

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 070973

Please Read
Application And
Notes, If Any,
Attached

I hereby certify that COTTON STREET DEVELOPMENT INC. Old District 3
has been granted permission to Install hood & exhaust system

located at 305 FORE ST Permit No. 038 C016001

It is provided that the person or persons, firm or corporation accepting this permit shall comply with all the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

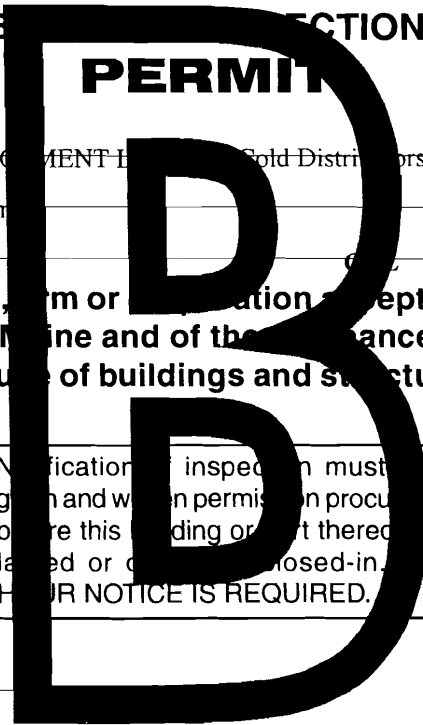
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Dept. _____
City Dept. _____
Council Board _____
City _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



WITHDRAW

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0973	Issue Date:	CBL: 038 C016001
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Location of Construction: 505 FORE ST	Owner Name: COTTON STREET DEVELOPME	Owner Address: PO BOX 6799	Phone:
Business Name:	Contractor Name: Blue Cold Distributors	Contractor Address: 323 Pine Point road Scarborough	Phone 2078850107
Lessee/Buyer's Name	Phone:	Permit Type: Hood Systems, Commerical	Zone: B-3

Past Use: Commercial / Portland Pie	Proposed Use: Commercial / Portland Pie Install hood & exhaust system	Permit Fee:	Cost of Work: \$23,000.00	CEO District:
Proposed Project Description: Install hood & exhaust system		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied TO NJPA 9/6	INSPECTION: Use Grd 42 Type: Hood TYPE1 IMC-2083	
		Signature: (Green) 8/20/07	Signature:	
PEDESTRIAN COMMUNITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 08/10/2007	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: 8/20/07	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation To Historic <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/21/07 874

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

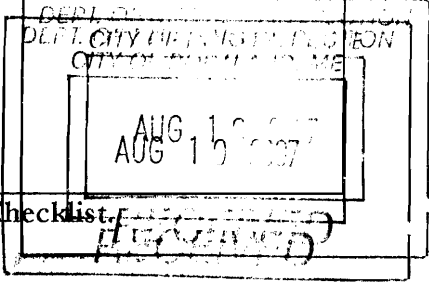
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>505 FORE ST.</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>38</u> Block# <u>C</u> Lot# <u>016</u>		Owner: Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SHEILEY M. PELLETIER</u> <u>BLUE COIN DIST</u> <u>323 PINE PT RD</u> <u>SCARBOROUGH, ME</u>	Cost Of Work: \$ <u>23,000</u> Fee: \$ <u>250.</u> C of O Fee: \$ <u>N/A</u>
Current legal use (i.e. single family) <u>Portland Pie Co. Restaurant</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>INSTALL HOODS AND EXHAUST / MUA FANS</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>SHEILEY M. PELLETIER</u> Mailing address: _____ Phone: <u>207-885-0107</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Sheiley M Pelletier* Date: 8-16-07

✓ #388916 This is not a permit; you may not commence ANY work until the permit is issued.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.org

Lee Urban- Director of Planning and Development

Michael J. Nugent- Inspections Division Director

Kitchen Exhaust System Checklist and Code Provisions

Dear Applicant,

The following is a checklist to assist you in filing for a permit for a Kitchen Exhaust system. The applicable Mechanical Code provisions have also been attached. Please complete this and submit job specific construction documents that demonstrate compliance with the attached information.

Type of System:

Type I X Type II _____

(Type I systems are systems that vent fryers, grills, broilers, ovens or woks. Type II systems are systems that vent steamers and other non grease producing appliances)

Type of Materials:

Is the hood Stainless steel or other type of steel? stainless steel If Other, what Type? _____

Is the duct work Stainless steel or other type of steel? 16ga. CRS (inside) what type? 16ga. galv. steel (outside) If Other, _____

Thickness of the steel for the hood 1

Thickness of the duct for the hood 16ga.

