

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

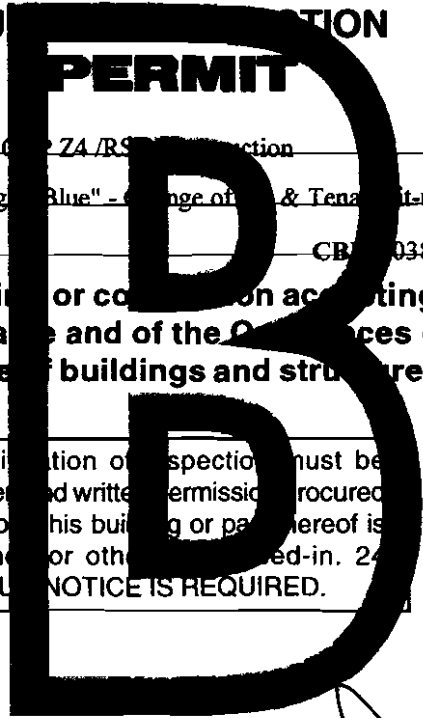
Please Read Application And Notes, If Any, Attached

## BUILDING PERMIT

Permit Number: 100094

This is to certify that RREEF AMERICA REIT III CO 74 /RS construction  
has permission to Commercial Bar/ Lounge "Ging Blue" - change of use & Tenant fit-up, infill portion of 1st floor for new bar/lounge  
AT 2 PORTLAND SQ CB# 038-B002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.  
**PERMIT ISSUED**

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS:  
Fire Dept. MAJ. CAPT. R. J. [Signature]  
Health Dept.  
Appeal Board  
Other  
CITY OF PORTLAND  
Department Name

Jeanie Bonke 3/8/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0094	Issue Date:	CBL: 038 B002001
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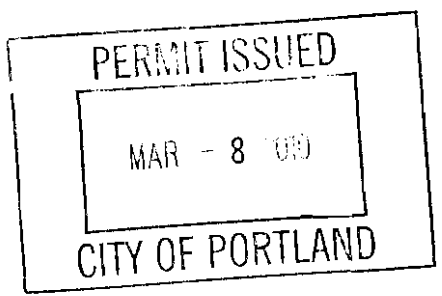
Location of Construction: 2 PORTLAND SQ	Owner Name: RREEF AMERICA REIT III CORP	Owner Address: PO BOX 4900 DEPT 207	Phone:
Business Name:	Contractor Name: RSE Construction	Contractor Address: 120 Targett Road New Gloucester	Phone: 2079263881
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-3

Past Use: Vacant Space - Retail - "Betsey's"	Proposed Use: Commercial Bar/ Lounge "Ginkgo Blue" - Change of use & Tenant fit-up, infill portion of 1st floor for new bar/lounge adjacent to "Walter's"	Permit Fee: \$1,405.00	Cost of Work: \$131,000.00	CEO District: 1
Proposed Project Description: Commercial Bar/ Lounge "Ginkgo Blue" - Change of use & Tenant fit-up, infill portion of 1st floor for new bar/lounge adjacent to "Walter's"		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group A-2 Type 3A IBC-2003 Signature: <i>AMB 3/8/10</i>	
		Signature: <i>KG</i>	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	

Permit Taken By: Ldobson	Date Applied For: 02/03/2010	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/4/10 ABH</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>KBM</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0094	Date Applied For: 02/03/2010	CBL: 038 B002001
-----------------------	---------------------------------	---------------------

Location of Construction: 2 PORTLAND SQ	Owner Name: RREEF AMERICA REIT III CORP	Owner Address: PO BOX 4900 DEPT 207	Phone:
Business Name:	Contractor Name: RSE Construction	Contractor Address: 120 Targett Road New Gloucester	Phone (207) 926-3881
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial Bar/ Lounge "Ginkgo Blue" - Change of use & Tenant fit-up, infill portion of 1st floor for new bar/lounge adjacent to "Walter's"	Proposed Project Description: Commercial Bar/ Lounge "Ginkgo Blue" - Change of use & Tenant fit-up, infill portion of 1st floor for new bar/lounge adjacent to "Walter's"
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Dept: Zoning      Status: Approved      Reviewer: Ann Machado      Approval Date: 02/04/2010  
 Note:      Ok to Issue:

