

PROPOSED

Two Portland Square

7th Floor Office Expansion

Union Street, Portland, ME 04101

ABBREVIATIONS

A ABV. ABOVE A.F.F. ABOVE FINISHED FLOOR A.D. ACCESS DOOR AC.BD. ACOUSTICAL BOARD AC.CDG. ACOUSTICAL CEILING AC.T. ACOUSTICAL TILE ADJ. ADJUSTABLE AG. AGGREGATE ALT. ALTERNATE AL. ALUMINUM ANCH. ANCHOR A.B. ANCHOR BOLT ANOD. ANODIZED ARCH. ARCHITECT ASPH. ASPHALT ASSY. ASSEMBLY	F FAB. FABRICATE FAS. FASTEN F.GL. FIBER GLASS F.N. FINISH F.F. FINISH FLOOR F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CABINET F.H.C. FIRE HOSE CABINET F.H.R. FIRE HOSE RACK F.P.R.F. FIRE PROOFING FLG. FLASHING F.H.S. FLAT HEAD SCREW FL. FLOOR F.D. FLOOR DRAIN FL. MTD. FLOOR MOUNTED FT. FOOT FBN. FOUNDATION FUT. FUTURE	M MFR. MANUFACTURER MRB. MARBLE MAS. MASONRY M.O. MASONRY OPENING MAX. MAXIMUM MEMB. MEMBRANE METL. METAL MTL. DK. METAL DECK MTL. L. METAL LATH M. METER MEZZ. MEZZANINE MK. MILLIMETER MLWK. MILLWORK MIN. MINIMUM MISC. MISCELLANEOUS MOD. MODULE MLDG. MOULDING FBN. FOUNDATION MUL. MULLION	S SAF. GL. SAFETY GLASS S.N.D. SANITARY NAPKIN DISPENSER SCHED. SCHEDULE SUNT. SEALANT SMLS. SEAMLESS SECT. SECTION SEP. SEPERATE SERV. SERVICE S.S. SERVICE SINK SHWR. SHOWER SH. SHEET SIM. SIMILAR S.C. SOLID CORE SPEC. SPECIAL SPEC. SPECIFICATION SQ. SQUARE S. STL. STAINLESS STEEL STD. STANDARD STL. STEEL S.D. STORM DRAIN STRUC. STRUCTURAL SURF. SURFACE SUSP. SUSPENDED SUSP. SUSPENDED CEILING
B BSMT. BASEMENT BM. BEAM B.M. BENCH MARK BTWN. BETWEEN BT. BITUMINOUS BLK. BLOCK BLKG. BLOCKING BK. BRICK BLDG. BUILDING B.U.R. BUILT-UP ROOFING	G GAL. GALLON GALV. GALVANIZED GAU. GAUGE GL. GLASS GR. GRADE GRAN. GRANITE GYP. BD. GYPSUM BOARD GYP. PLASGYPSUM PLASTER	N NAT. NATURAL NOM. NOMINAL N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE NO. NUMBER	T TEL. TELEPHONE TEMP. TEMPERED T.C. TERRA COTTA TERR. TERRAZZO THK. THICKNESS THD. THREAD THRESH. THRESHOLD T.ACC. TOILET ACCESSORY T.F.D. TOILET PAPER DISPENSER T.O.C. TOP OF CURB T.O.S. TOP OF SLAB T.D.ST. TOP OF STEEL T.B. TOWEL BAR TRAV. TRAVERTINE T. TREAD TYP. TYPICAL T.LT. TOILET