Type of Hood and Duct supports

Canopy/ 1/2 x 1/2 x 1/8 angle iron. 3/8 threaded rod to floor trust (inside). 1/4 lag nails into brick (outside)

Type of seams and Joints solid welded

Grease Gutters provided? yes

Hood Clearance from Combustibles materials 18", if within 18" will have 1" air space with 1" min wool fence with 24ga. both sides.

Duct Clearance from Combustibles materials 18" or wrap with 3M fire barrier grease duct wrap zero clearance

Vibration Isolation System: N/A

Air Velocity within the duct system 1500 ft. per min.

Grease accumulation prevention system grease cups

Cleanouts In each 90 degree elbow and every 10' 2100 degree

Grease Duct enclosure Inside 3M fire barrier within 18" combustible

Exhaust Termination 40" above roof line

Fire Suppression system existing

Exhaust fan mounting and clearance from the roof or wall 40" or 10' from openings or walls

Exhaust fan distance from other vents or openings 10'

Exhaust fan height above adjoining grade 28'

Hood Specs

Style of hood (2) canopy type I

Type of Filter: Alum. baffle with handles

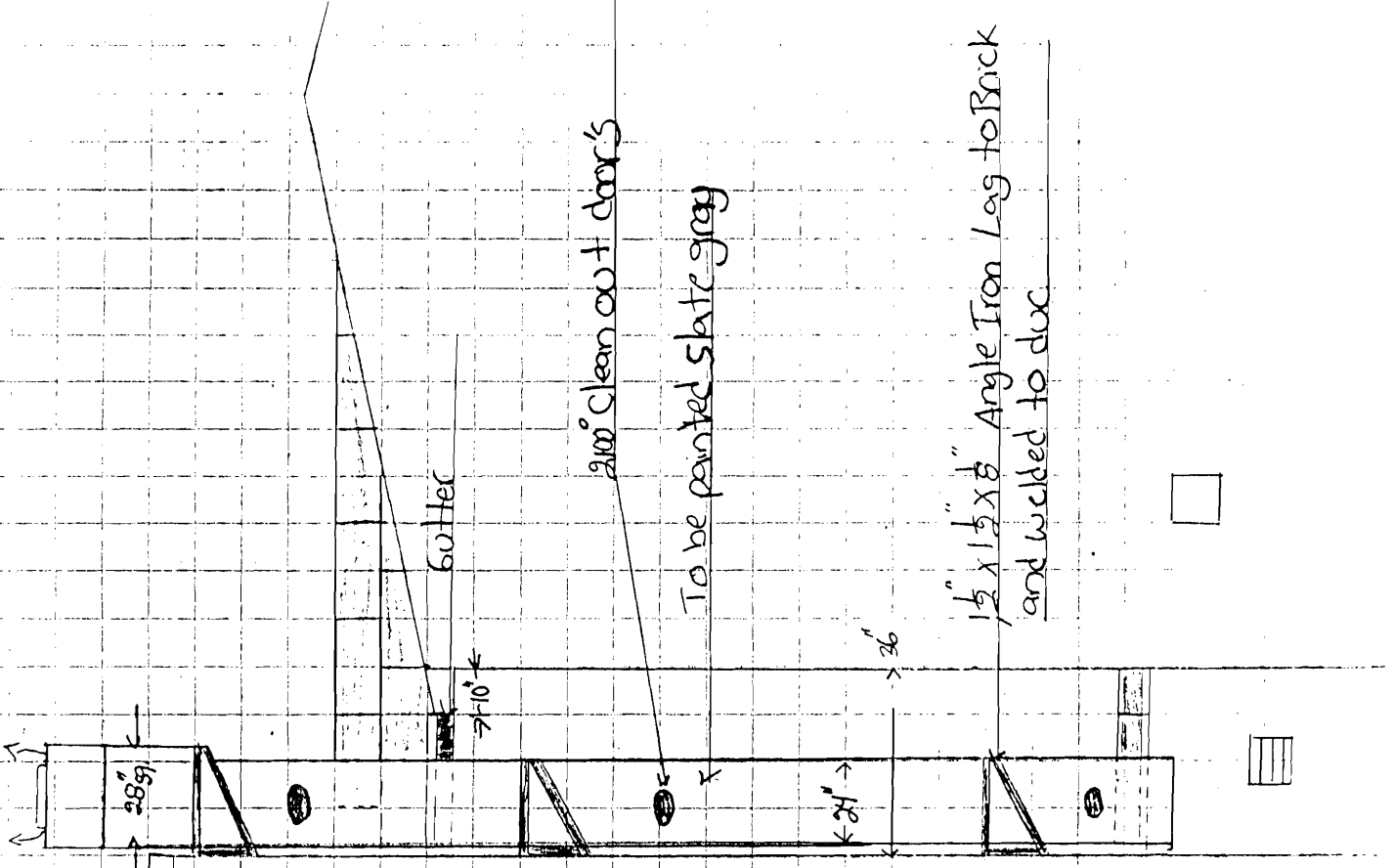
Height of filter above nearest cooking surface: 36"