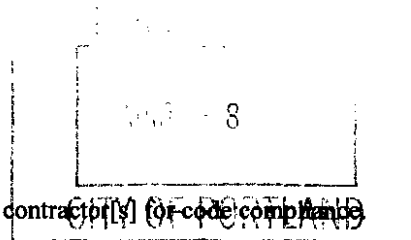
- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 03/09/2010  
 Note:      Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Equipment must be installed in compliance per the manufacturer's specifications
- 4) New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
- 5) Approval of City license is subject to health inspections per the Food Code.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire      Status: Approved with Conditions      Reviewer: Capt Keith Gautreau      Approval Date: 02/12/2010  
 Note:      Ok to Issue:

- 1) Application requires State Fire Marshal approval.
- 2) Fire Alarm system shall be maintained.  
If system is to be off line over 4 hours a fire watch shall be in place.  
Dispatch notification required 874-8576.
- 3) All construction shall comply with NFPA 1 and 101.
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
- 5) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 6) Fire alarm system requires a Masterbox connection per city ordinance.  
Masterbox design and installation shall be as approved by City Electrical Division.
- 7) Fire extinguishers required. Installation per NFPA 10
- 8) Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.



<b>Location of Construction:</b> 2 PORTLAND SQ	<b>Owner Name:</b> RREEF AMERICA REIT III CORP	<b>Owner Address:</b> PO BOX 4900 DEPT 207	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> RSE Construction	<b>Contractor Address:</b> 120 Targett Road New Gloucester	<b>Phone</b> (207) 926-3881
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Commercial	

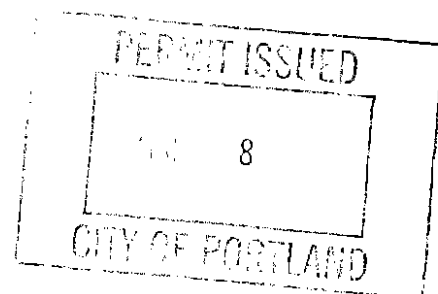
- 9) Sprinkler protection shall be maintained.  
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 10 System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.

**Comments:**

2/23/2010-jmb: Spoke with Mark C. About the 2006 code reference, bathrooms in the lobby are available to patrons while the establishments are open, an addendum is sent via email for the egress stair revisions per SFM and confirmed the rise will be less than 7", and he will inquire if the kitchen/bar equipment fit up plan is finalized.

3/2/2010-jmb: Received kitchen and bar layout and equipment from Mark C., he had a question about doing a 2 bay sink in the kitchen, said I would get back to him.

3/8/2010-jmb: After reviewing the health code and discussing with colleagues, the 2-bay is allowed in the kitchen for batch washing as there is a DW. Only in emergency the warewashing can take place at Walters providing the dishes are protected from contamination during transport. Spoke to Mark C., ok to issue

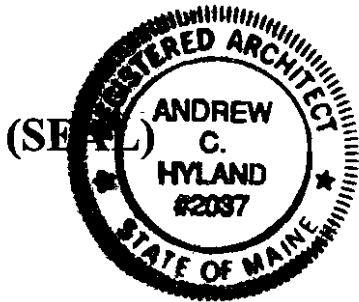


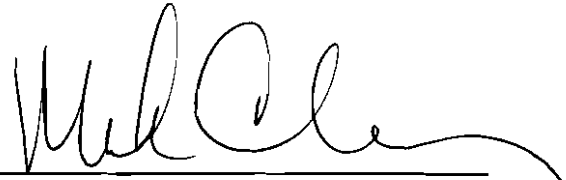


# Accessibility Building Code Certificate

Designer: Port City Architecture  
Address of Project: 2 Portland Square, Portland, ME 04101  
Nature of Project: New tenant infill on a portion of the first floor of 2 Portland Square for Ginkgo Blue, a new bar/lounge. This tenant space is adjacent to the new Walter's & owned by the same owners.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature:   
Title: Principal  
Firm: Port City Architecture  
Address: 65 Newbury Street  
Portland, Maine 04101  
Phone: 207.761-9000

