



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND BUILDING PERMIT



This is to certify that

B & B REAL ESTATE LLC / Brian Boru / Dan Steele

Located at

59 CENTER ST

PERMIT ID: 2013-00379

CBL: 038 C030001

has permission to **Temporary Event for March 16, 2013**

**8 Porta Potties remove by March 18, 2013 - using the abutting parking lot for the Port a potties**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
THERE IS A PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b>	<b>Date Applied For:</b>	<b>CBL:</b>
2013-00379	02/25/2013	038 C030001

<b>Location of Construction:</b> 59 CENTER ST	<b>Owner Name:</b> B & B REAL ESTATE LLC	<b>Owner Address:</b> 57 CENTER ST	<b>Phone:</b>
<b>Business Name:</b> Brian Boru	<b>Contractor Name:</b> Brian Boru / Dan Steele	<b>Contractor Address:</b> 57 Center Street Portland	<b>Phone</b> (207) 671-8584
<b>Lessee/Buyer's Name</b> Dan Steele	<b>Phone:</b>	<b>Permit Type:</b> Special Events	

<b>Proposed Use:</b> Restaurant / Bar Brian Boru	<b>Proposed Project Description:</b> Temporary Event for March 16, 2013 8 Porta Potties remove by March 18, 2013 - using the abutting parking lot for the Port a potties
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<b>Dept:</b> Zoning <b>Note:</b>	<b>Status:</b> Approved	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 02/28/2013 <b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building <b>Note:</b>	<b>Status:</b> Approved w/Conditions	<b>Reviewer:</b> Jeanie Bourke	<b>Approval Date:</b> 03/01/2013 <b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) The means of egress from the building shall be maintained. 2) This permit DOES NOT authorize any construction activities. The porta potties and fence must be removed at the end of the event.			
<b>Dept:</b> Fire <b>Note:</b>	<b>Status:</b> Approved w/Conditions	<b>Reviewer:</b> John Martell	<b>Approval Date:</b> 03/14/2013 <b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) In discussion with owner Daniel Steele and minimum of 36inch opening in fence will be in the open position and manned by a crowd manager.			

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00379	Issue Date:	CBL: 038 C030001
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Location of Construction: 59 CENTER ST	Owner Name: B & B REAL ESTATE LLC	Owner Address: 57 CENTER ST PORTLAND , ME 04101	Phone:
Business Name: Brian Boru	Contractor Name: Brian Boru / Dan Steele	Contractor Address: 57 Center Street Portland ME 04101	Phone (207) 671-8584
Lessee/Buyer's Name Dan Steele	Phone:	Permit Type: Tents	Zone: B3
Past Use: Restaurant / Bar Brian Boru	Proposed Use: Restaurant / Bar Brian Boru	Permit Fee: \$30.00	Cost of Work: \$1,000.00
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	INSPECTION: Use Group: N/A Type: U Temporary Signature: JMB per J.M. Date: 3/1/13
Proposed Project Description: Temporary Event for March 16, 2013 8 Porta Potties remove by March 18, 2013 - using the abutting parking lot for the Port a potties		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	

Permit Taken By: LDOBSON	Date Applied For: 02/25/2013	Zoning Approval		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM Date: 2/28/13	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE





## Tent/Canopy or Temporary Event Staging Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address/Park of Installation: <b>57 Center Street DBA Brian Boru</b>		
Date of Set up/Event <b>3/16/13 38-C-30</b>		Date of Breakdown/ End of Event <b>6:30 A.M. 3/18/13</b>
Tax Assessor's Chart, Block & Lot Chart# <b>38</b> Block# <b>C</b> Lot# <b>9-14,</b> <b>16, 17, 25-29, 31-35</b>	Property Owner: <b>MAXFLO, LLC</b> <b>C/O BOULOS PROPERTY MANAGEMENT</b> <b>1 CANAL PLAZA</b> <b>PORTLAND, ME 04101</b>	Telephone: <b>871-1290</b>
Lessee/Buyer's Name (If Applicable) <b>B &amp; B Partners</b> <b>Dan Steele</b>	Applicant name, address & telephone: <b>B &amp; B Partners</b> <b>Dan Steele</b>	Fee: <b>\$30.00</b>
The permit fee and the following items must be completed and submitted along with this application in order to receive a permit: <ul style="list-style-type: none"><li>1. Certificate of Flammability</li><li>2. Letter of approval from property owner. If the City is owner, attach a completed copy of Application to Use City Parks &amp; Public Space from Parks &amp; Recreation (756-8275).</li><li>3. Company name of installer (contact info).</li><li>4. Plot Plan showing the following: Tent/Canopy or temporary event staging locations, including dimensions, exits and entrances of proposed and existing, parking and existing building locations. If this is temporary staging, you will need to include product information. (Applicant may call Parks &amp; Recreation for maps of Portland's Parks @ 756-8275).</li><li>5. If the City is the property owner, Certificate of Insurance listing the City as additional insured. Minimum amount of coverage is \$400,000.00</li></ul>		
Who should we contact when permit is ready: <b>Dan Steele</b> Address: <b>52 Center St., Portland, Me. 04101</b> Telephone: <b>207-672-8584</b>		
Please submit all of the information outlined in the Tent/Canopy and Event Staging Permit Application as one package. Failure to do so will result in the automatic denial of your permit.		

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <b>D. Steele</b>	Date: <b>2/9/13</b>
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This is not a permit; you may not commence ANY work until the permit is issued.

**BOULOS PROPERTY MANAGEMENT**

One Canal Plaza, Suite 500  
Portland, ME 04101

T 207.871.1290  
F 207.772.2647

[www.boulos.com](http://www.boulos.com)

Dan Steele  
Brian Boru Public House  
57 Center Street  
Portland Maine, 04101

RE: Permission for temporary staging in MaxFlo Parking Lot 8 Cotton St. Portland, ME.

Mr. Steele,

Your request to temporarily set up fencing and portable toilet facilities in the parking area of the MaxFlo parking lot for 505 Fore Street and 8 Cotton Street is approved for use on the date of March 17<sup>th</sup>, 2013.

As requested the equipment will be delivered and set up per the attached plan late in the day on Saturday March 16<sup>th</sup>, 2013 and removed No Later than 6:30 a.m. on Monday morning March 18<sup>th</sup>, 2013.

It is the responsibility of Brian Boru Public House and it's vendors to insure that the parking lot is clean and free from any damage or debris after the scheduled event.

A certificate of insurance from all vendors providing services on the MaxFlo property is required.

The Certificate Holder to read:

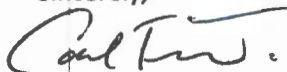
MaxFlo, LLC  
C/O CBRE – Boulos Property Management  
One Canal Plaza  
Portland, ME 04101

The Description of Operations box above the Certificate Holder should read:

MaxFlo, LLC and CBRE – Boulos Property Management are listed as additional insure with respect to general liability for the properties located at 505 Fore Street and 2-10 Cotton Street, Portland, ME 04101

If you have any questions please do not hesitate to contact me.

Sincerely,



Carl Trottier  
Property Manager





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
1/15/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Noyle W. Johnson, Inc. 119 River Street P.O. Box 279 Montpelier VT 05601-0279		<b>CONTACT NAME:</b> Dayle Smedy <b>PHONE (A/C, No. Ext.):</b> (802) 223-7735 <b>FAX (A/C, No.):</b> (802) 223-7515 <b>E-MAIL ADDRESS:</b> dsmedy@nwjinsurance.com <b>PRODUCER CUSTOMER ID#:</b> 00004029	
<b>INSURED</b> Blow Brothers dba BBI Waste Industries and Bestway Disposal PO Box 510 Old Orchard Beach ME 04065		<b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A:</b> Zurich Insurance Co. <b>NAIC #</b> 16535 <b>INSURER B:</b> Old Republic Insurance Co. <b>24147</b> <b>INSURER C:</b> <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>	