Capacity of hood in CFM 2500

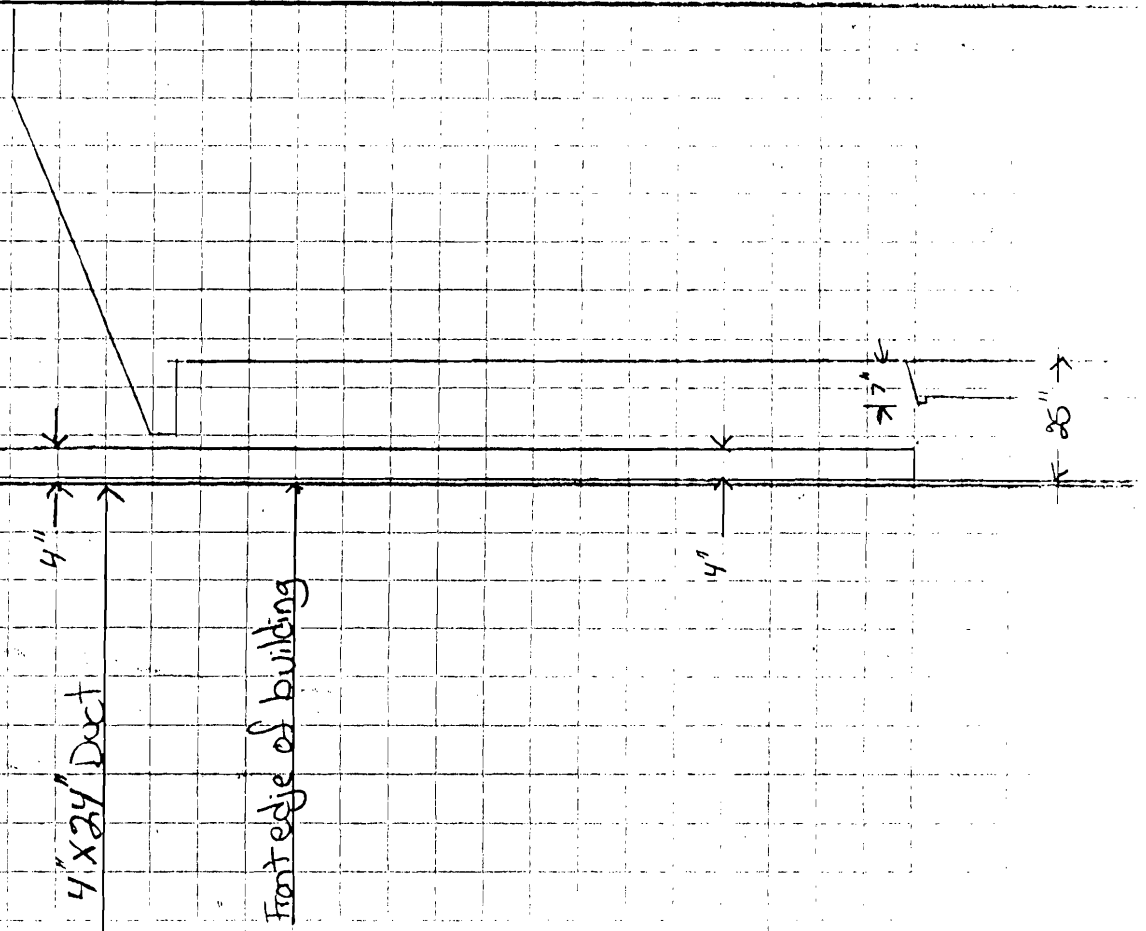
Make up Air system description and capacity
Inline fan to be vented outside in each end of hood

2124 CFM

Front view



(Side view)