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

Date: 2-2-10

From: Port City Architecture - Andrew Hyland

These plans and / or specifications covering construction work on:

A new tenant infill on a portion of the first floor of 2 Portland Square for Ginkgo Blue, a new bar/lounge.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature: [Handwritten Signature]

Title: Principal

Firm: Port City Architecture

Address: 65 Newbury St.  
Portland, Maine 04101

Phone: 207. 761 - 9000

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Dept. of Building Inspection  
City of Portland, Maine

February 12, 2010

**RSE Construction**  
**Attn: Mr. R. Shane Estes**  
120 Targett Road  
New Gloucester, Maine



Re: **Ginkgo Blue**  
**Portland, Maine**

**Addendum #1**

This Addendum is to be added to, and become a part of the Bid Set Documents and modifies the original Drawings dated 12-2009. It is the responsibility of General Contractor to inform sub-bidders of any addendum provisions affecting their work.

**Sheet A1.0:**

1. Reference Floor Plan (1/A1.0): The stair width shall be 44" clear (except for handrails) as shown on attached SKA-1.
2. Reference Floor Plan (1/A1.0): Handrails shall be on both sides of the stair in accordance with Life Safety 2006. See attached SKA-1.
3. Reference Floor Plan (1/A1.0): The Men's restroom door shall be relocated as shown in attached SK-2.

**Sheet A2.0:**

1. Reference Reflected Ceiling Plan (1/A2.0): Any and all fire sprinkler heads currently located above the proposed overhead metal structure shall be relocated below the new overhead metal structure.

