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PRUDENTIAL
 TWO PORTLAND SQUARE FOURTH FLOOR
 PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION
1	02.11.08	RE-ISSUED FOR CONSTRUCTION
2	09.04.08	RE-ISSUED FOR CONSTRUCTION EXPANSION OF PHASE 3

DATE: 09.04.08

PROJECT #: 110807

DRAWN BY: DLP

CHECKED BY: MET/SWG

DRAWING SCALE: AS NOTED

SHEET TITLE

DEMOLITION
 FOURTH FLOOR PLAN

D100

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- COORDINATION:** PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR COMPLETE COORDINATION DURING ALL PHASES OF CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ABSENCE OF INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS AND SURFACES UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.
- DAMAGE:** EXISTING BUILDING, BUILDING SYSTEM OR SITE COMPONENTS AFFECTED BY NEW WORK, DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.
- EQUIPMENT AND FIXTURES:** NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.
- PATCHING:** AFTER ALL REMOVALS OF WALLS, DOORS, WINDOWS, CEILING AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PIECE UNDERLAYMENT TO FLOORS AT WALL REMOVAL; INSTALL NEW WALLBOARD BY PIECE IN AND FINISHING FLUSH AND FRAMING OR FURRING AS NECESSARY; PIECE IN NEW CEILING SUSPENSION SYSTEM.
- CONCEALED SPACES:** BUILDING DEFICIENCIES IN CONCEALED SPACES ARE NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND HEAT LOSS OR GAIN.
- PIPE REMOVALS:** AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS; FILL MOUNTING HOLES AND REPAIR WALL SURFACES.

INSTRUCTIONS FOR RENOVATIONS:

- LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE DRAWINGS - SEE INTERIOR FINISH SCHEDULE AND NOTES - AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.
- NOT USED
- COVER PLATES:** PROVIDE COVER PLATES OVER ABANDONED ELECTRICAL DEVICES, PAINT WITH WALL.
- FIRE EXTINGUISHERS:** CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND INSTALL THEM AFTER THEIR WORK. NEW EXTINGUISHERS AND CABINETS SHALL BE INSTALLED BY THE CONTRACTOR WHERE INDICATED.
- SIGNAGE:** EXISTING PLAQUES AND OTHER INTERIOR SIGNS SHALL BE REMOVED AND INSTALL AFTER THE WORK.

INSTRUCTIONS FOR REMOVALS:

- CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
- PLANS:** SEE DEMOLITION PLANS FOR DEMOLITION WORK. SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR DEMOLITION WORK.
- VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHORING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.
- EQUIPMENT:** THE OWNER SHALL BE RESPONSIBLE FOR REMOVING FURNITURE, AND OTHER MOVEABLE AND FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA. EXCEPTION FOR MECHANICAL, ELECTRICAL, OR MINOR WORK NOT REQUIRING OWNER TO COMPLETELY VACATE PREMISES AND EXCEPT AS NOTED. CONTRACTOR SHALL INFORM OWNER OF SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS AS NECESSARY.
- EQUIPMENT:** OWNER REMOVALS TYPICALLY INCLUDE, BUT MAY NOT BE LIMITED TO:
 FURNITURE OF ALL TYPES, UNATTACHED MACHINES AND COMPUTERS
 ARTWORK AND OTHER WALL MOUNTED DISPLAYS
 ATTACHED SHELVING UNITS AND STORAGE CABINETS

ANY MISCELLANEOUS ITEMS NOT REMOVED BY OWNER SHALL BE REMOVED BY CONTRACTOR UNDER REMOVAL AND/OR DISPOSAL.

6. REUSE/SALVAGE: CONTRACTOR SHALL SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS TO PATCH AND REPAIR INCLUDING:
 LIGHT FIXTURES, CEILING TILES, WOOD DOORS, MOLDINGS, PANELS, ALL LIFE SAFETY DEVICES, EXIT SIGNS