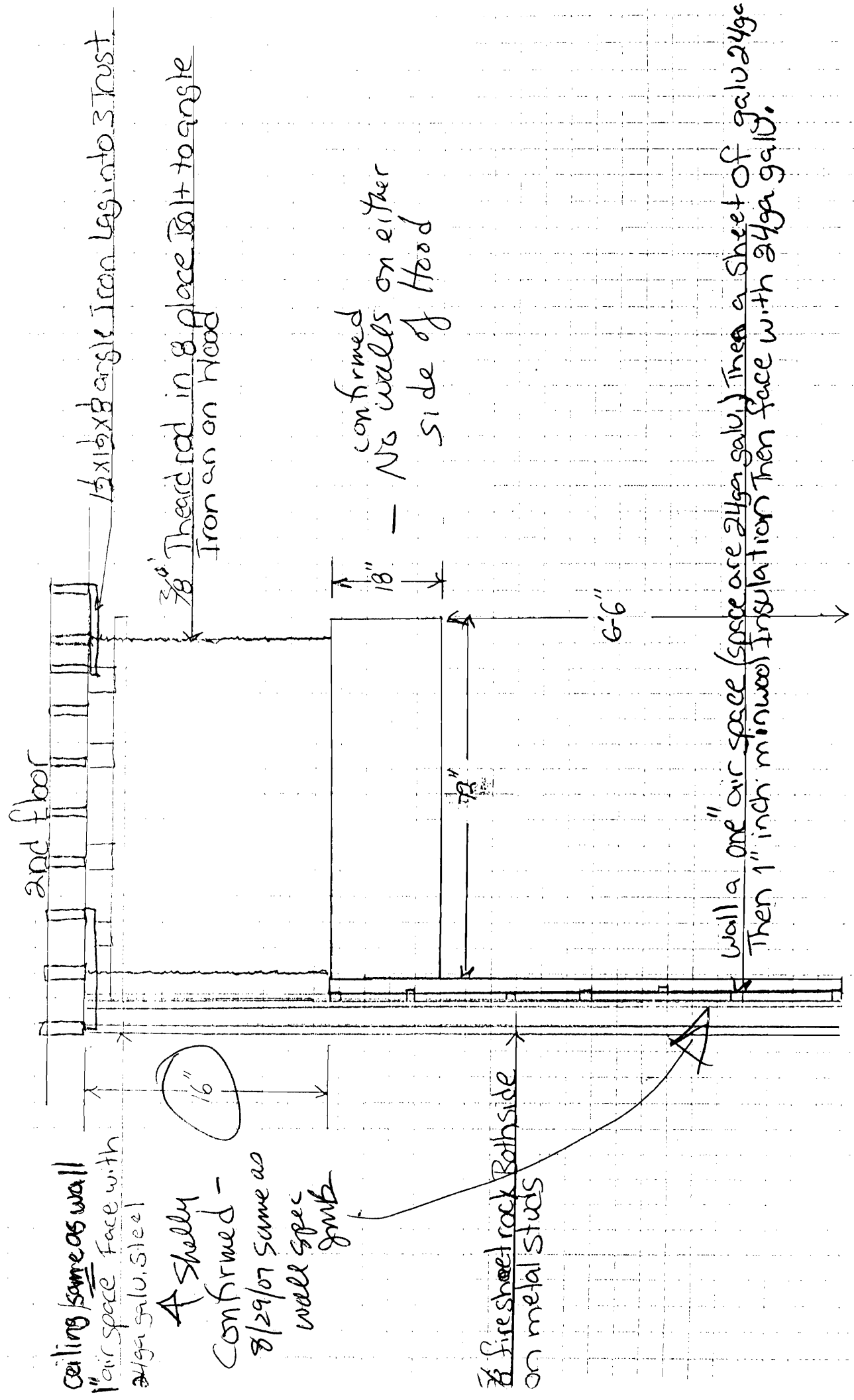


Front edge of building

side view

Baugoin Sons LLC

Dan Baugoin (207) 7491878



ceiling same as wall
1" air space face with
24ga galv. steel

16"

Shelby
Confirmed -
8/29/07 same as
wall spec
gmb

Fire sheet rock both side
on metal studs

and floor

2x12x8 angle iron lag into 3 Truss

3/8" Thread rod in g place Bolt to angle
Iron on an hood

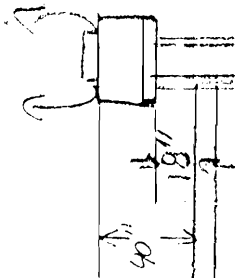
confirmed
- No walls on either
side of hood

18"

72"

6'6"

Wall a one air space (space are 24ga galv.) Then a sheet of galv 24ga
Then 1" inch min wool insulation then face with 24ga galv.