**Sheet A4.1:**

1. Reference Restroom Plan (1/A4.1): The scale of this detail should be 1/2" = 1'-0".

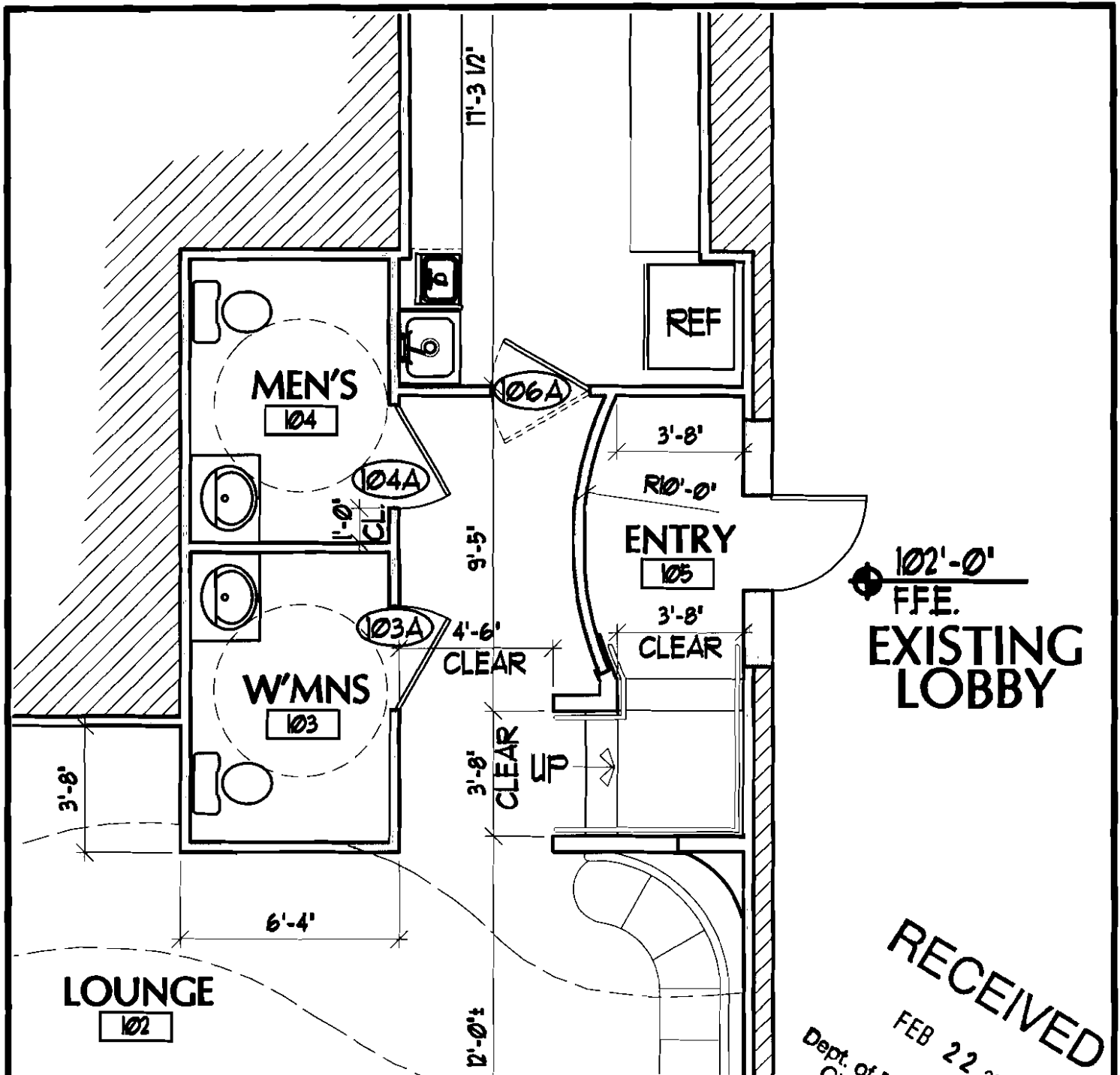
**Sheet A5.0:**

1. Reference Door and Frame Schedule: Doors #106A and #107A shall be 2'-10" in width in lieu of the 2'-8" shown.

Sincerely,

Mark Chaloupecky  
Port City Architecture

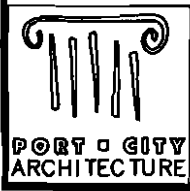
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**PARTIAL FLOOR PLAN**

1  
 SKI SKI  
 0 4'-0" 1/4" = 1'-0"

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**GINGKO BLUE**  
 PORTLAND, MAINE

**PARTIAL FLOOR PLAN**

Ref Dwg: 1/ALØ      Scale: 1/4" = 1'-0"  
 Issued : 12-2010  
 Revised : 02-15-2010

**SHEET 1 OF 1**

**SKA-1**



**From:** "Mark Chaloupecky" <mark@portcityarch.com>  
**To:** <jmb@portlandmaine.gov>  
**Date:** 3/1/2010 5:05 PM  
**Subject:** Gingko Blue - 2 Portland Square #104  
**Attachments:** Gingko\_Blue\_Kitchen\_Equipment.pdf, Gingko\_Blue\_Bar\_Equipment.pdf

Jeanie -

Here is the equipment from Steve over at Perkins. Call if you have any questions.

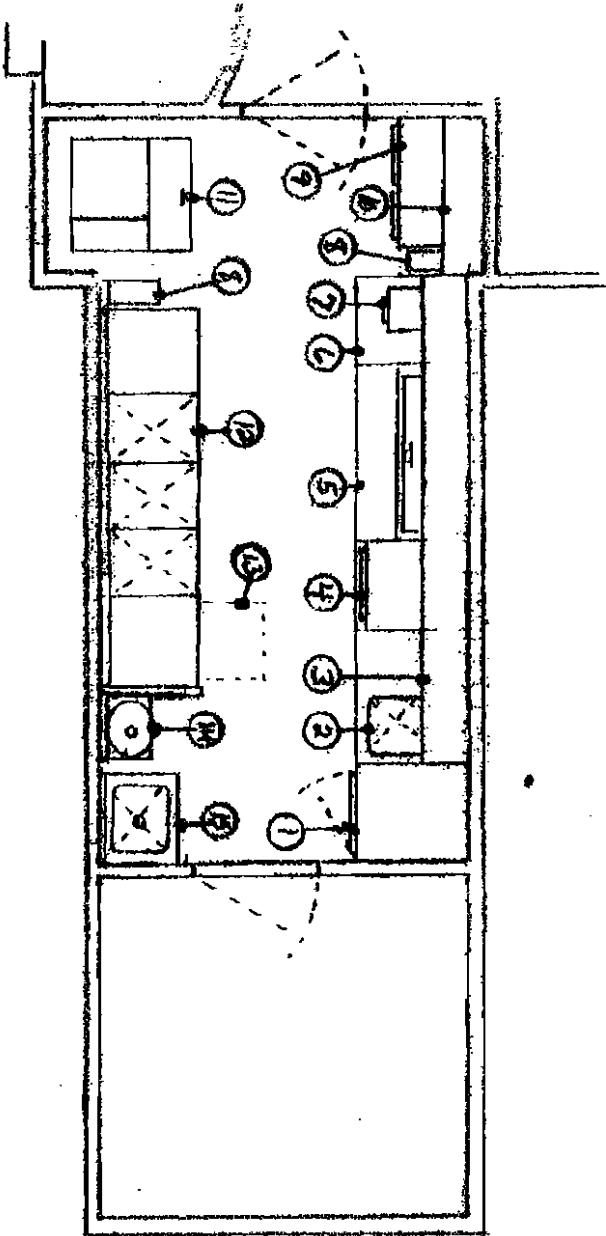
Mark Chaloupecky, LEED AP  
Port City Architecture  
65 Newbury Street  
Portland, Maine  
207.761.9000