C CAB. CABINET CPT. CARPET C.I.P. CAST-IN PLACE C.I. CAST IRON C.L.G. CEILING CEM. CEMENT CTR. CENTER C.L. CENTER LINE CER. CERAMIC C.T. CERAMIC TILE C.L.O. CLOSET COL. COLUMN CONC. CONCRETE C.M.U. CONCRETE MASONRY UNIT CONST. CONSTRUCTION C.J.T. CONTROL JOINT CONT. CONTINUOUS CSK. COUNTERSINK CU.F.T. CUBIC FOOT	H HDW. HARDWARE HD. HEAD HT. HEIGHT H.P.T. HIGH POINT H.C. HOLLOW CORE H.M. HOLLOW METAL H.B. HOSE BIBB HR. HOUR	O O.C. ON CENTER OPNG. OPENING OPP. OPPOSITE OP.HD. OPPOSITE HAND O.D. OUTSIDE DIAMETER OA. OVERALL O.V.H. OVERHEAD OZ. OUNCE OXY. OXYGEN	U U.C. UNDERCUT U.L. UNDERWRITERS LABORATORIES INC. UR. URINAL U.N.O. UNLESS NOTED OTHERWISE
D DP. DAMPROOFING DET. DETAIL DIA. DIAMETER DIM. DIMENSION DR. DOOR DN. DOWN DWG. DRAWING D.F. DRINKING FOUNTAIN DW. DRYWALL D. DEPTH	J JT. JOINT JST. JOIST	P PTD. PAINTED PR. PAIR PNT. PAINT P.N.L. PANEL P.T.D. PAPER TOWEL DISPENSER PART. BD. PARTIAL BOARD PART. PARTITION PC. PIECE PLAS. PLASTER PL. PLASTIC PL. LAM. PLASTIC LAMINATE PLT. PLATE P.W. PLYWOOD PT. POINT POL. POLISHED LB. POUND PVC. POLYVINYL CHLORIDE P.C. PLAS-PORTLAND CEMENT PT. PLASTER PRCST. PRECAST PROP. PROPERTY P.S.I. POUND PER SQUARE INCH	V VAC. VACUUM V.B. VAPOR BARRIER VAR. VARIES VERT. VERTICAL V.W.C. VINYL WALL COVERING V.C.T. VINYL COMPOSITION TILE VNR. VENEER
E EA. EACH ELAS. ELASTIC E.D.F. ELECTRIC DRINKING FOUNTAIN EL. ELEVATION ELEV. ELEVATOR ENCL. ENCLOSURE EQ. EQUAL EQUIP. EQUIPMENT EXH. EXHAUST EXST. EXISTING EXP. EXPANSION EXP. ANCH. EXPANSION ANCHOR EXP. BLT. EXPANSION BOLT EXP. JT. EXPANSION JOINT EXT. EXTERIOR	K K.PL. KICK PLATE KO. KNOCKOUT KW. KILOWATT	Q QTY. QUANTITY Q.T. QUARRY TILE	W W.T.W. WALL TO WALL W.H. WALL HUNG W.C. WATER CLOSET W.P. WATER PROOFING WND. WINDOW W.W.F. WELDED WIRE FABRIC WD. WOOD W.P. WORK POINT W.I. WROUGHT IRON W/O. WITHOUT W. WITH W. WIDTH
L LBL. LABEL L.B. LAG BOLT LAM. LAMINATE LAB. LABORATORY LT. LIGHT LT. WT. LIGHT WEIGHT L.W.C. LIGHT WEIGHT CONCRETE LMS. LIMESTONE L.F. LINEAR FEET LNTL. LINTEL LG. LONG LVR. LOWER LPT. LOW POINT L. LENGTH	R RAB. RABBIT RAD. RADIUS RE. REFER. REFERENCE R.D. ROOF DRAIN RFZ. ROOFING REFL. REFLECTED REINF. REINFORCE REQD. REQUIRED R.A. RETURN AIR REV. REVERSE R.O.W. RIGHT OF WAY R. RISER RM. ROOM R.O. ROUGH OPENING RUB. RUBBER	Y YD. YARD	