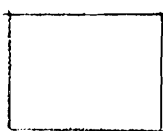
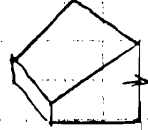
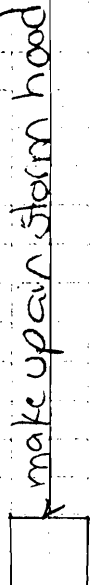
Asphalt roofing

Duct to be wrap in 3m fire barrier greseduct wrap then face with 24ga galu where duct work is within 18" of combustibles,

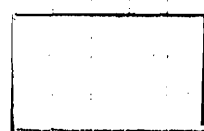
Brick

Clean out doors

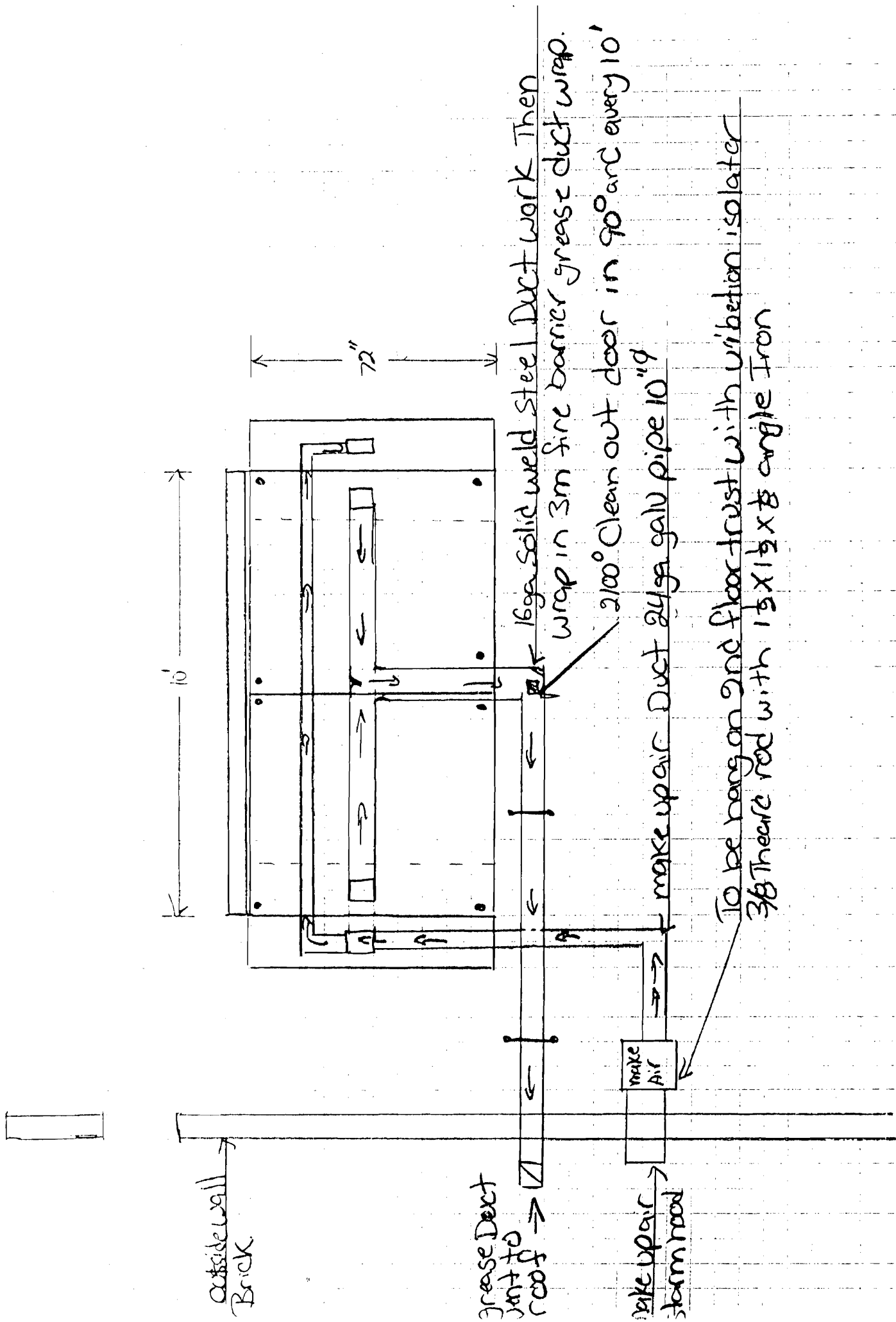
18x18x8 angle iron wall braces
Lag into the brick wall with mortar
nails

