

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that RREEF AMERICA REIT III-Z4 LLC - AMERIPRISE

Located At 2 PORTLAND SQ

CBL: 038- B-002-001

Job ID: 2012-03-3576-ALTCOMM

has permission to Do Fit up renovations to partial 7th floor previously vacant office space - Ameriprise provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

JMB 4/24/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD



Certificate of Occupancy



CITY OF PORTLAND, MAINE Department of Planning and Urban Development Building Inspections Division

Location: 2 PORTLAND SQ

CBL: 038- B-002-001

Issued to: RREEF AMERICA REIT III CORP Z4

Date Issued: 8/29/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2012-03-3576-ALTCOMM, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

7th FLOOR

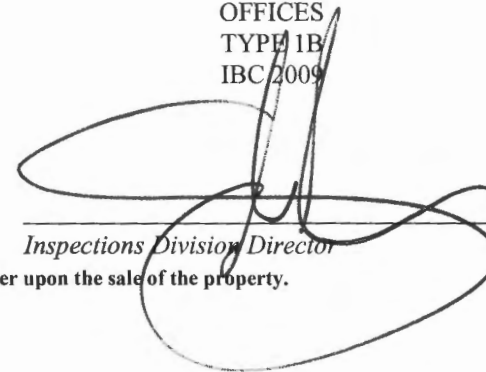
APPROVED OCCUPANCY

USE GROUP B
OFFICES
TYPE 1B/
IBC 2009

Approved:
8/29/2012

(Date)


Inspector


Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-03-3576-ALTCOMM	Date Applied: 3/23/2012	CBL: 038- B-002-001	
Location of Construction: 2 PORTLAND SQ	Owner Name: RREEF AMERICA REIT III-Z4, LLC	Owner Address: 875 N. MICHIGAN AVE., 41 ST FLOOR, CHICAGO, IL 60611	Phone:
Business Name: Ameriprise Holdings Inc.	Contractor Name: Voitze Buttler & Associates, Inc - Dan Stone	Contractor Address: 44 Stedman Street, Suite 8, Lowell, MA 01851	Phone: 978-459-7600
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: B-3
Past Use: 1 st floor: Bank, retail, restaurant - Offices above the 1 st floor	Proposed Use: Same: 1 st floor: Bank, retail, restaurant with offices above - to remodel Suite #701 - 7 th floor for offices	Cost of Work: \$549,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group B/M/A Type: 1B JBL-2009 Signature: <i>[Signature]</i>
Proposed Project Description: seventh floor remodel		Pedestrian Activities District (P.A.D.) <i>[Signature]</i> 4/24/12	

Permit Taken By: Gayle	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>___ Maj ___ Min ___ MM</p> <p>Date: <i>OK with Conditions</i> <i>[Signature]</i> 3/23/12</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

-14-12 DWM/BKL Andy 978-935-3296 Close-in OK

-6-12 DWM/BKL Andy Above ceilings Fail

0-8-12 " " " " " OK

5-21-12 DWM/BKL/Capt Pirone/John Mardell Andy Final Fail Fire Fail

Elect. OK Bldg Show Hazardous locations have Safety glass, seal drywell
under sink.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-03-3576-ALTCOMM

Located At: 2 PORTLAND SQ

CBL: 038- B-002-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for any new signage.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. Fire extinguishers are required. Installation per NFPA 10.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
6. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
7. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
8. Non-combustible construction of this structure requires all construction to be Non-combustible.
9. Any cutting and welding done will require a Hot Work Permit from Fire Department.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Any modifications to existing building systems and all new systems (HVAC, electrical, plumbing) shall meet IECC 2009 or ASHRAE 90.1-2007 requirements for energy code compliance.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Entered
CD

2012 03 3576 60



General Building Permit Application

If you or the property owner does not receive the proposed permit fees on your permit application, property within the City, payment arrangements must be made before issuance of any final site approval.

