer to)	XXS	Double Extra Strong
DN	Down	LLH	Long Leg Horizontal	RECT	Rectangle		
DP	Drilled Pier	LLV	Long Leg Vertical	REINF	Reinforce, -ed, -ing	<E>	Existing
DT	Double Tee	LOC	Location	REQ	Required	<N>	New
DWG	Drawing	LSL	Laminated Strand Lumber (generic term)	REQMT	Requirement	<R>	Remove Existing
DWL	Dowel			RET	Retaining		
EA	Each	LT	Light	RM	Room		
ECC	Eccentric	LVL	Laminated Veneer Lumber (generic term)	RMO	Rough Masonry Opening		
E-E	End to End			RO	Rough Opening		



NEW INFILL OF EXISTING MASONRY OPENING
NO SCALE



OPENING SIZE*	LINTEL PER WYTHE	JAMB EXTENSION
LESS THAN 4'-0	L3 1/2x 3 1/2x 1/4	4"
4'-1 TO 5'-4	L5x 3 1/2 x 1/4	4"
5'-5 TO 6'-6	L6x 3 1/2 x 5/16"	8"

NOTE: ALL TEMPORARY SHORING BY G.C. -TYP.

NEW LINTEL INSTALLATION IN EXISTING BRICK
NO SCALE

STATE OF MAINE
AARON C. JONES
No. 10968
LICENSED PROFESSIONAL ENGINEER
01/17/19

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
03/01/2019

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SI # 19-0013

BRIAN BORU - RENOVATION
59 CENTER ST, PORTLAND, ME

Title
TYPICAL STRUCTURAL DETAILS

Scale: NTS

Date: 1-17-19

Revisions

Sheet
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