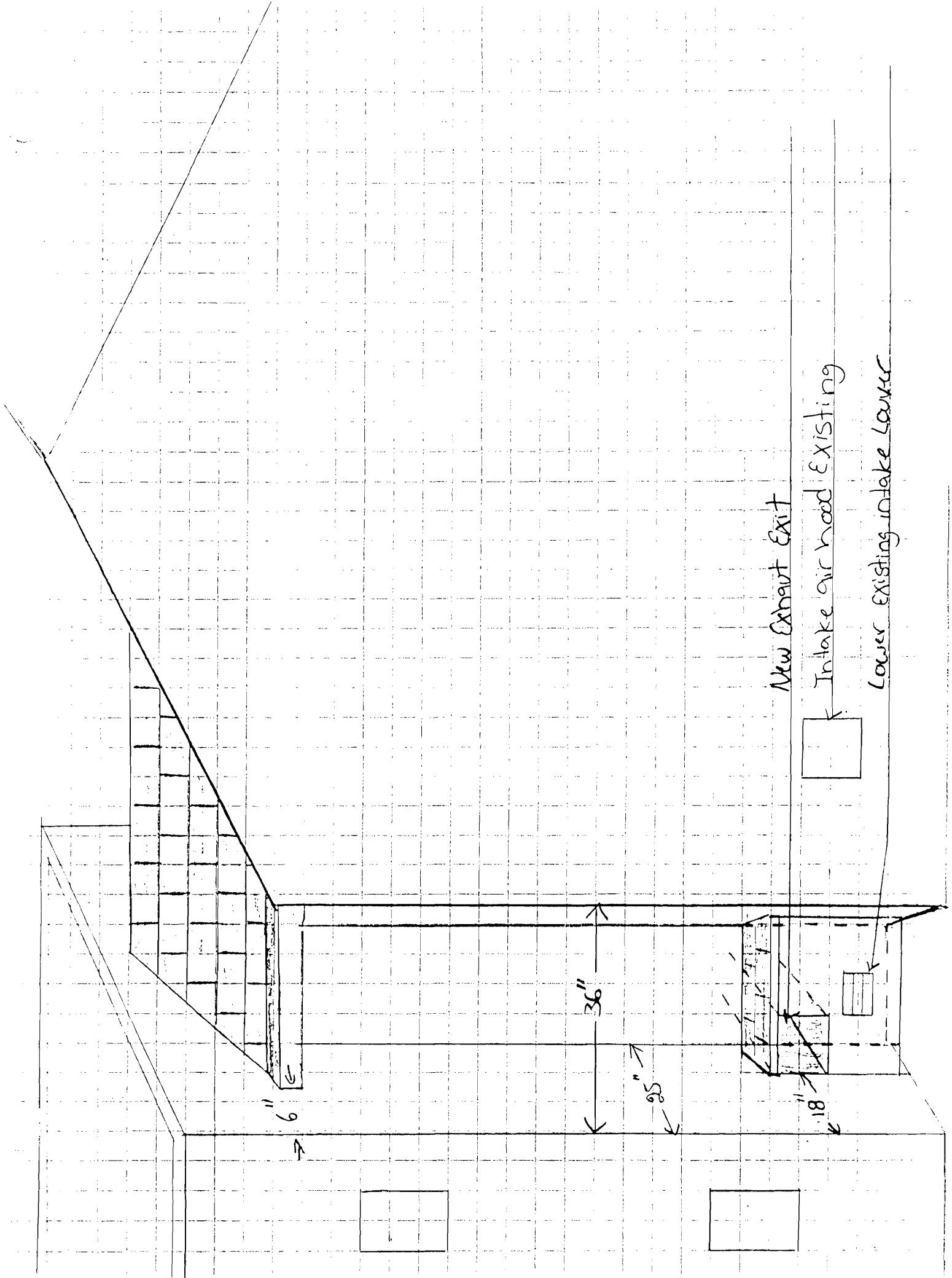


Brick



Top View





6"

36"

25"

18"

New Exhaust Exit

Intake air hood Existing

Lower Existing Intake Louver

FAN INFORMATION

FAN UNIT NO.	FAN UNIT MODEL #	EXHAUST FAN										SUPPLY FAN								
		MODEL	TAG	CFM	S.P.	RPM	H.P.	#	VOLT	FLA	BLOWER	HOUSING	TAG	CFM	S.P.	RPM	H.P.	#	VOLT	FLA
1	NCA18HPFA	NCA18HPFA		2500	2.250	1332	2.000	1	230	12.5										
2	INLINE1L-G10										G10	INLINE1L		2124	0.350"	917	1.000	1	230	6.8

