

GINGKO BLUE

2 Portland Square - 1st Floor (suite 104)
Portland, Maine
LIST OF DRAWINGS

T1.0	TITLE SHEET	A-5.0	DETAILS / SCHEDULES
		A-5.1	MILLWORK
D-1.0	DEMOLITION PLAN	A-6.0	FURNITURE PLAN (FOR INFORMATION PURPOSES ONLY)
A-1.0	FLOOR PLAN	FSE -1	FIRE SAFETY AND EGRESS PLAN
A-2.0	REFLECTED CEILING PLAN		
A-3.0	FLOOR FINISHES PLAN		
A-4.0	INTERIOR ELEVATIONS		
A-4.1	RESTROOM ELEVATIONS & ADA REQMTS.		

TYPICAL ABBREVIATIONS

4	AND	ELEC	ELECTRIC	LL	LIVE LOAD	RO	ROUGH OPENING
ANG	ANGLE	ELEV	ELEVATION	LUIC	LIGHT WEIGHT CONCRETE	RM	ROOM
AT	AT	EMP	EMPLOYEE	MAX	MAXIMUM	RTU	ROOF TOP UNIT
ADA	AMERICAN DISABILITIES ACT	ENCL	ENCLOSE	MECH	MECHANICAL	S	SOUTH
ADJ	ADJUST OR ADJACENT	ENT	ENTRY or ENTRANCE	MFG	MANUFACTURE	SAT	SUSPENDED ACOUSTICAL TILE
AF	ABOVE FINISH FLOOR	EQ	EQUAL	MH	MAN HOLE	SCHED	SCHEDULE
ALUM	ALUMINUM	EQUIP	EQUIPMENT	MIL	MILLIMETER	SD	STORM DRAIN
ARCH	ARCHITECT OR ARCHITECTURAL	EWC	ELECTRIC WATER COOLER	MIN	MINIMUM	SECT	SECTION
AVG	AVERAGE	EXH	EXHAUST	MGB	MAIN SWITCH BOARD	SF	SQUARE FEET
BD	BOARD	EXIST	EXISTING	MTD	MOUNTED	SIM	SIMILAR
BLDG	BUILDING	EXP	EXPANSION	MTL	METAL	SP	SHELL PACKAGE
BLKG	BLOCKING	EXT	EXTERIOR	MW	MICROWAVE	SPEC	SPECIFICATIONS
BM	BEAM	FBO	FURNISHED BY OWNER	N	NORTH	SS	STAINLESS STEEL
BO	BOTTOM OF	FDN	FOUNDATION	N/A	NOT APPLICABLE	SQ	SQUARE
C	CENTER LINE	FF	FINISH FLOOR	NAT	NATURAL	STD	STANDARD
CAB	CABINET	FFE	FINISH FLOOR ELEVATION	NIC	NOT IN CONTRACT	STL	STEEL
CLG	CEILING	FIN	FINISH	#	NUMBER	STRUC	STRUCTURAL
CLR	CLEAR	FIXT	FIXTURE	NTS	NOT TO SCALE	SUSP	SUSPENDED
CMU	CONCRETE MASONRY UNIT	FLG	FLOORING	OC	ON CENTER	SYMM	SYMMETRICAL
CNTR	COUNTER	FLR	FLOOR	OH	OVER HEAD	T	THERMOSTAT
COL	COLUMN	FLUOR	FLUORESCENT	PAR	PARALLEL	T & B	TOP AND BOTTOM
CONC	CONCRETE	FT	FOOT or FEET	P/C	PRECAST CONCRETE	TEL	TELEPHONE
CONT	CONTINUOUS	GA	GAUGE	PERF	PERFORATED	TGL	TEMPERED GLASS
COORD	COORDINATE	GALV	GALVANIZED	PERP	PERPENDICULAR	THICK	THICKNESS
COR	CORNER	GC	GENERAL CONTRACTOR	PL	PLATE	TI	TENANT IMPROVEMENTS
CPT	CARPET	GL	GLASS	P-LAM	PLASTIC LAMINATE	T.O.	TOP OF
CW	COLD WATER	GWB	GYPSON WALL BOARD	PLAS	PLASTER	TOJ	TOP OF JOIST
DBL	DOUBLE	HGT	HEIGHT	PLBG	PLUMBING	TOS	TOP OF STEEL
DEG	DEGREE	HM	HOLLOW METAL	PLYUD	PLYWOOD	TYP	TYPICAL
DHW	DOMESTIC HOT WATER	HORIZ	HORIZONTAL	PSI	POUNDS PER SQUARE INCH	UL	UNDERWRITERS LABORATORIES, INC
DIA	DIAMETER	HR	HOUR	PT	PRESSURE TREATED	UNO	UNLESS NOTED OTHERWISE
DIM	DIMENSION	HVAC	HEATING, VENTILATION & AIR CONDITION	PTD	PAINT TREATED	VB	VINYL BASE
DN	DOWN	IBC	INSTALLED BY CONTRACTOR	QTY	QUANTITY	VCT	VINYL COMPOSITE TILE
DR	DOOR	IN	INCHES	R	RISER or RADIUS	VERT	VERTICAL
DS	DOWN SPOUT	INSUL	INSULATION	RAD	RADIUS	VIF	VERIFY IN FIELD
DW	DISH WASHER	INT	INTERIOR	RCP	REFLECTED CEILING PLAN	W	WIDE or WEST
DWG	DRAWING	JT	JOINT	RD	ROOF DRAIN	WD	WOOD
E	EAST	LAM	LAMINATED	REF	REFRIGERATOR	WC	WATER COOLER
EA	EACH	LB	POUNDS	REIN	REINFORCED	W	WITH
EJ	EXPANSION JOINT	LF	LINEAR FEET	REQD	REQUIRED	W/O	WITHOUT
						X	EXISTING

