

REMOVE EXISTING WORKSTATION COUNTERS, WALL CABINETS, WD BASE, CHAIR RAIL, CARPET, RUBBER BASE, AND ADHESIVE RESIDUE THRU-OUT

SYMBOL LEGEND

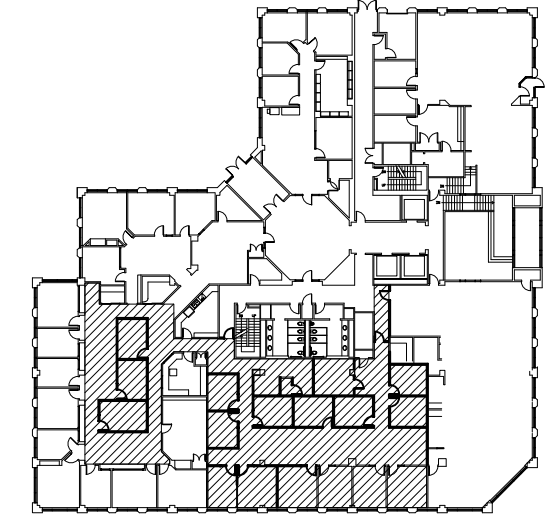
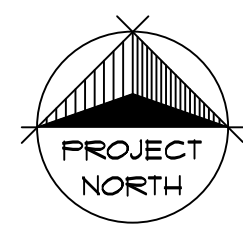
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- - - - EXISTING DOOR/FRAME & HARDWARE TO BE REMOVED. SAVE FOR RE-USE.
- - - - EXISTG. 2X4/ 2X6 LAY-IN PARABOLIC LIGHT FIXTURE TO BE REMOVED. SAVE FOR RE-USE.
- EXISTG. SMOKE DETECTOR TO BE REMOVED. SAVE FOR RE-USE.
- EXISTG. WALL MTD INCANDESCENT SCONCE FIXTURE TO BE REMOVED.
- ⊕ EXISTG. ELEC. OUTLET TO BE REMOVED
- ⊕ EXISTG. DBL. DUPLEX ELEC. OUTLET TO BE REMOVED
- ▷ EXISTG. TELE/DATA OUTLET TO BE REMOVED
- ⊕ EXISTING LIGHT SWITCH TO BE REMOVED
- ⊕ EXISTG. EXIT LIGHT TO BE REMOVED. SAVE FOR RE-USE.
- ⊕ EXISTG. DUAL HEAD, EMERGENCY FIXTURE TO REMOVED. SAVE FOR RE-USE
- ⊕ EXISTG. SUPPLY AND RETURN AIR DIFFUSERS TO BE REMOVED OR RELOCATED.
- ⊕ EXISTING THERMOSTAT TO BE REMOVED. SAVE FOR RE-USE.
- ⊕ EXISTING FIRE ALARM PULL STATION TO BE RELOCATED.
- ⊕ EXISTING FIRE SPRINKLER TO BE REMOVED/ RELOCATED.
- ⊕ EXISTING ELEC/ TELE/ DATA POWER POLE TO BE REMOVED. BUNDLE TELE/ DATA WIRING ABOVE CLG. FOR IT VENDOR USE.

KEYNOTES

- 1 REMOVE EXISTG. DRYWALL CLG W/ LIGHT COVE THIS AREA AS REQ'D TO ACCOMMODATE NEW WORK.
- 2 ALTER EXISTG. ACOUSTIC CEILING THIS AREA AS REQ'D TO ACCOMMODATE NEW PARTITION WORK.
- 3 CLIP EXISTING CLG AS REQ'D TO ACCOMMODATE NEW PARTITION WORK.
- 4 REMOVE EXISTING ACOUSTIC CLG THRU-OUT. SAVE FOR RE-USE.
- 5 REMOVE EXISTING DRYWALL BULKHEAD.
- 6 CUT BACK EXISTING CARPET AND BASE AS REQ'D.
- 7 REMOVE EXISTING CORRIDOR CARPET, BASE, AND CLG THIS AREA AS REQ'D TO ACCOMMODATE NEW ENTRY.
- 8 EXISTG. CLG TO REMAIN. SHOWN FOR CLARIFICATION ONLY.
- 9 EXISTG. TRANSFORMER & PANELBOARD TO REMAIN.
- 10 REMOVE EXISTG. DR./FR. ASSEMBLY & PORTION OF ADJACENT WALL TO ACCOMMODATE NEW DEMISING PARTITION. SAVE FOR RE-USE IN SAME LOCATION. SEE SHT 102.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL FURNISH ALL LABOR & MATERIALS NECESSARY TO COMPLETE DEMOLITION & REMOVAL OF ALL ITEMS AS INDICATED ON MCCORMICK ARCHITECTS DRAWINGS OR AS OTHERWISE ASSUMED AS REQ'D. TO FACILITATE NEW WORK.
2. SINCE IT IS NOT POSSIBLE TO INDICATE THE TOTAL SCOPE OF WORK, REQ'D. BY THE USE OF DOTTED LINES OR NOTES, THE CONTRACTOR IS ADVISED TO VERIFY ALL CONDITIONS AT THE SITE. THE DRAWINGS & NOTES CLARIFY INTENT. IT IS ASSUMED THAT WHERE WORK EXISTS WHERE NEW WORK IS INDICATED, ALL SUCH EXISTG. WORK SHALL BE REMOVED.
3. THE GC. SHALL REPORT TO MCCORMICK ARCHITECTS ANY & ALL CONDITIONS WHICH MAY INTERFERE W/ OR OTHERWISE AFFECT/ PREVENT THE PROPER EXECUTION & COMPLETION OF THE WORK OF THIS CONTRACT.
4. EXISTG. MTLG. THAT ARE REMOVED BUT NOT RE-USED, SHALL BE RETURNED TO ATTIC STOCK, OR DISPOSED OF AS DIRECTED BY THE LANDLORD.
5. CONTRACTOR SHALL REMOVE ALL EXISTG. TELE/DATA WIRING & DEVICES THRU-OUT THE AREA OF WORK.
6. EXISTG. VERTICAL BLINDS SHALL REMAIN THRU-OUT. CONTRACTOR SHALL INSPECT, REPLACE SLATS AND/ OR INOPERABLE HARDWARE WHERE NECESSARY, THOROUGHLY CLEAN & TAKE ALL NECESSARY PRECAUTION TO PROTECT THRU-OUT THE DURATION OF THE PROJECT.



KEY PLAN

DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

McCormick Architects + Designers, Inc.
Ice House, Studio 115
100 43rd Street
Pittsburgh Pennsylvania 15201
Telephone 412.687.2200
Facsimile 412.687.2300



PCG - PORTLAND, ME
Business Entity # 145194
2nd Flr, 2 Portland Square
Portland, ME 04101

Wells Fargo Bank, N.A.
420 Montgomery Street
San Francisco, CA 94104

Revisions:
Permit & Construction Issue - 8-12-10

Project Number:	
Designer: DLW	Drawing Date: 07-12-10
Drafter: DLW	Drawing Scale: 1/8"=1'-0"
Wells Fargo Approval:	

Client Approval:
Drawing Number: AD100
Sheet: of