FAN OPTIONS

FAN NO.	OPTION (Qty. - Descr.)
1	1 - Grease Box
	1 - Hinge Kit - Ships Loose for Curb Supplied by Others
2	1 - Vibration Isolation Ceiling Hangers for INLINE fans (set of

FAN ACCESSORIES

FAN UNIT NO.	FAN UNIT TAG	EXHAUST			SUPPLY			
		GREASE CUP	GRAVITY DAMPER	WALL MOUNT	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT
1		YES						
2					YES			

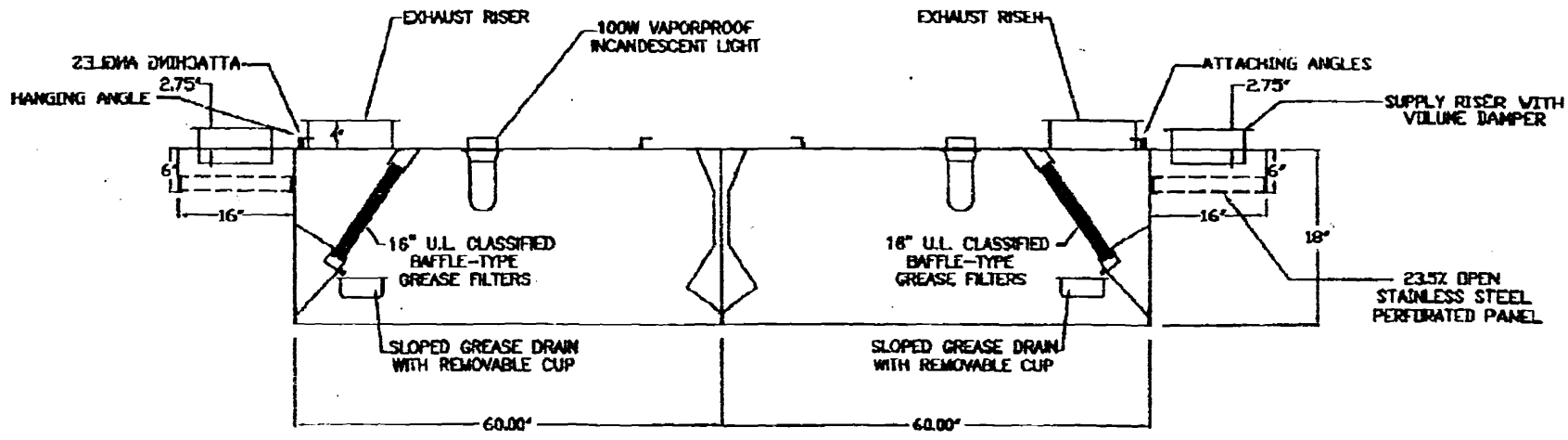
CUSTOMER APPROVAL TO MANUFACTURE:

- Approved as Noted
- Approved with NO Exception Taken
- Revise and Resubmit

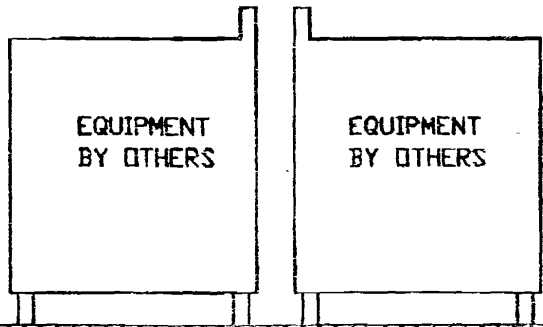
SIGNATURE _____
 Your Title _____ Date _____



JOB Portland Pie	
LOCATION	
DATE 7/4/2007	JOB # 618162
DWG # PortlandPie	DRAWN BY BFC
REV. 1.00	SCALE 8.5' x 11'



IT IS THE RESPONSIBILITY OF THE ARCHITECT/OWNER TO ENSURE THAT THE HOOD CLEARANCE FROM LIMITED-COMBUSTIBLE AND COMBUSTIBLE MATERIALS IS IN COMPLIANCE WITH LOCAL CODE REQUIREMENTS



FRONT VIEW - FACE TO FACE MODEL 6018-ND-PSP-P

CUSTOMER APPROVAL TO MANUFACTURE!