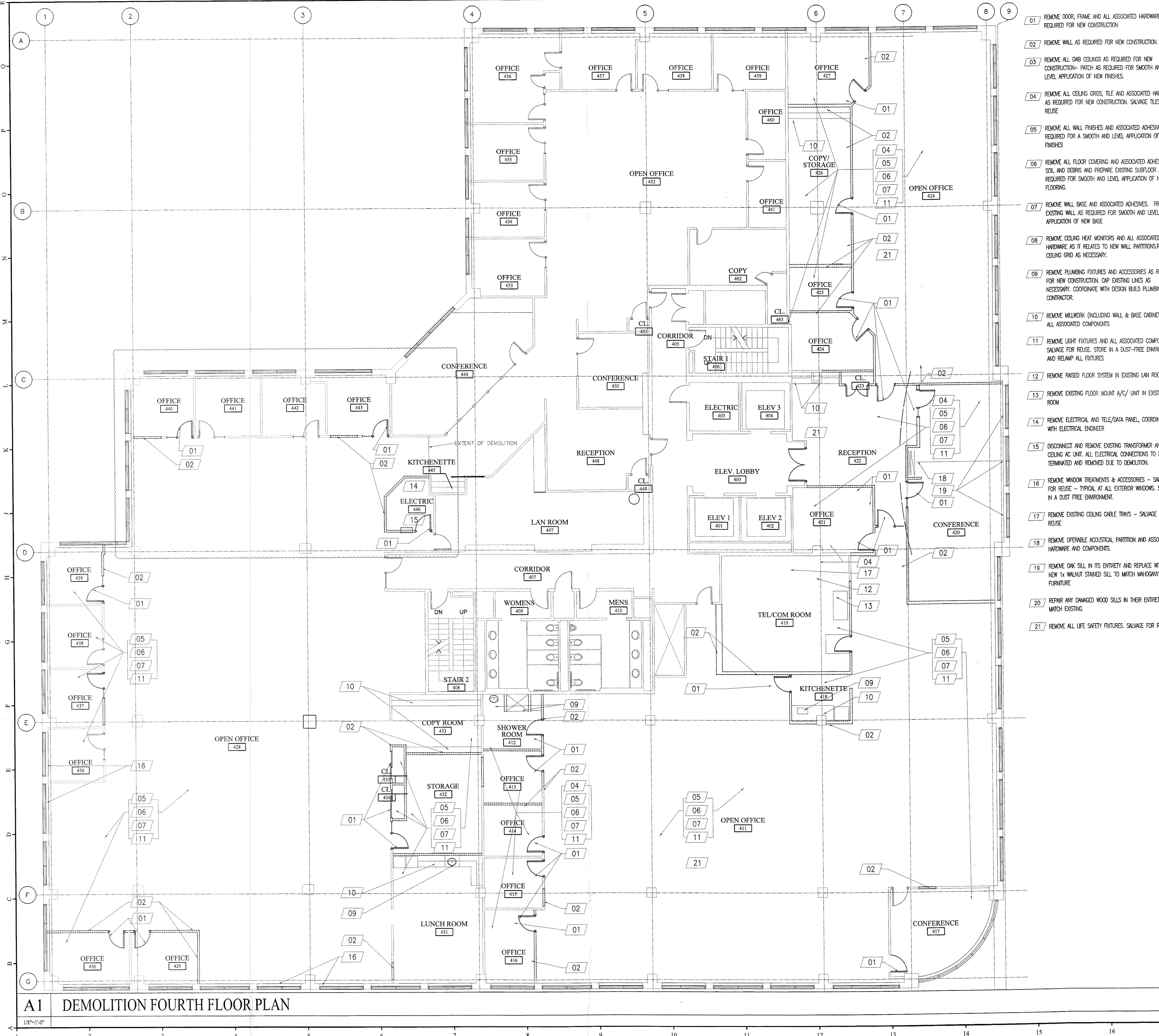
CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS WITH OWNER'S APPROVAL

7. SALVAGE FOR OWNER: PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNERS REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.

8. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION: REFER TO THOSE SPECIFIC DRAWINGS FOR INFORMATION.