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38-B-2

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City of Portland Maine

Gingko Blue Back Room Layout - 2/28/10:			
Item:	Quantity:	Manufacturer:	Description:
#1	1	TRUE	One(1)-Section Refrigerator
#2	1	Advance/Tabco	30"x60" S.S. Work Table w/prep sink
#3	1	Advance/Tabco	12"x132" S.S. Wall Shelf
#4	1	Merrychef	Accelerated Cooking Oven
#5	1	TRUE	48" Twelve(12)-Pan Sandwich Unit
#6	1	Advance/Tabco	30"x24" S.S. Work Table
#7	1	Star	Panini Grill
#8	2	Rubbermaid	Slim Jim Trash Containers
#9	1	TRUE	36" Worktop Refrigerator
#10	2	Advance/Tabco	12"x44" S.S. Wall Shelves
#11	1	Scotsman	Ice Cuber w/bln
#12	1	Advance/Tabco	Three(3)-Compartment Sink
#13	1	Hobart	Undercounter Dishwasher
#14	1	Advance/Tabco	Wall-Mount Hand Wash Sink
#15	1	Advance/Tabco	Mop Sink

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 City of Portland Maine



**Project:** Gingko Blue  
**By:** Steve Zafirson, Perkins  
**RE:** Kitchen Layout  
**Scale:** 1/4" = 1'-0"  
**Date:** 2/28/10

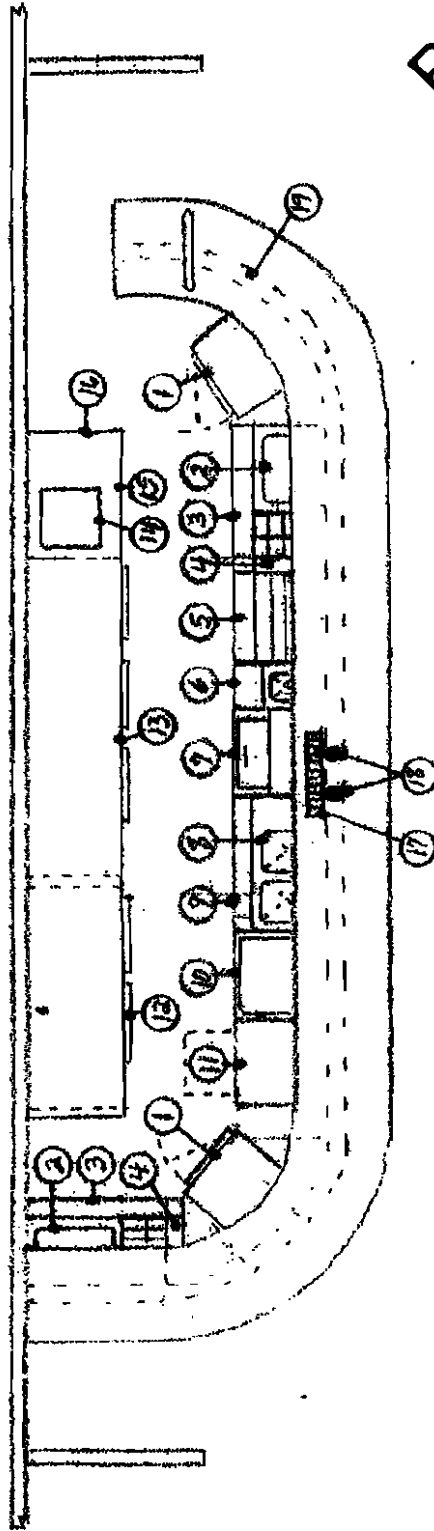
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 City of Portland Maine