Approved as Noted

Approved with NO Exception Taken

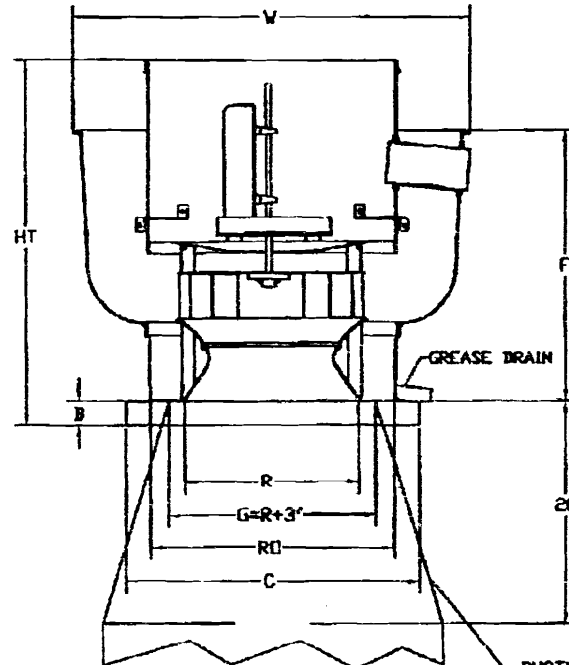
Revise and Resubmit

SIGNATURE _____

Your Title _____ Date _____

	JOB Portland Ple	
	LOCATION	
	DATE 7/4/2007	JOB # 618162
	DWG # PortlandPle	DRAWN BY BFC
	REV. 1.00	SCALE 8.5' x 11'

NCAHPFA SERIES UPBLAST EXHAUST FANS (UL762)



FEATURES:

- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL762
- AMCA SOUND AND AIR CERTIFIED
- WIRING FROM MOTOR TO DISCONNECT SWITCH
- WEATHERPROOF DISCONNECT
- HIGH HEAT OPERATION 300°F (149°C)
- GREASE CLASSIFICATION TESTING

NORMAL TEMPERATURE TEST
 EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

ABNORMAL FLARE-UP TEST
 EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

OPTIONS:

- GREASE BOX
- HINGED FAN

NCAHPFA BELT DRIVE CENTRIFUGAL UP-BLAST EXHAUST FANS DIMENSIONAL DATA DUCTWORK BETWEEN EXHAUST RISER ON HOOD AND FAN (BY OTHERS)

FAN MODEL	HT	V	B	C	F	R	RO	WEIGHT LB
NCA18HPFA	33 3/8	38 7/8	2	28	29 1/2	18	24	195

CUSTOMER APPROVAL TO MANUFACTURE:

- Approved as Noted
- Approved with NO Exception Taken
- Revise and Resubmit

SIGNATURE _____

Your Title _____ Date _____



JOB Portland Pie	
LOCATION	
DATE 7/4/2007	JOB # 618162
DWG # PortlandPie	DRAWN BY BFC
REV. 1.00	SCALE 8.5' x 11'

CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD

John Turk, Chair
Rick Romano, Vice Chair
Otis Baron
Martha Deprez
Kimberley Geyer
Ted Oldham
Cordelia Pitman

August 8, 2007

Nat Getchell
Portland Pie Company
505 Fore Street
Portland, Maine 04101

Re: Installation of Exterior Ductwork; 505-507 Fore Street

Dear Mr. Getchell:

On July 25, 2007, the City of Portland's Historic Preservation Board reviewed your application for a Certificate of Appropriateness for proposed exterior ductwork on the west elevation of the Tracey Causer Building at 505-507 Fore Street. Following deliberations, the Board voted 6-0 (Romano absent) that the proposed installation met the Standards for Review of Alterations of the historic preservation ordinance, subject to the following conditions:

- The proposed ductwork shall be kept within the depth of the recessed area between the original historic structure and later addition.
- The duct shall measure 4" x 24", except at the cornice line where it will widen to support the blower.
- A revised drawing reflecting the changes noted above shall be submitted to staff for final review and approval. *Note: revised drawing submitted and approved 8/7/07.*
- Entire installation to be painted dark gray, matte finish.

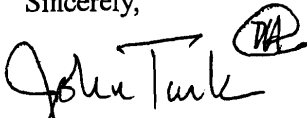
As you are aware, implementation of the proposed project will require consent of the building owner. The Historic Preservation Board was asked to make a determination as to whether the installation as proposed would meet Portland's historic preservation ordinance standards and therefore be granted a Certificate of Appropriateness.

All improvements shall be carried out as shown on the plans and specifications submitted for the 7/25/07 public hearing, except as to comply with the conditions above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within

twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



John Turk, Chair
Historic Preservation Board

cc: Dan Bourgoin, Bourgoin & Son LLC