SYMBOLS

ACOUSTICAL TILE	MARBLE, TRAVERTINE
ALUMINUM	PLASTER
BRASS, BRONZE	PLYWOOD
BRICK	STEEL
CONCRETE	STONE, GRANITE
CONCRETE MASONRY UNITS	TERRAZZO
EARTH	TILE CERAMIC OR QUARRY
GLASS	WOOD BLOCKING OR SHIMS
GYPSUM WALL BOARD	WOOD - FINISHED
INSULATION BATT OR BLANKET	WOOD - ROUGH
INSULATION - RIGID	

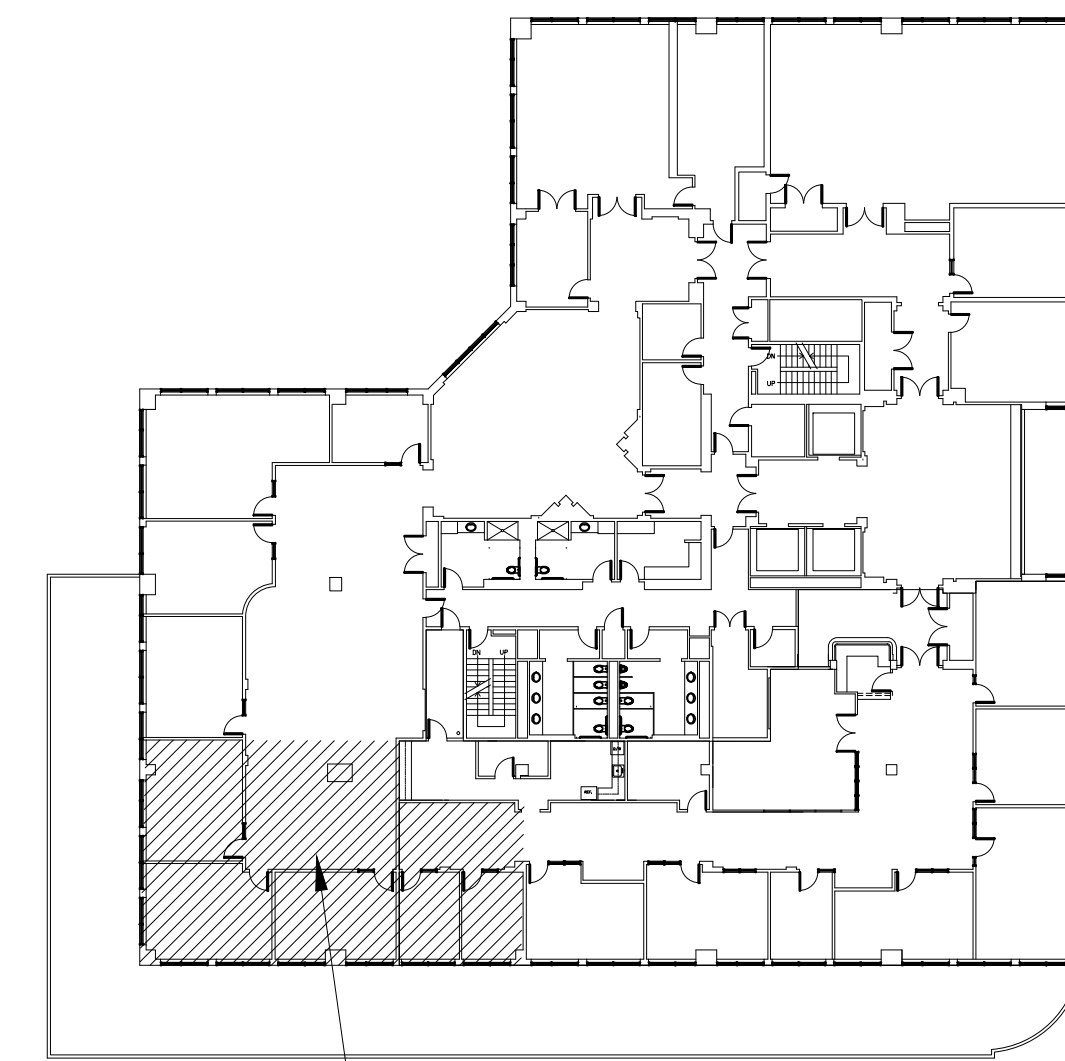
GENERAL NOTES

- The intent of the drawings is to include items necessary for the proper execution and completion of the work. The contractor shall review all drawings, and carefully verify existing conditions for coordination before proceeding with the work. The Architect shall be notified immediately of any discrepancy.
- All work shall be done in an orderly and professional manner. The Contractor is responsible for coordinating work to be done by its subcontractors, with local authorities, state agencies, or utility companies which may have jurisdiction over this project.
- All contractors shall visit the site at designated times to review existing conditions and should verify the location of existing utilities before commencing work.
- All utility extensions and connections shall be done in accordance with the State of Maine and the City of Portland laws. In case of conflict, the most restrictive rule applies.
- Exterior wall is existing, unless noted otherwise.
- New interior partition shall be Type 1-Typical, unless noted otherwise.
- In all cases, dimensions take precedence over scale.
- All building elevations are taken from the site elevation 0'-0" as related to ground floor top of slab elevation.
- Contractor shall provide 2x wood blocking nested in steel studs for support/fastening of specialties and accessories where indicated on the drawings.
- Drywall contractor shall be responsible for providing additional (secondary) bracing, or stiffening framing required to meet the maximum deflection values specified for the height limitations of partition types indicated on drawings.