Gingko Blue Bar Layout - 2/28/10:			
Item:	Quantity:	Manufacturer:	Description:
#1	2	Glastender	Glass Chiller
#2	2	Glastender	Ice Bin/Cocktail/Bottle Well
#3	2	Glastender	40" Speed Rail
#4	2	Glastender	Soda Gun Holder
#5	1	Glastender	24" Liquor Display
#6	1	Glastender	Hand Wash Sink
#7	1	Glastender	Glass Froster
#8	1	Glastender	Two Bay Bar Sink
#9	1	Glastender	36" Speed Rail
#10	1	Glastender	Glass Storage Rack
#11	1	Hobart	Undercounter Dishwasher
#12	1	Glastender	60" Backbar Refrigerator
#13	1	Glastender	84" Backbar Refrigerator
#14	1	Unknown	P.O.S. System - By Owner
#15	1	Millwork	P.O.S. Cabinet - By Millwork
#16	1	Millwork	Back Bar Countertop - By Millwork
#17	1	Unknown	Beer Drain Trough - By Vendor
#18	2	Unknown	Beer Direct Draw Draft Towers - By Vendor
#19	1	Glastender	Modular Bar Die

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 City of Portland Maine

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Dept. of Building Inspections  
City of Portland Maine



Project: Ginkgo Blue  
 By: Steve Zafirson, Perkins  
 RE: Bar Layout  
 Scale: 1/2" = 1'0"  
 Date: 2/28/10

Project:  
 By:  
 RE:  
 Scale:  
 Date:

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date \_\_\_\_\_  
 Permit # \_\_\_\_\_  
 CBL# \_\_\_\_\_

**LOCATION:** \_\_\_\_\_ **METER MAKE & #** \_\_\_\_\_  
**CMP ACCOUNT #** \_\_\_\_\_ **OWNER** \_\_\_\_\_  
**TENANT** \_\_\_\_\_ **PHONE #** \_\_\_\_\_

**TOTAL EACH FEE**

OUTLETS	Receptacles	Switches	Smoke Detector	.20
<b>FIXTURES</b>	Incandescent	Fluorescent	Strips	.20
<b>SERVICES</b>	Overhead	Underground	TTL AMPS <800	15.00
	Overhead	Underground	>800	25.00
<b>Temporary Service</b>	Overhead	Underground	TTL AMPS	25.00
				25.00
<b>METERS</b>	(number of)			1.00
<b>MOTORS</b>	(number of)			2.00
<b>RESID/COM</b>	Electric units			1.00
<b>HEATING</b>	oil/gas units	Interior	Exterior	5.00
<b>APPLIANCES</b>	Ranges	Cook Tops	Wall Ovens	2.00
	Insta-Hot	Water heaters	Fans	2.00
	Dryers	Disposals	Dishwasher	2.00
	Compactors	Spa	Washing Machine	2.00
	Others (denote)			2.00
	<del>MISC. (number of)</del>	<del>Air Cond/win</del>		
16	Air Cond/cent		Pools	10.00
17	HVAC	EMS	Thermostat	5.00
18	Signs			10.00
19	Alarms/res			5.00
20	Alarms/com			15.00
21	Heavy Duty(CRKT)			2.00
22	Circus/Carnv			25.00
23	Alterations			5.00
24	Fire Repairs			15.00
25	E Lights			1.00
26	E Generators			20.00
<b>PANELS</b>	Service	Remote	Main	4.00
<b>TRANSFORMER</b>	0-25 Kva			5.00
	25-200 Kva			8.00
	Over 200 Kva			10.00
			<b>TOTAL AMOUNT DUE</b>	
			<b>MINIMUM FEE/COMMERCIAL 55.00</b>	<b>MINIMUM FEE 45.00</b>