**COVERAGES****CERTIFICATE NUMBER:** Bestway Disposal (12-13)**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		GLO3597713-13	4/30/2012	4/30/2013	EACH OCCURRENCE \$ 3,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 3,000,000 GENERAL AGGREGATE \$ 3,000,000 PRODUCTS - COMP/OP AGG \$ 3,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC					
	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS		MWTB 21536	5/1/2012	5/1/2013	COMBINED SINGLE LIMIT (Ea accident) \$ 3,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$ \$
	UMBRELLA LIAB EXCESS LIAB DEDUCTIBLE RETENTION \$	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> N	MWC 117407-00	5/1/2012	5/1/2013	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Pollution Liability		PLC3564969-13	4/30/2012	4/30/2013	\$13,000,000/\$13,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

**CERTIFICATE HOLDER****CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Timothy Ayer/SMEDY

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INS025 (2009/09)© 1988-2009 ACORD CORPORATION. All rights reserved.  
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5' OFFSET LINE

PAVED SIDEWALK

# COTTON STREET

49.5' WIDE PUBLIC WAY

3' (ABANDONED)

CURB CUT

GRANITE CURB

BRICK SIDEWALK

GUARD RAIL

S26°00'53"E

316.55

GRAVEL PARKING AREA

F/ SARRET LINNEHAN  
1866

5/8" IRON REBAR  
FOUND, FLUSH  
BOUNDARY POINTS  
2232

N26°00'53"W

35.00

CONCRETE WALL  
REMNANTS

BLOCK WALL

PATIO  
ON PAD

ROOF ELEV = 58.9'±  
GRADE ELEV = 35.5'±

5/8" REBAR .5'  
BUILDING LIN

F/ CONNOLLY  
30.30'

ENCLOSED CONCRETE  
W/ RESTAURANT EQL

CHAINLINK FENCE

SEE  
DETAIL A

BRIAN  
BORU'S

5/8" IRON REBAR  
FOUND, FLUSH  
BOUNDARY POINTS  
2232

REMAINDER  
AREA

31,442 S.F. ±  
0.72 AC. ±



PARKING AREA  
USED BY BRIAN BORU'S  
SEE NOTE 11

SEE  
DETAIL B

BRICK SIDEWALK

93.176

N/F  
LAURENCE A. KELLEY  
JUSTIN O'REILLY  
DANIEL STEELE  
18.315/216

# CENTER STREET

45' WIDE PUBLIC WAY

CMP #7

CMP W/LIGHT  
AND TRANSFORMER

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

*LAST YEARS APPROVAL*

Job No: 2012-03-3444-SOB	Date Applied: 3/5/2012	CBL: 038- C-030-001	
Location of Construction: 59 CENTER ST (to the right of it in the parking lot)	Owner Name: B & B REALESTATE, LLC	Owner Address: 57 CENTER ST PORTLAND, ME 04101	Phone: 207-671-8584
Business Name: Brian Boru's	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Temporary Event	Zone: B-3
Past Use: Parking lot to the right of Brian Boru's	Proposed Use: Same - Parking lot to the right of Brian Boru's - erect 25' x 25' temporary fenced in area for 5 Porta Potties - erect March 17, 2012 & remove March 18, 2012	Cost of Work: 1000.000000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i>	Inspection: Use Group: <i>U</i> Type: <i>N/A</i> <i>Temporary</i> Signature: <i>[Signature]</i>
Proposed Project Description: Erect fence for temporary event 03/17/12		Pedestrian Activities District (P.A.D.) <i>3/7/12</i>	
Permit Taken By:		<b>Zoning Approval</b>	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK 3/6/12</i> <i>APM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:
		<b>Historic Preservation</b> <input type="checkbox"/> Not in Dist or Landmark <input checked="" type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>APM</i>	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			
		DATE	PHONE