- Installation of systems shall be made only by persons properly trained and qualified to install the specific system being provided. The installer shall certify that the installation is in complete agreement with the terms of the listing and the manufacturer's instructions for the approved system design.
- Bottom stud channel-track of light steel stud framing walls and partitions shall be fastened to floor slabs. Top stud channel-track shall be properly secured to the underside of the floor structure above conforming with their corresponding wall or partition type. Nest top track to account for deflection.
- General Contractor shall be responsible to incorporate and coordinate the thru floor concrete work with all utility lines, such as floor depressions, drainage, plumbing, mechanical, electrical and other furnished-by-others systems.
- All interior joints between dissimilar materials, installed by the same or different trade, shall receive "caulking." General Contractor shall be responsible to delegate "caulking" work to the joint sealants sub-contractor.

REFERENCE

GLAZING TYPE	(A) OFFICE
ROOM/SPACE NUMBER	114
EQUIPMENT NUMBER	X-690
REVISION	
REVISION CLOUD	
EXTERIOR ELEVATION	4 AS.2
INTERIOR ELEVATION	3/A7.1
TEST BORING	TB-1
NEW OR REQUIRED POINT ELEVATION	+461.00
EXISTING POINT ELEVATION	+461.00
NEW CONTOURS (ELEV. NOTED ON HIGH SIDE)	320
EXISTING CONTOURS (ELEV. NOTED ON HIGH SIDE)	318
FLOOR LINES IN EXTERIOR ELEVATION CENTER LINES	
BREAK LINE	
PROPERTY LINES, BOUNDARY LINES	
MATCH LINE	
REFERENCE OR LEVEL LINE	
COLUMN REFERENCE GRIDS	(B)
TOILET ACCESSORY	(3)
SECTION/DETAIL WITH SHEET REFERENCE	3/A7.2
BUILDING SECTION	3 A6.1
PARTITION TYPE	A
ENLARGED PLAN REFERENCE	6/A4.2
ENLARGED DETAIL REFERENCE	2/A10.2
NORTH ARROW	TRUE NORTH
PROJECT NORTH ARROW	
DOOR DESIGNATION	(3)
FINISH SCHEDULE	Flooring F C-1 Wall W P-1 Base B B-1