**CONTRACTORS NAME** \_\_\_\_\_ **MASTER LIC. #** \_\_\_\_\_  
**ADDRESS** \_\_\_\_\_ **LIMITED LIC. #** \_\_\_\_\_  
**TELEPHONE** \_\_\_\_\_

**SIGNATURE OF CONTRACTOR** \_\_\_\_\_



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>2 Portland Square, suite #</u>		
Total Square Footage of Proposed Structure/Area <u>1,450 s.f.</u>		Square Footage of Lot <u>39,520 s.f.</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>38      B      2</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Walter's Cafe Inc.</u> Address <u>2 Portland Square, suite 100</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207-</u> <u>871-9258</u>
Lessee/DBA (If Applicable) <u>Walter's Cafe Inc.</u> <u>dba Gingko Blue</u> <u>2 Portland Square, suite #104</u> <u>Portland, Maine 04101</u>	Owner (if different from Applicant) Name <u>RREEF America REIT III</u> Address <u>One Portland Square</u> City, State & Zip <u>Portland, Maine 04101</u>	Cost Of Work: \$ <u>131,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>1,405.00</u>
Current legal use (i.e. single family) <u>Vacant Tenant Space</u> If vacant, what was the previous use? <u>Retail Clothing Store (Betsy's)</u> Proposed Specific use: <u>Bar / Lounge (Assembly A-2)</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>New Tenant infill on a portion of the first floor of 2 Portland Square for Gingko Blue, a new bar/lounge. This tenant space is adjacent to the new Walter's restaurant &amp; owned by the same owners.</u>		
Contractor's name: <u>RSE Construction - Mr. Shane Estes</u> Address: <u>120 Targett Road</u> City, State & Zip <u>New Gloucester, Maine 04260</u> Telephone: <u>926-3881</u> Who should we contact when the permit is ready: <u>Mark Chaloupecky</u> Telephone: <u>761-9000</u> Mailing address: <u>65 Newbury Street Portland, ME 04101</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

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I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City of Portland, Maine authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Dept. of Building Inspections  
City of Portland, Maine

Signature: Mark Chaloupecky Date: 2-2-10

This is not a permit; you may not commence ANY work until the permit is issue



# Certificate of Design Application

Port City Architecture

From Designer:

Date:

2-2-10

Job Name:

Ginkgo Blue

Address of Construction:

2 Portland Square, Union St., Suite #104, Portland, Maine  
04101

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2006 Use Group Classification (s) Assembly A-2

Type of Construction 3A (existing)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC yes (existing)

Is the Structure mixed use? yes If yes, separated or non separated or non separated (section 302.3) separated

Supervisory alarm System? yes Geotechnical/Soils report required? (See Section 1802.2) no  
existing

### Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Live load reduction

Roof live loads (1603.1.2, 1607.11)

Roof snow loads (1603.7.3, 1608)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.11, 1807)

Floor Area Use	Loads Shown

Row load,  $P_g$  (1608.2)

$s_f$ , flat-roof snow load  $P_f$

$e$ , snow exposure factor,  $G$

$I_f$ , snow load importance factor,  $I_f$

factor,  $G$  (1608.4)

snowload,  $P_g$  (1608.4)

category (1616.3)

force resisting system (1617.6.2)

reduction coefficient,  $R_f$  and

modification factor,  $C_d$  (1617.6.2)

$e$  (1616.6, 1617.5)

(1617.4, 1617.5.1)

### Wind loads (1603.1.4, 1609)

Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1809.3)

Building category and wind importance Factor,  $I_f$  (table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2)

Main force wind pressures (1603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)

Seismic use group ("Category")

Spectral response coefficients,  $S_D$  &  $S_I$  (1615.1)

Site class (1615.1.5)

Flood Hazard area (1612.3)

Elevation of structure

### Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Shane E  
will p-up  
3/8/10  
3/9/10  
James

Existing Building -  
1st Floor Tenant Infill