CODE INFORMATION

- CONSTRUCTION TYPE: 3A
- OCCUPANCY: ASSEMBLY (A-2) PER 303 (IBC 2006)
- SIZE: FLOOR AREA - 1450 SF
- COMMON PATH LIMIT = ASSEMBLY (A-2) - 75 FT (PER 1025.9 EX. 1 - IBC 2006)
- DEAD END LIMIT = ASSEMBLY (A-2) - 20 FT (PER 1013 - IBC 2006)
- EXIT ACCESS TRAVEL DISTANCE LIMIT: 250 FT (PER TABLE 1016.1 - IBC 2006)
- SPRINKLED = YES

NOTES:

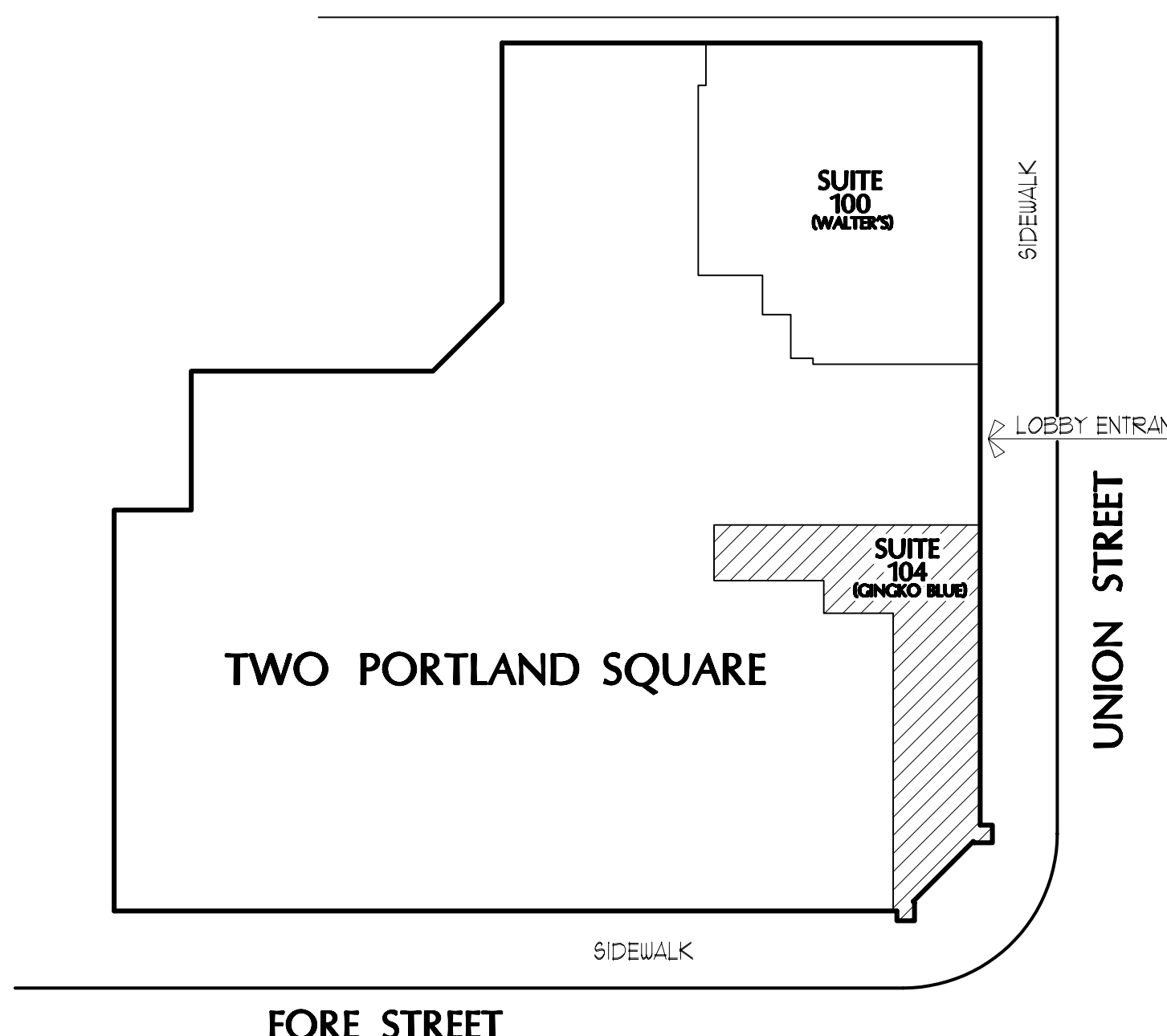
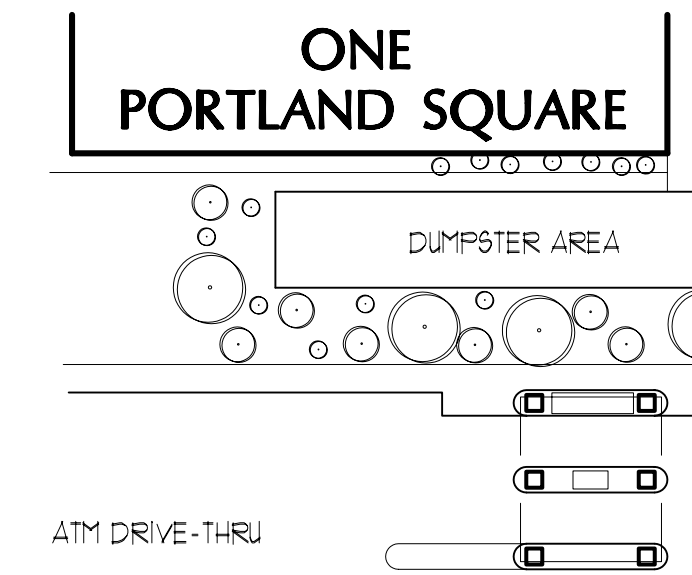
- 2 MEANS OF EGRESS REQUIRED PER 1015.1 (IBC 2006)
- 2 EXITS REQUIRED PER TABLE 1019.1 (IBC 2006)
- MAIN ENTRANCE IS AN ACCESSIBLE MEANS OF EGRESS EVEN THOUGH NOT REQUIRED (PER 1001.1, EX. 1 - IBC 2006)
- STAIR TREADS AND RISERS TO COMPLY WITH 1009.3 (IBC 2006)
- HANDRAILS SHALL COMPLY WITH 1009.10 AND 1012 (IBC 2006)
- 1-HOUR SEPARATION IS REQUIRED PER TABLE 508.3.3 (IBC 2006)
- MIN EGRESS WIDTH FOR TOTAL OCCUPANT LOAD OF 68 PERSONS IS 10 1/4" (13 1/2" FOR STAIRWAYS) BASED ON TABLE 1005.1 (IBC 2006) - USE OTHER MINIMUM WIDTHS.
- MIN. CLEAR WIDTH OF STAIR TO BE 36" (SECTION 1009.1 - EX. 1, IBC 2006)