7TH FLOOR KEY PLAN

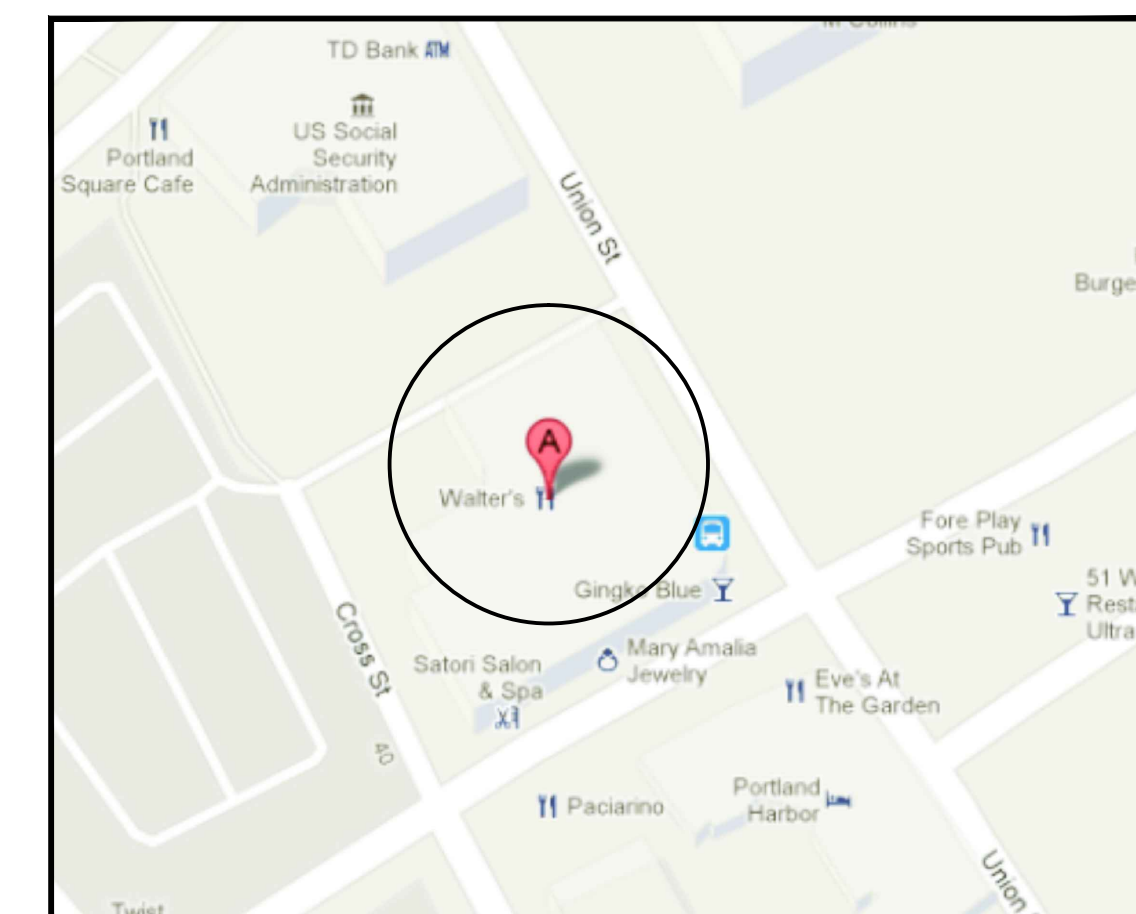


LOCATION OF WORK

PROJECT DATA

CODE: STATE BUILDING CODE (IBC 2009)
 EDITION: 2009 STATE BUILDING CODE
 AMENDMENTS
 PROJECT NAME: TWO PORTLAND SQUARE
 PROJECT ADDRESS: UNION STREET, PORTLAND, ME 04101
 MAP AND LOT: MAP: - LOT: - UNIT: -
 ZONING CLASSIFICATION: -
 OCCUPANCY TYPE: BUSINESS GROUP (B)
 NUMBER OF STORIES: 7

PROJECT LOCATION



DRAWING LIST	LIST OF DRAWINGS	DATE ISSUED	
		DATE	ISSUED
	A0.1 COVER SHEET	04.07.14	
	A1.1 PROPOSED FLOOR PLAN, WALL TYPES		
	A1.2 REFLECTED CEILING PLAN & FINISH PLANS		
	E1.1 POWER AND DATA PLAN		



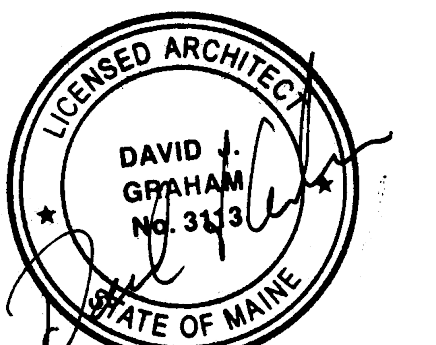
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PROJECT

2 Portland Square
2 Market Street
7th Floor Renovation
Portland, Maine 04101



Issued for Construction
04.07.14

CLIENT
Raymond James
1 Portland Square
Portland, ME 04101

CONTRACTOR

STRUCTURAL ENGINEER

INFORMATION

Path: m:\architecture\CBRE\ Issue Date: 04.07.14

Drawn By: DG

Checked By: DG

Revision:

1. 03.22.13 - REVISED WALL TYPE 2

2.

3.

4.

TITLE

COVER PAGE & PROJECT DATA

SCALE: NTS

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