Location / Address of Construction: 2 Portland Square, Suite 701 Portland, ME 04101		
Total Square Footage of Proposed Structure/Area remodel of 7,146 square feet		Square Footage of Lot 39,520 s.f. 0.91 Acre
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 38-B-2 038-B-002-001	Applicant must be owner, Lessee or Buyer Name Kathryn Otto Stalwick Address 154 Amerprise Financial Center H30 City, State & Zip Minneapolis, MN 55474	Telephone: 612-671-2086
Lessee/DBA (If Applicable) Amerprise Holdings Inc.	Owner (if different from Applicant) Name RREEF America REIT III-Z4, LLC Address 875 N. Michigan Ave. 41st Floor City, State & Zip Chicago, IL 60611	Cost Of Work: \$ 548,149.00 C of O Fee: \$ 75 Total fee: \$ 548,224 5565.00
Current legal use (i.e. single family) <u>Business</u> If vacant, what was the previous use? <u>Business</u> Proposed Specific use: <u>Business</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: Remodel of 7,146 s.f. of office space on the seventh floor of the 2 Portland Square building.		
RECEIVED MAR 23 2012 Dept. of Building Inspections City of Portland Maine		
Contractor's name: <u>Voitze Buttler & Associates, Inc.</u> Address: <u>44 Stedman Street, Suite 8</u> City, State & Zip <u>Lowell, MA 01851</u> Telephone: <u>978-459-7600</u> Who should we contact when the permit is ready: <u>Dan Stone</u> Telephone: <u>978-459-7600</u> Mailing address: <u>44 Stedman Street Suite 8 Lowell, MA 01851</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Kathryn Otto Stalwick Date: 3/13/2012

This is not a permit; you may not commence ANY work until the permit is issued.



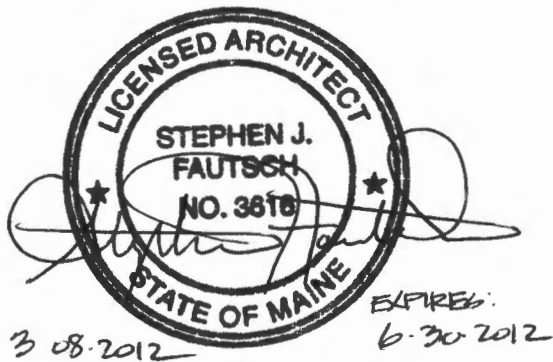
Accessibility Building Code Certificate

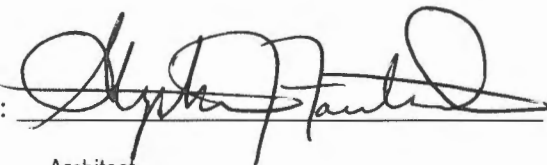
Designer: Stephen J. Fautsch, Architect

Address of Project: 2 Portland Square, Suite 701 Portland, ME 04101

Nature of Project: Remodel of 7,146 s.f. of office space on the seventh floor of the 2 Portland Square building.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: Architect

Firm: Stephen J. Fautsch, Architect

Address: 1220 Marshall Street NE

Minneapolis, MN 55413-1036

Phone: 612-677-7100

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: March 8, 2012

From: Stephen J. Fautsch, Architect

These plans and / or specifications covering construction work on:

2 Portland Square, Suite 701 Portland, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

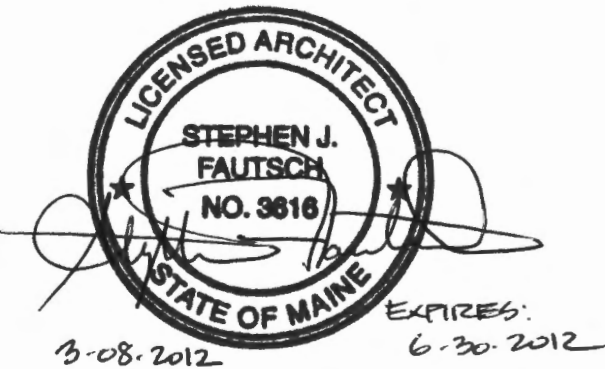
Title: Architect

Firm: Stephen J. Fautsch, Architect

Address: 1220 Marshall Street NE

Minneapolis, MN 55413-1036

Phone: 612-677-7100



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Receipts Details:

Tender Information: Check , BusinessName: Votze, Butler & Associates, Inc., Check Number: 3195

Tender Amount: 5585.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 3/23/2012

Receipt Number: 42117

Receipt Details:

Referance ID:	5766	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	5510.00	Charge Amount:	5510.00
Job ID: Job ID: 2012-03-3576-ALTCOMM - seventh floor remodel			
Additional Comments: 2 Portland Sq.			

Referance ID:	5767	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-03-3576-ALTCOMM - seventh floor remodel			

Additional Comments:

Thank You for your Payment!