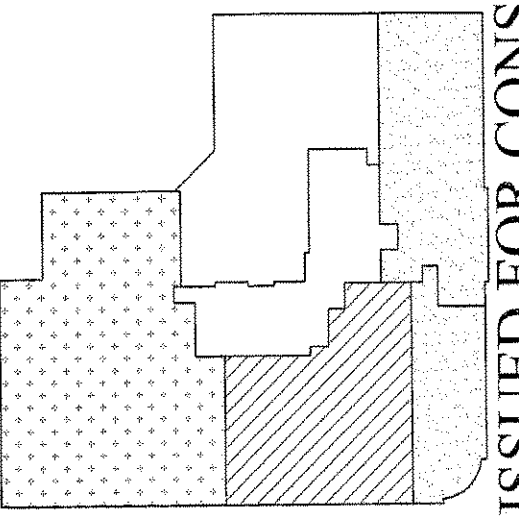
9. FIRE SUPPRESSION SYSTEM ADDITIONS AND MODIFICATIONS: FIRE SUPPRESSION SYSTEM CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNERS REPRESENTATIVE PRIOR TO ANY AND ALL DEMOLITION REQUIRED FOR FIRE SUPPRESSION SYSTEM INSTALLATION.

- REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION
- REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION
- REMOVE ALL GIB CEILINGS AS REQUIRED FOR NEW CONSTRUCTION - PATCH AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FINISHES
- REMOVE ALL CEILING GRIDS, TILE AND ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION. SALVAGE TILES FOR REUSE
- REMOVE ALL WALL FINISHES AND ASSOCIATED ADHESIVES AS REQUIRED FOR A SMOOTH AND LEVEL APPLICATION OF NEW FINISHES
- REMOVE ALL FLOOR COVERING AND ASSOCIATED ADHESIVES, SOIL AND DEBRIS AND PREPARE EXISTING SUBFLOOR AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FLOORING
- REMOVE WALL BASE AND ASSOCIATED ADHESIVES. PREPARE EXISTING WALL AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW BASE
- REMOVE CEILING HEAT MONITORS AND ALL ASSOCIATED HARDWARE AS IT RELATES TO NEW WALL PARTITIONS. REMOVE CEILING GRID AS NECESSARY.
- REMOVE PLUMBING FIXTURES AND ACCESSORIES AS REQUIRED FOR NEW CONSTRUCTION. CAP EXISTING LINES AS NECESSARY. COORDINATE WITH DESIGN BUILD PLUMBING CONTRACTOR.
- REMOVE MILLWORK (INCLUDING WALL & BASE CABINETS) AND ALL ASSOCIATED COMPONENTS
- REMOVE LIGHT FIXTURES AND ALL ASSOCIATED COMPONENTS. SALVAGE FOR REUSE. STORE IN A DUST-FREE ENVIRONMENT AND RELAMP ALL FIXTURES
- REMOVE RAISED FLOOR SYSTEM IN EXISTING LAW ROOM
- REMOVE EXISTING FLOOR MOUNT A/C UNIT IN EXISTING LAW ROOM
- REMOVE ELECTRICAL AND TELE/DATA PANEL. COORDINATE WITH ELECTRICAL ENGINEER
- DISCONNECT AND REMOVE EXISTING TRANSFORMER AND CEILING AC UNIT. ALL ELECTRICAL CONNECTIONS TO BE TERMINATED AND REMOVED DUE TO DEMOLITION.
- REMOVE WINDOW TREATMENTS & ACCESSORIES - SALVAGE FOR REUSE - TYPICAL AT ALL EXTERIOR WINDOWS. STORE IN A DUST FREE ENVIRONMENT.
- REMOVE EXISTING CEILING CABLE TRAYS - SALVAGE FOR REUSE
- REMOVE OPERABLE ACOUSTICAL PARTITION AND ASSOCIATED HARDWARE AND COMPONENTS.
- REMOVE OAK SILL IN ITS ENTIRETY AND REPLACE WITH A NEW 1x WALNUT STAINED SILL TO MATCH MAHOGANY FURNITURE
- REPAIR ANY DAMAGED WOOD SILLS IN THEIR ENTIRETY TO MATCH EXISTING.
- REMOVE ALL LIFE SAFETY FIXTURES. SALVAGE FOR REUSE



D17 DEMOLITION NOTES

- NTS
- PHASE I
- PHASE II
- PHASE III
- SOLID WALLS REPRESENT NEW WALLS IN EXISTING FACILITY
- EXISTING WALLS AND/OR AREAS TO REMAIN
- EXISTING WALLS TO BE REMOVED



A1 DEMOLITION FOURTH FLOOR PLAN

A17 KEY PLAN