OCCUPANCY LOAD

PER IBC 2006 TABLE 1004.1.1:

RESTAURANT:	SEATING AREA (ASSEMBLY W/OUT FIXED SEATS - UNCONCENTRATED) = 618 SF. 618 SF. DIVIDED BY 1 PERSON PER 15 SF. = 42 PERSONS
	SEATING AREA (ASSEMBLY W/ FIXED SEATS) = 14 SEATS 14 SEATS = 14 PERSONS
	WAITING AREA (ASSEMBLY W/OUT FIXED SEATS - STANDING AREA) = 34 SF. 34 SF. DIVIDED BY 1 PERSON PER 5 SF. = 7 PERSONS
	TOTAL RESTAURANT OCCUPANT LOAD = 63 PERSONS
PREP AREA, RESTROOMS AND OFFICE:	166 SF. (PREP) + 11 SF. (BAR) = 243 SF. 243 SF. DIVIDED BY 1 PERSON PER 200 SF. = 2 PERSONS 1 PERSON FOR OFFICE AND 1 FOR EA. RESTROOM = 3 PERSONS
	TOTAL OCCUPANT LOAD (PER CODE) = 68 PERSONS
PER ACTUAL:	RESTAURANT: 62 SEATS + 2 BARTENDERS + 4 STAFF = 68 PERSONS
	TOTAL OCCUPANT LOAD (PER ACTUAL) = 68 PERSONS

USE 68 PERSONS TOTAL



LEGEND

- (with number) - DETAIL NUMBER
- (with cross) - SHEET WHERE DETAIL IS DRAWN
- (with cross) - SHEET WHERE DETAIL IS TAKEN
- (with section letter) - INDICATES BUILDING SECTION OR BUILDING ELEVATION
- (with section letter) - BUILDING SECTION LETTER
- (with section letter) - SHEET WHERE BUILDING SECTION IS DRAWN
- (with section letter) - SHEET WHERE BUILDING SECTION IS TAKEN
- ◇ (with letter) - INTERIOR ELEVATION LETTER
- ◇ (with letter) - SHEET WHERE ELEVATION IS DRAWN
- --- - LIMIT OF WORK
- - EXISTING WALL TO BE REMOVED
- - EXISTING WALL TO REMAIN
- ===== - NEW WALL
- 101 - ROOM NAME AND NUMBER
- 1 - KEY NOTE
- 101A - DOOR NUMBER
- A - COLUMN GRID LINE
- (with dot) - ELEVATION TARGET
- 1A - WALL TYPE
- A - WINDOW TYPE

GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER.)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

CONSULTANTS:

Electrical Systems of Maine
Mr. John Tarr, P.E.
1200 MINOT AVE.
P.O. BOX 1265
AUBURN, MAINE 04211
207-183-1126

Perkins Restaurant Equipment
Mr. Steve Zafirov
630 JOHN HANCOCK RD.
TAUNTON, MA 02718
207-632-3136

RSE Construction
Mr. R. Shane Estes
120 TARGETT ROAD
NEW GLOUCESTER, ME 04260
207-926-3881

Gingko Blue
2 Portland Square
Suite 104
Union Street
Portland, Maine
04101

REVISIONS	
#	DATE DESCRIPTION

Date Issued 12-11-2009
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Drawing Scale AS DRAWN

TITLE

Drawn By mac
Checked By ach
T1.0